



OFFICE BUILDING

at
120 FLOOD PLAINS ROAD
BRISBANE

for
MANAGEMENT + CO

No	#	of	Sheet Name	Issue	Rev	Σ
001GF1	1	53	Cover - Project	WD16-A		1
002GS1	2	53	Locality Plans	WD01		1
101SP1	3	53	Site Plan 1-500	WD03-B		1
102SP1	4	53	Site Plan 1-200	WD02-A		1
103SP1	5	53	Site Plan 1-200 Ground Level	WD13-F		1
104SP1	6	53	Site Plan 1-200 First Level	WD01		1
110FP1	7	53	Level 0 Floor Plan	WD06-D	A	1
111FP1	8	53	Level 1 Floor Plan	WD11-I	A	1
131RP1	9	53	Roof Plan	WD02-A		1
160RC1	10	53	Level 0 RCP	WD03-B		1
161RC1	11	53	Level 1 RCP	WD02-A		1
201EL1	12	53	Elevations E1 + E2	WD02-A		1
202EL1	13	53	Elevation E3 + E3.2	WD04-B		1
203EL1	14	53	Elevation E4 + E4.2	WD04-B		1
301ST1	15	53	Sections S1 + S2 Cross	WD02-A		1
302ST1	16	53	Sections S3 + S3.2	WD01		1
321ST1	17	53	Sections S4 + S4.2	WD01		1
322ST1	18	53	Sections S5 + S5.2	WD01		1
411PD1	19	53	Axonometric NE	WD02-A		1
412PD1	20	53	Axonometric NW	WD02-A		1
413PD1	21	53	Axonometric SE	WD02-A		1
414PD1	22	53	Axonometric SW	WD02-A		1
421PD1	23	53	Axonometric NE Cutaway	WD02-A		1
422PD1	24	53	Axonometric NW Cutaway	WD02-A		1
423PD1	25	53	Axonometric SE Cutaway	WD03-B		1

No	#	of	Sheet Name	Issue	Rev	Σ
424PD1	26	53	Axonometric SW Cutaway	WD02-A		1
431PD1	27	53	External Perspectives	WD02-A		1
500SE1	28	53	Setout Site	WD02-A		1
501LA1	29	53	Landscaping south	WD04-A		1
502LA1	30	53	landscaping north	WD04-A		1
520FT1	31	53	Level 0 Slab Layout	WD03-B		1
531FS1	32	53	Level 1 Slab Layout	WD04-C	A	1
532FS1	33	53	Feature walls Paint colours	WD04-A		1
541RS1	34	53	Roof Structure	WD01		1
560FF1	35	53	Level 0 Floor Finishes	WD05-C		1
561FF1	36	53	Level 1 Floor Finishes	WD05-C		1
570TP1	37	53	Tilt Plan L0	WD04-B		1
571TP1	38	53	Tilt Plan L1	WD03-B		1
572TE1	39	53	Tilt Panel Elevations 1	WD02-A		1
573TE1	40	53	Tilt Panel Elevations 2	WD03-B		1
574TE1	41	53	Tilt Panel Elevations 3	WD03-B		1
575TE1	42	53	Tilt Panel Elevations 4	WD04-A		1
576TE1	43	50	Tilt Panel Elevations 5	WD02-A		1
580TA1	44	53	Tilt Plan Axonometrics	WD03-B		1
621DW1	45	53	Details - upper level external wall	WD02-A		1
622DW1	46	53	Details - wall details	WD03-B		1
623DW1	47	53	Details - elliptical blades	WD01		1
671DG1	48	53	Stairs - Plan Details	WD04-B		1
672DG1	49	53	Stairs - Section Details	WD05-B	A	1
701SC1	50	53	Window Schedule	WD03-B		1

No	#	of	Sheet Name	Issue	Rev	Σ
711SC1	51	53	Door Schedule	WD07-F	A	1
771NT1	52	53	Sustainability Notes	WD01		1
781SD1	53	53	Safety in Design Notes	WD01		1
900	1	17	Project Specific	WD15-A		1
920CP1	2	17	Conference Plan L1	WD11-H		1
921CE1	3	17	Conference Elevation	WD09-G		1
925PD1	4	17	Conference Axonometric L1	WD05-C		1
930KP1	5	17	Kitchen Plan	WD10-G		1
931KE1	6	17	Kitchen Elevations	WD07-E		1
935PD1	7	17	Kitchen Axonometric	WD05-C		1
940WP1	8	17	Wet Amenities Plan L1	WD08-H		1
941WE1	9	17	Wet Elevations L1 - W1,W2,W5,W6,W8	WD07-E		1
942WE1	10	17	Wet Elevations L1 - W3,W9,W7,W4	WD08-E		1
945PD1	11	17	Wet Amenities Axonometric L1	WD05-D		1
950WP1	12	17	Wet Amenities Plan L0	WD09-I		1
951WE1	13	17	Wet Elevations L0 - W11,W12,W13,W14,W16,W17,W15	WD09-G		1
955PD1	14	17	Wet Amenities Axonometric L0	WD06-E		1
960PD1	15	17	Entry Reception Area	WD10-G		1
961PE1	16	17	Entry shelving	WD03-B		1
970JD1	17	17	Joinery Details	WD01-A		1
Grand total						70

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD16	05.04.18	UPDATE COVER			
WD09	22.03.18	UPDATE COVER			
WD16	19.10.18	AS BUILTS			
WD15	19.07.18	UPDATE COVER			
WD14	08.05.18	UPDATE COVER			
WD13	01.05.18	UPDATE COVER			
WD12	01.05.18	UPDATE COVER			
WD11	18.04.18	UPDATE COVER			



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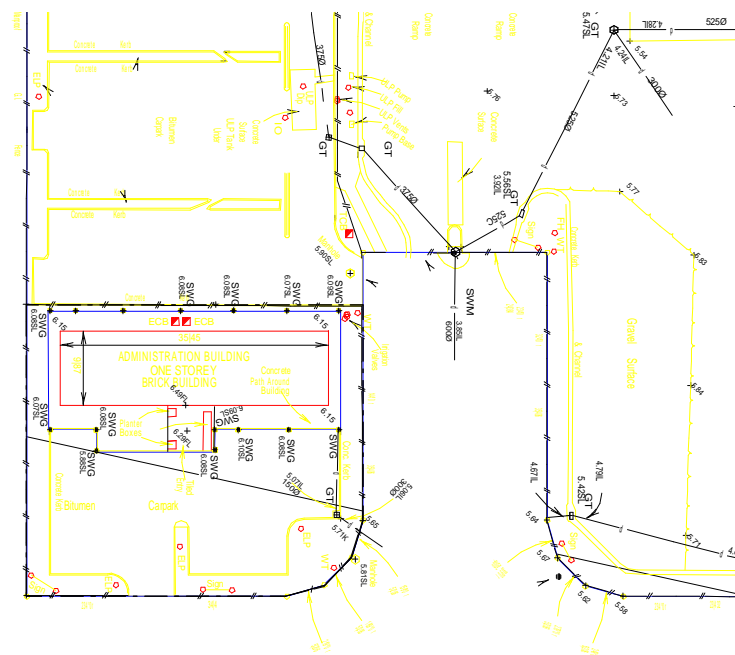
WORKING DRAWINGS

Issue Date 08.02.18

Job No
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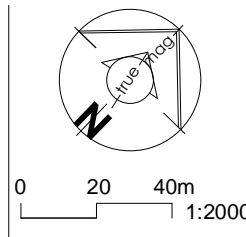
Issue
WD16-A

SHEET 1 OF 53



1 locality plan
1 : 1000

2 aerial image
1 : 500



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at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

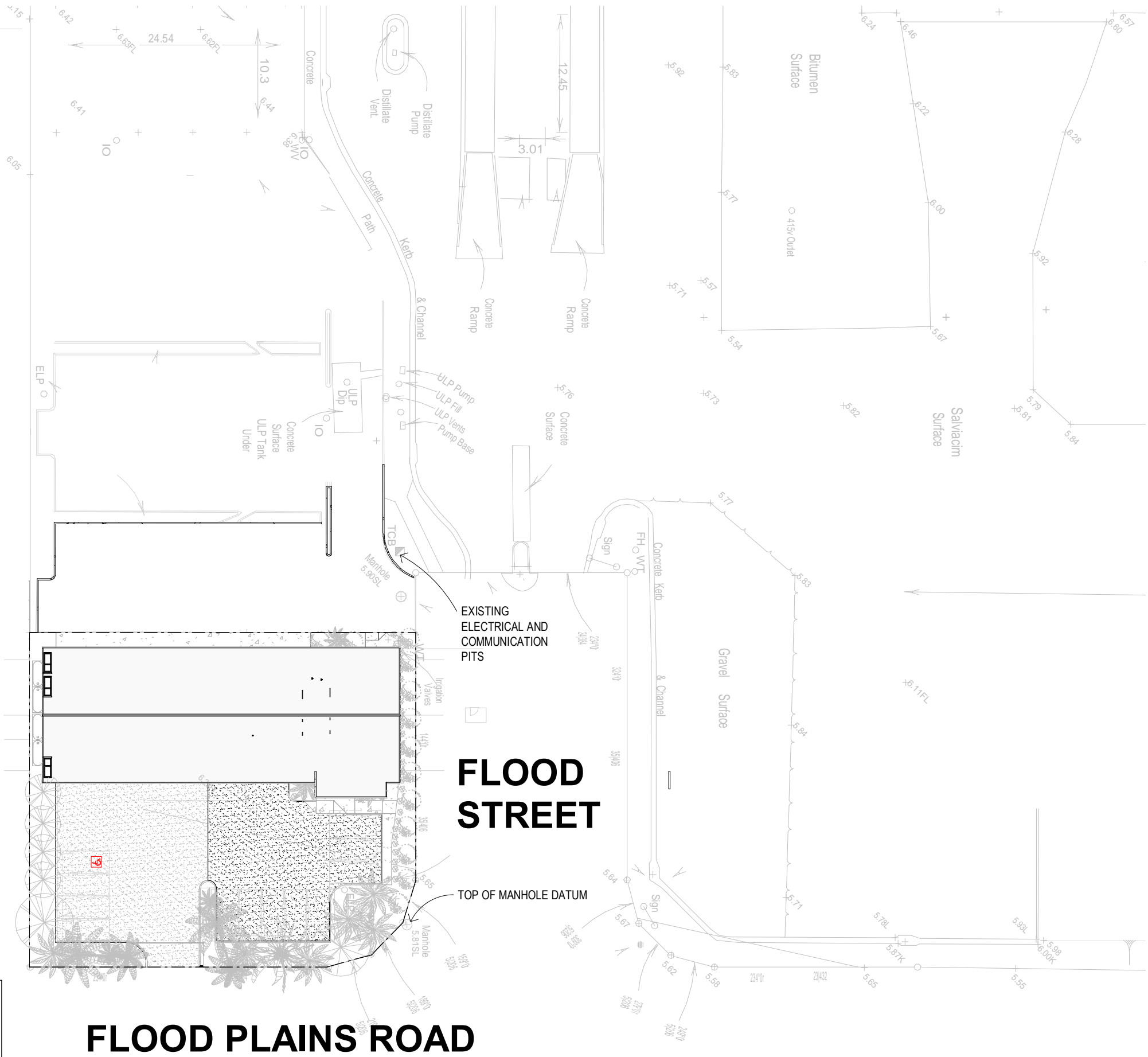
FOR CONSTRUCTION

LOCALITY PLANS

WORKING DRAWINGS

Scale at A3
A4
INDICATED
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211
Dwg No
002G01
Issue
WDO1



General Notes - Site

- 1 downpipes to egress into stormwater lines as shown taken to . . .
- 2 Site Note 2

Site Area	72 550 m ²
Site Cover Existing	653 m ² (0.9%)
Site Cover Proposed	653 m ² (0.9%)
GFA Existing	349m ²
GFA Proposed	617 m ²

Area Schedule (GFA)		
Level	Name	Area
Level 0	FECA L0 Area 2	126.60 m ²
Level 0	SECA L0 Area1	345.49 m ²
Level 1	FECA L1 Area 4	490.36 m ²
Level 1	SECA L1 Area 3	17.28 m ²
Level 1	SECA L1 Area 3	12.36 m ²
Grand total		992.09 m ²

R.P.D.: Lot 100 on R.P.16999
Parish of YERONGPILLY
County of STANLEY

Local Authority: Brisbane City Council

Area: 100 000SQ.M

Zoning/Overlays: LMR/LR
Demolition Control: NO
Character: NO
Small Lot: NO
Waterway: YES

Flood Level: 9.2

Transport Corridor: Category: 0

Climate Zone: 2

North Orientation Note:
North as indicated on these drawings, is taken from surveyor's meridian. True North maybe somewhat varied.

FLOOD PLAINS ROAD

FLOOD STREET

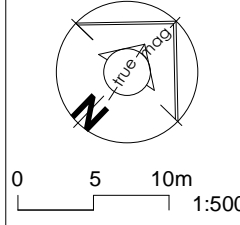
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WD03 19.10.18 AS BUILTS
WD02 06.12.17 ADD ELECTRICAL PITS
Issue Date Issue Description

Rev Date Revision Description



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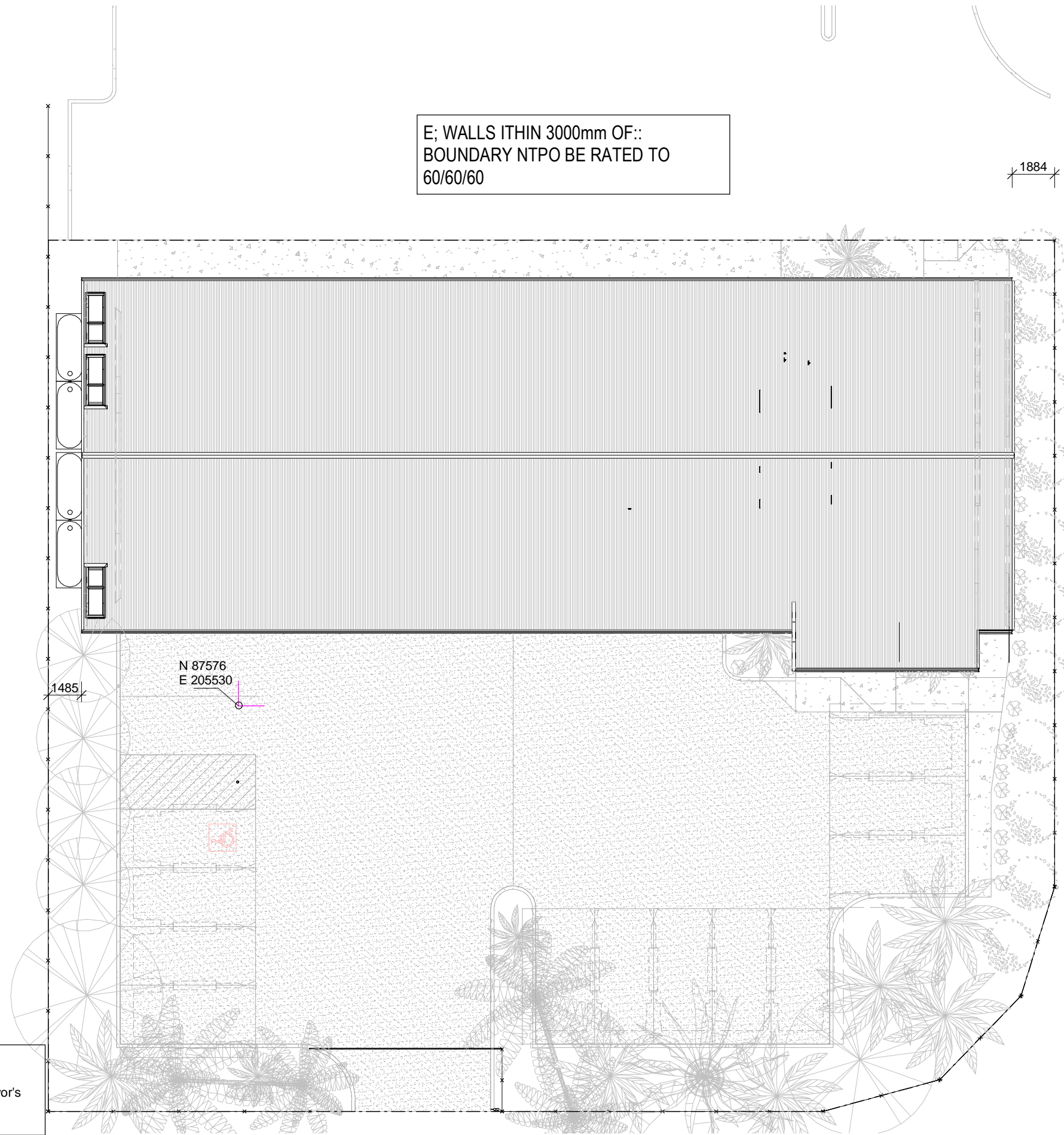


OFFICE BUILDING
at 120 FLOOD PLAINS ROAD
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SITE PLAN 1-500
WORKING DRAWINGS

Scale at A3
1 : 500
Designed MDW
Drawn MDW
Checked MDW

Job No #80211
Dwg No 1015P1
Issue WD03-B
SHEET 3 OF 53



General Notes - Site

- 1 downpipes to egress into stormwater lines as shown taken to . . .
- 2 Site Note 2

General Notes - Demolition

- 1 Undertake other demolition work as required, in order to produce the final building as illustrated in these drawings.
- 2 During demolition, ensure that all necessary hoardings, screens, propping & procedures are carried out, as required under the Workplace Health & Safety Act and to provide structural adequacy.
- 3 Where junctions/elements between demolished and remaining items are to remain, these areas are to be made good.
- 4 Where practical, retain removed materials for re-use, particularly items listed as such on this drawing. Store items for re-use away from the elements, or as appropriate.
- 5 If asbestos based materials are encountered, specialist removers must be engaged, and all other persons removed from site. Also, all neighbouring properties to be informed.
- 6 Safety - Refer notes in this set.

General Notes - Existing Site

- 1 existing downpipes discharge into existing stormwater lines
- 2 Services shown hereon have been located where possible by field survey.
- 3 contours and site data supplied by Sims
- 4 If not able to be located, services have been plotted from the records of relevant authorities where available.
- 5 Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.
- 6

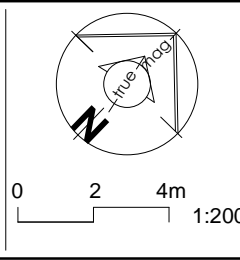
North Orientation Note:
North as indicated on these drawings, is taken from surveyor's meridian. True North maybe somewhat varied.

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	07.02.18	+ FWD CAR PARK NOTE			

Rev	Date	Revision Description

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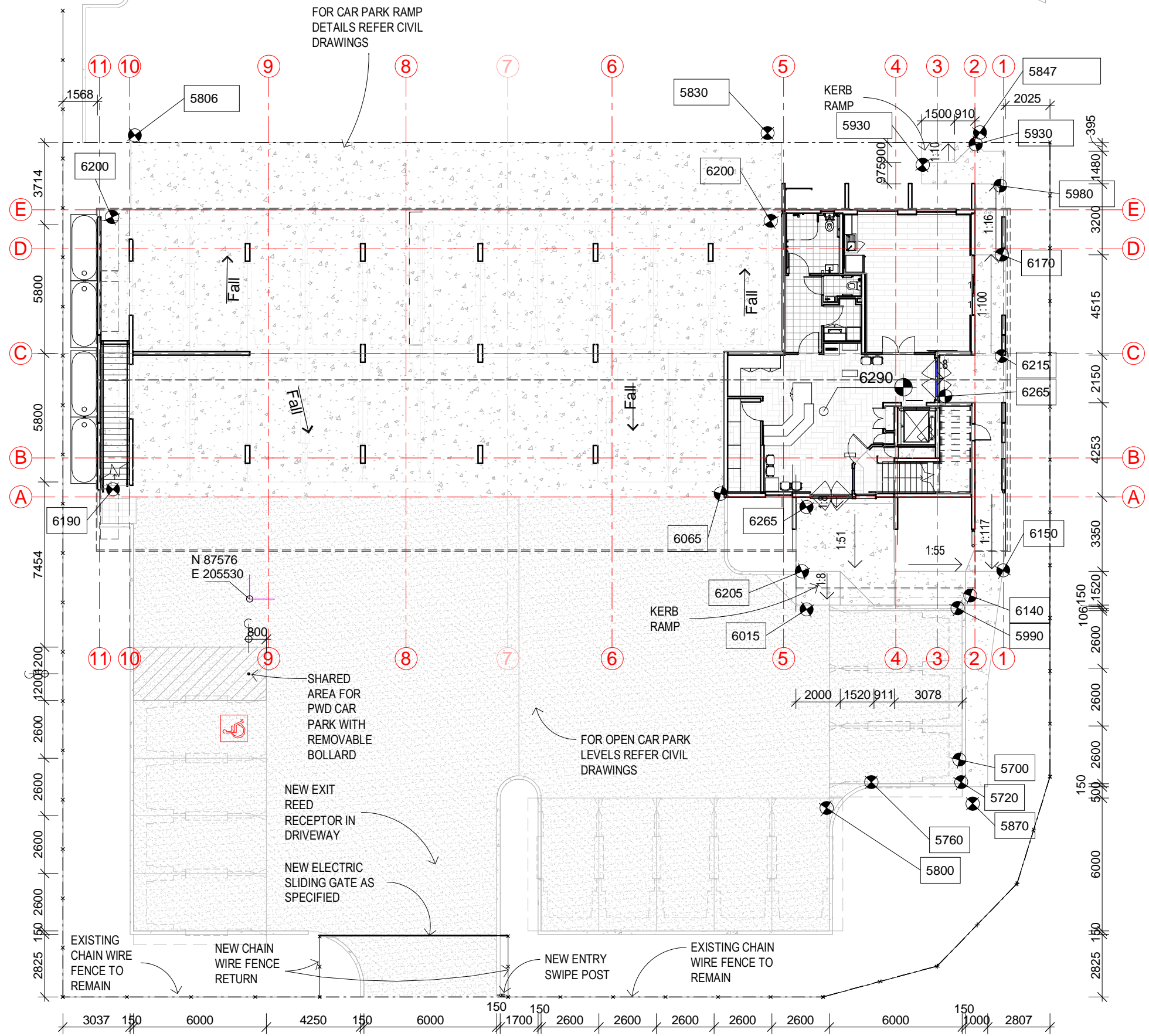
OFFICE BUILDING
at 120 FLOOD PLAINS ROAD
BRISBANE
for MANAGEMENT + CO

SITE PLAN 1-200

WORKING DRAWINGS

Scale at A3
1 : 200
Designed MDW
Drawn MDW
Checked MDW

Job No #80211
Dwg No 1028FI
Issue WDO2-A
SHEET 4 OF 53



General Notes - Site

1 downpipes to egress into stormwater lines as shown taken to . . .

2 Site Note 2

FOR CONSTRUCTION

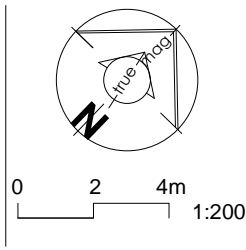
Issue	Date	Issue Description
WD10	09.07.18	ALT REAR PED ACCESS
WD09	14.06.18	ALT PEDEST ACCESS
WD08	11.06.18	ALT PEDEST ACCESS
WD06	08.06.18	ALT PEDEST ACCESS
WD05	06.06.18	ALTER LEVELS
WD13	12.09.18	ALT PWD CAR PARK
WD12	24.07.18	ALT PEDESTRIAN PATHS
WD11	18.07.18	ALTER REAR CAR PARK

Rev	Date	Revision Description
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**SITE PLAN 1-200
GROUND LEVEL**

WORKING DRAWINGS

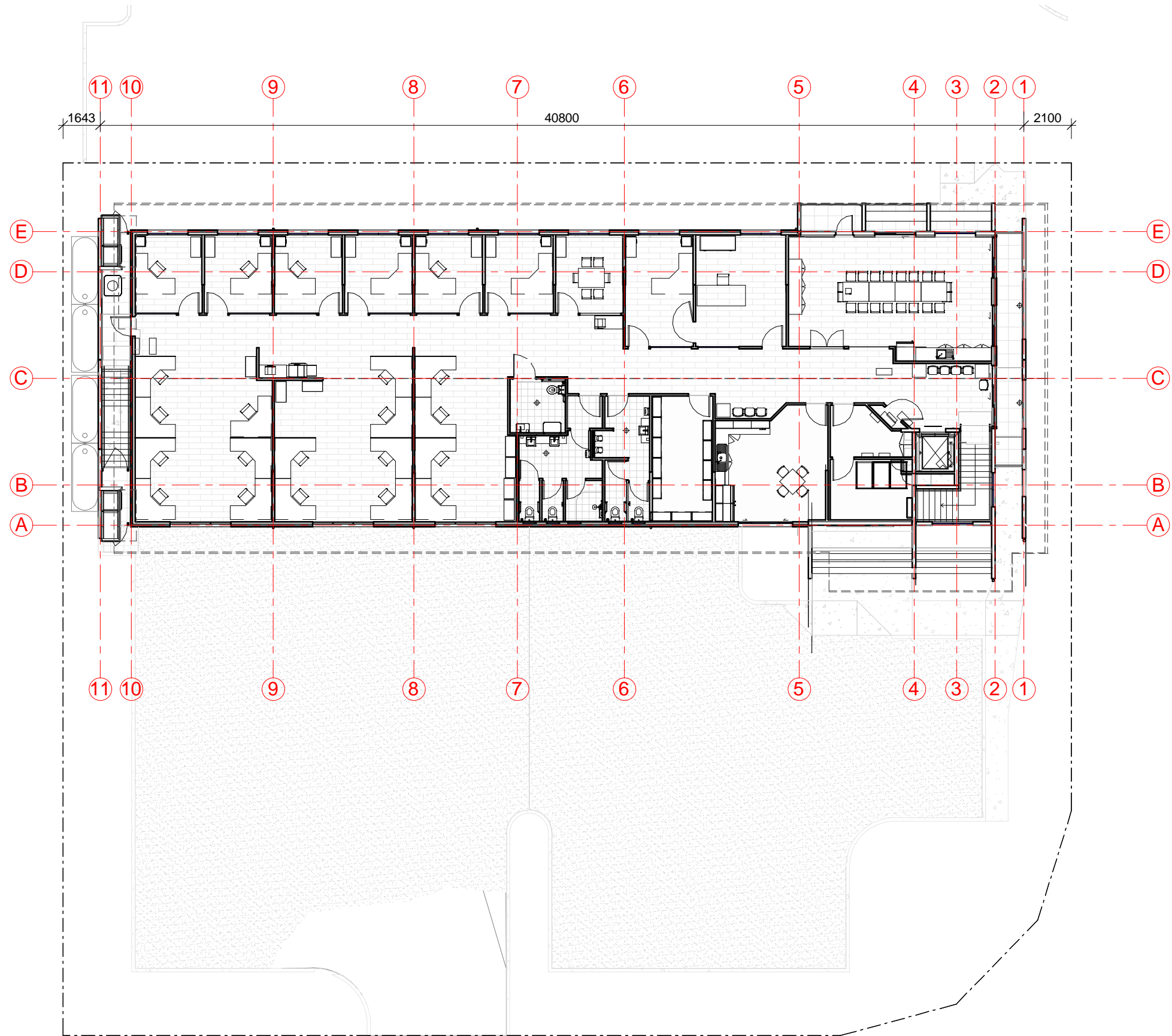
Scale at A3 1 : 200
Designed MDW
Drawn MDW
Checked MDW

Job No
#80211

Dwg No
1036F1

Issue
WD13-F

SHEET 5 OF 53

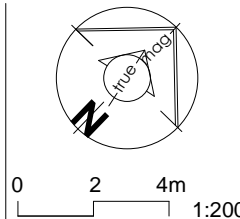


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Issue	Date	Issue Description	Rev	Date	Revision Description



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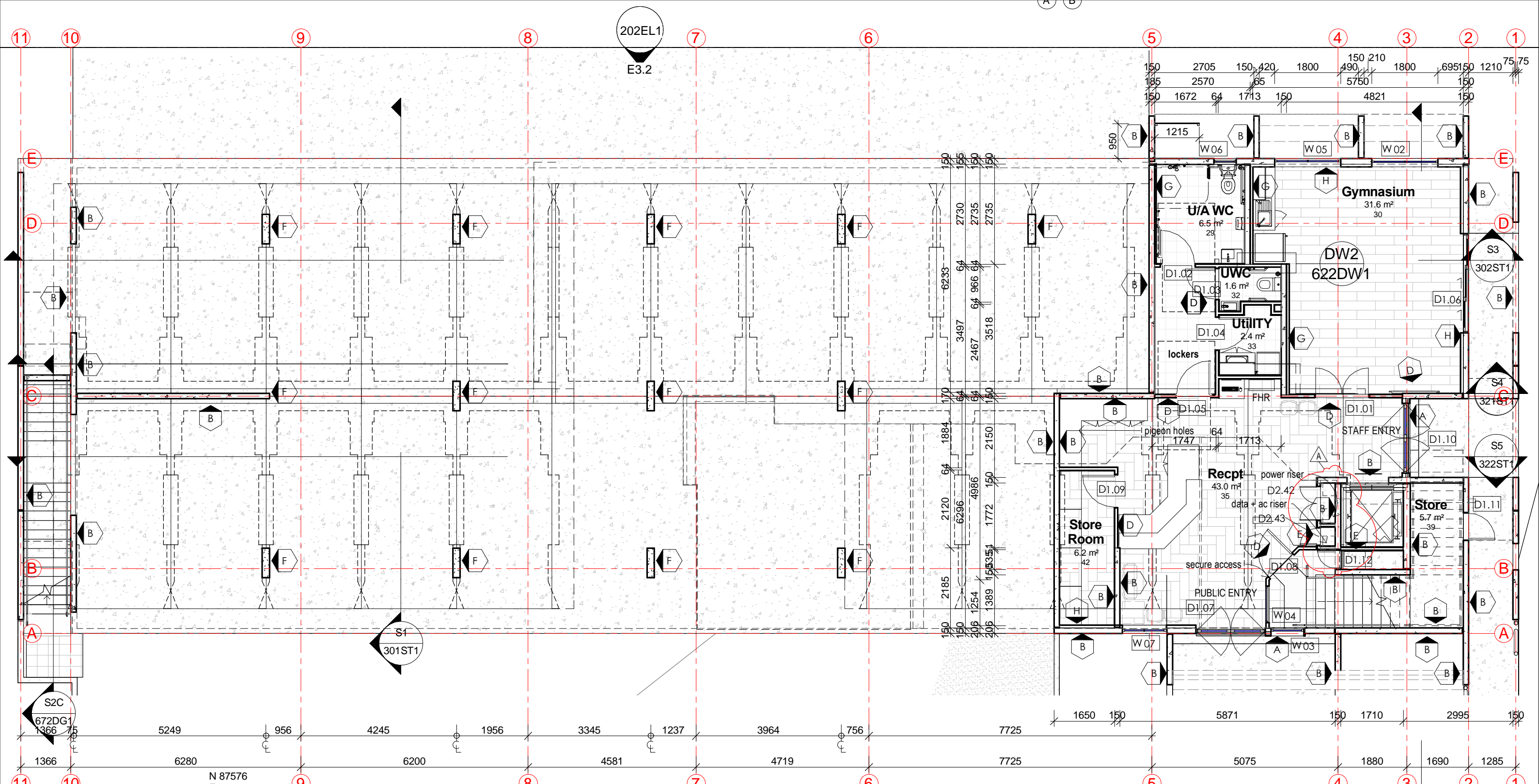
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SITE PLAN 1-200 FIRST LEVEL
 WORKING DRAWINGS

Scale at A3
 1 : 200
 Designed MDW
 Drawn MDW
 Checked MDW

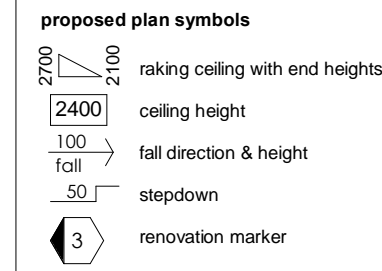
Job No
#80211
 Dwg No
1049P1
 Issue
WDO1

SHEET 6 OF 153



Sheet Notes - 110FP
 A Sheet 110FP Note A
 B Sheet 110FP Note B

WALL TYPE SCHEDULE	
CODE	Wall description
A	ARC Maximus Horizontal Facade 212.5=33colorbond+35furring+40insulation+4.5Ply+90stud+10PB
B	Tilt Concrete Panel refer Engineer for thickness
C	Stud 90 118mm=10PB+6Ply+90frame+6Ply+10PB
D	Interior-Steel Frame 90= 13PB+64frame+13PB
E	Interior-Steel Frame 103= 2x13PB+51frame+2x13PB
F	Insitu Concrete - refer Engineer for thickness
G	Lined Concrete Panel 191=150Concrete+35furring+6FC
H	Tilt Concrete Panel with mid insulated double furring channel and 10PB



KEYNOTES LEGEND

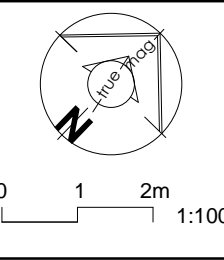
ITEM	DESCRIPTION
S1	301ST1
S2	301ST1
S3	302ST1
S4	321ST1
S5	322ST1

FOR CONSTRUCTION

Issue	Date	Issue Description
WD06	13.10.18	AS BUILTS
WD05	06.03.18	ALTER FIRE DOORS
WD04	23.02.18	LOSE W01+ALT F24AL0
WD03	22.02.18	INCORP ALL BA CHANGES
WD02	18.12.17	POST TENDER

Rev	Date	Revision Description
A	18.12.17	Enlarge server room

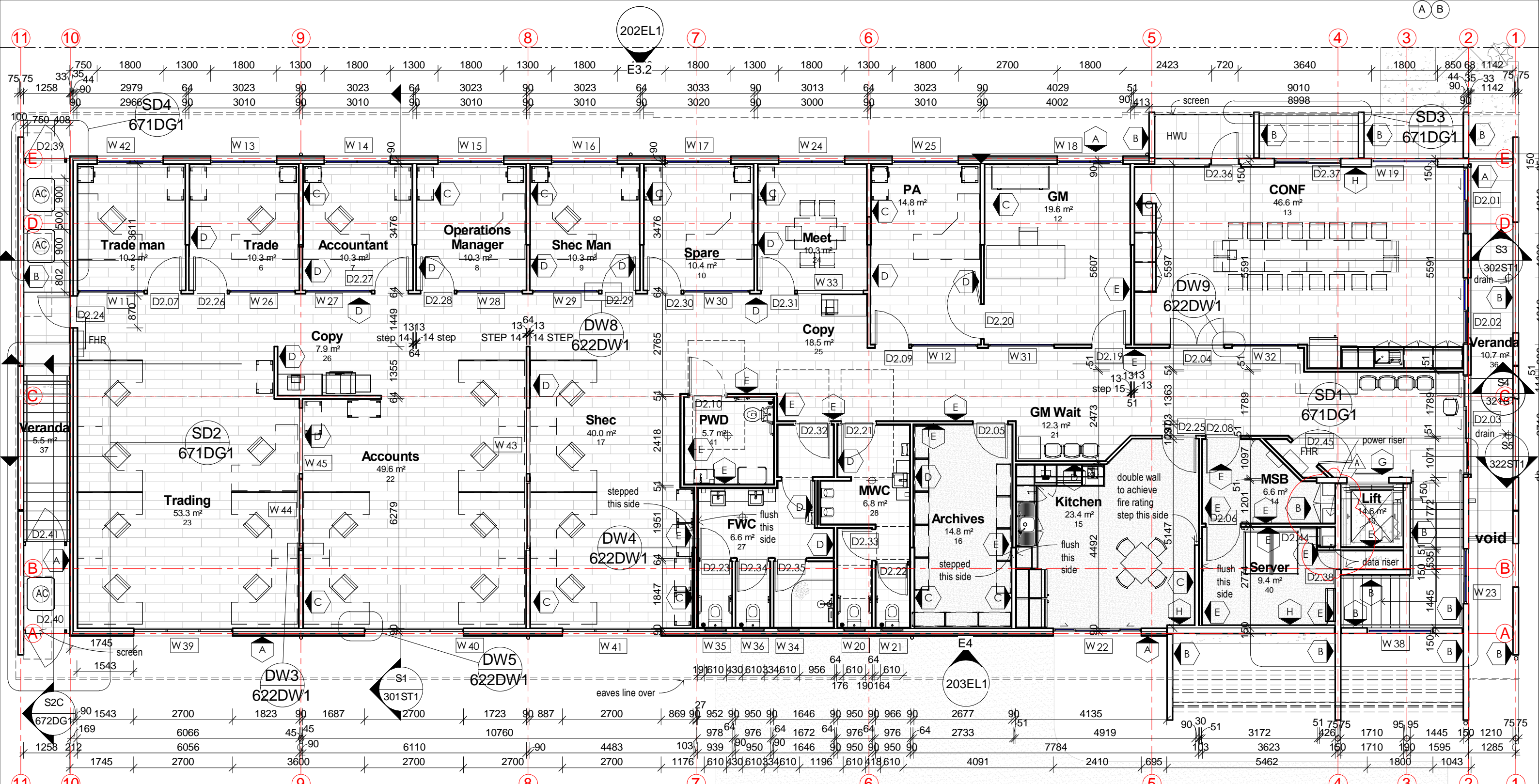
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OFFICE BUILDING
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 BRISBANE
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LEVEL 0 FLOOR PLAN
 WORKING DRAWINGS

Scale at A3
 1:100
 Designed MDW
 Drawn MDW
 Checked MDW
 Job No #80211
 Dwg No 110FP1
 Issue WD06-D
 SHEET 1 OF 53



WALL TYPE SCHEDULE	
CODE	Wall description
A	ARC Maximus Horizontal Facade 212.5=33colorbond+35furring+40insulation+4.5Ply+90stud+10PB
B	Tilt Concrete Panel refer Engineer for thickness
C	Stud 90 118mm=10PB+6Ply+90frame+6Ply+10PB
D	Interior-Steel Frame 90= 13PB+64frame+13PB
E	Interior-Steel Frame 103= 2x13PB+51frame+2x13PB
F	Insitu Concrete - refer Engineer for thickness
G	Lined Concrete Panel 191=150Concrete+35furring+6FC
H	Tilt Concrete Panel with mid insulated double furring channel and 10PB

proposed plan symbols

- raking ceiling with end heights
- ceiling height
- fall direction & height
- stepdown
- renovation marker

Sheet Notes - 111FP
 A Sheet 111FP Note A
 B Sheet 111FP Note B

KEYNOTES LEGEND

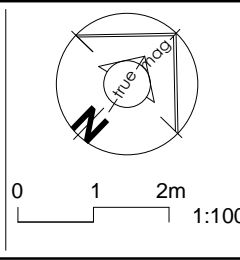
ITEM	DESCRIPTION

FOR CONSTRUCTION

Issue	Date	Issue Description
WD09	05.07.18	ALTER GM OFFICE
WD08	26.06.18	ALTER FHR LI
WD07	02.05.18	CLARIFY FINISHES + DIMS
WD06	01.05.18	ADD DIMENSIONS
WD05	06.03.18	ALTER FIRE DOORS
WD04	28.02.18	ALTER LIFT DIMENSION
WD11	19.10.18	AS BUILTS
WD10	09.07.18	ALTER WALL DESCRIP

Rev	Date	Revision Description
A	18.12.17	Enlarge server room

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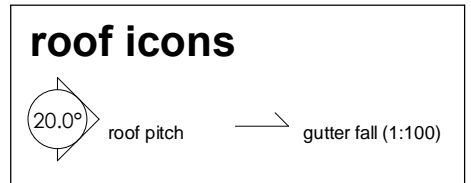
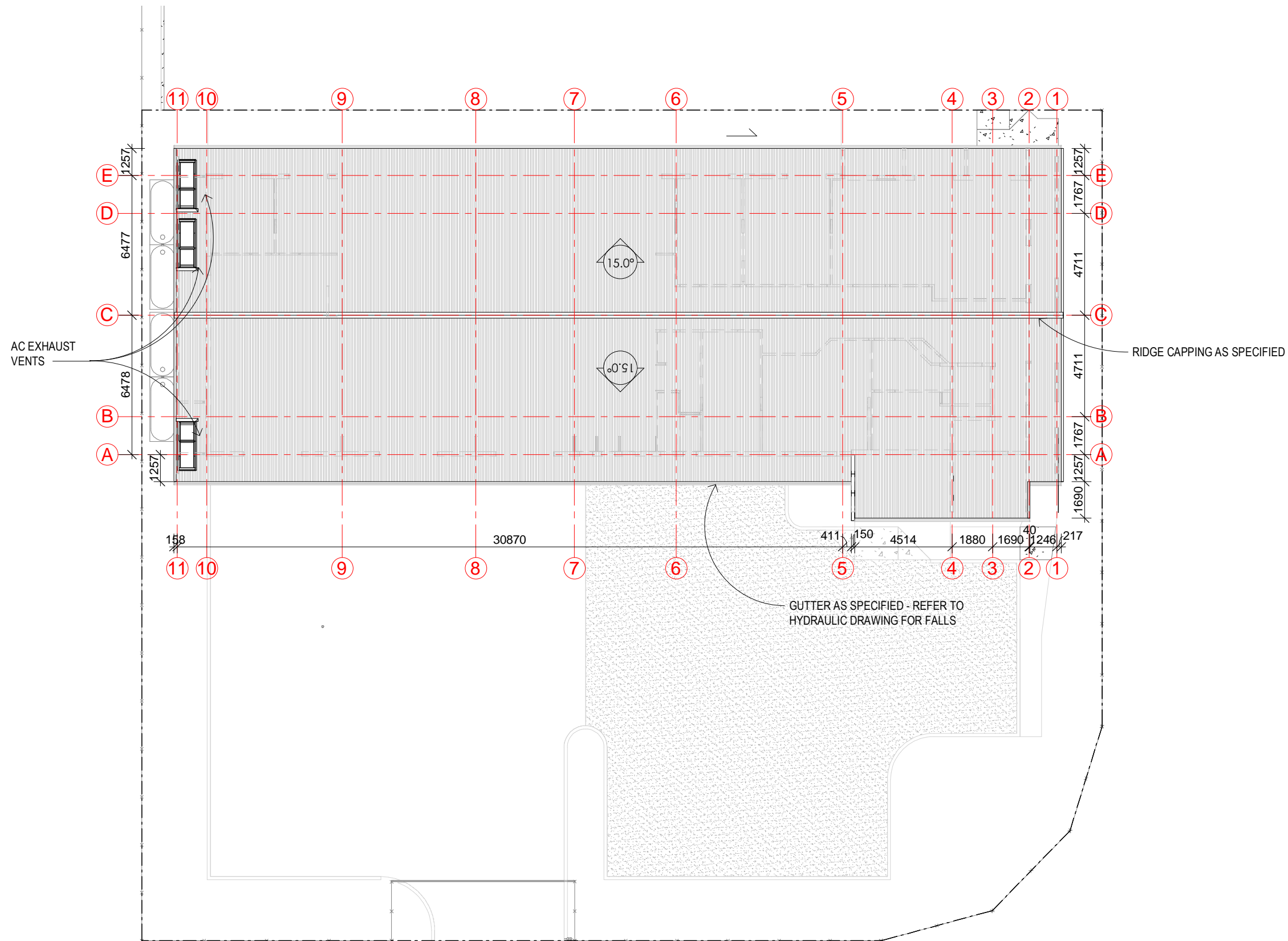


OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
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LEVEL 1 FLOOR PLAN
 Scale at A3
 1:100
 Designed MDW
 Drawn MDW
 Checked MDW
WORKING DRAWINGS

Job No
#80211
 Dwg No
111FP1
 Issue
WD11-1
 SHEET 8 OF 53

KEYNOTES LEGEND	
ITEM	DESCRIPTION



FOR CONSTRUCTION

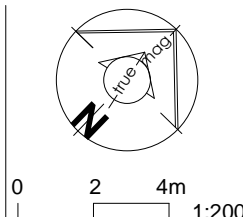
WD02 15.10.18 AS BUILTS
AA0 00.00.12 ISSUE 01

Issue	Date	Issue Description	Rev	Date	Revision Description
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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

ROOF PLAN

WORKING DRAWINGS

Scale at A3
1 : 200

Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211

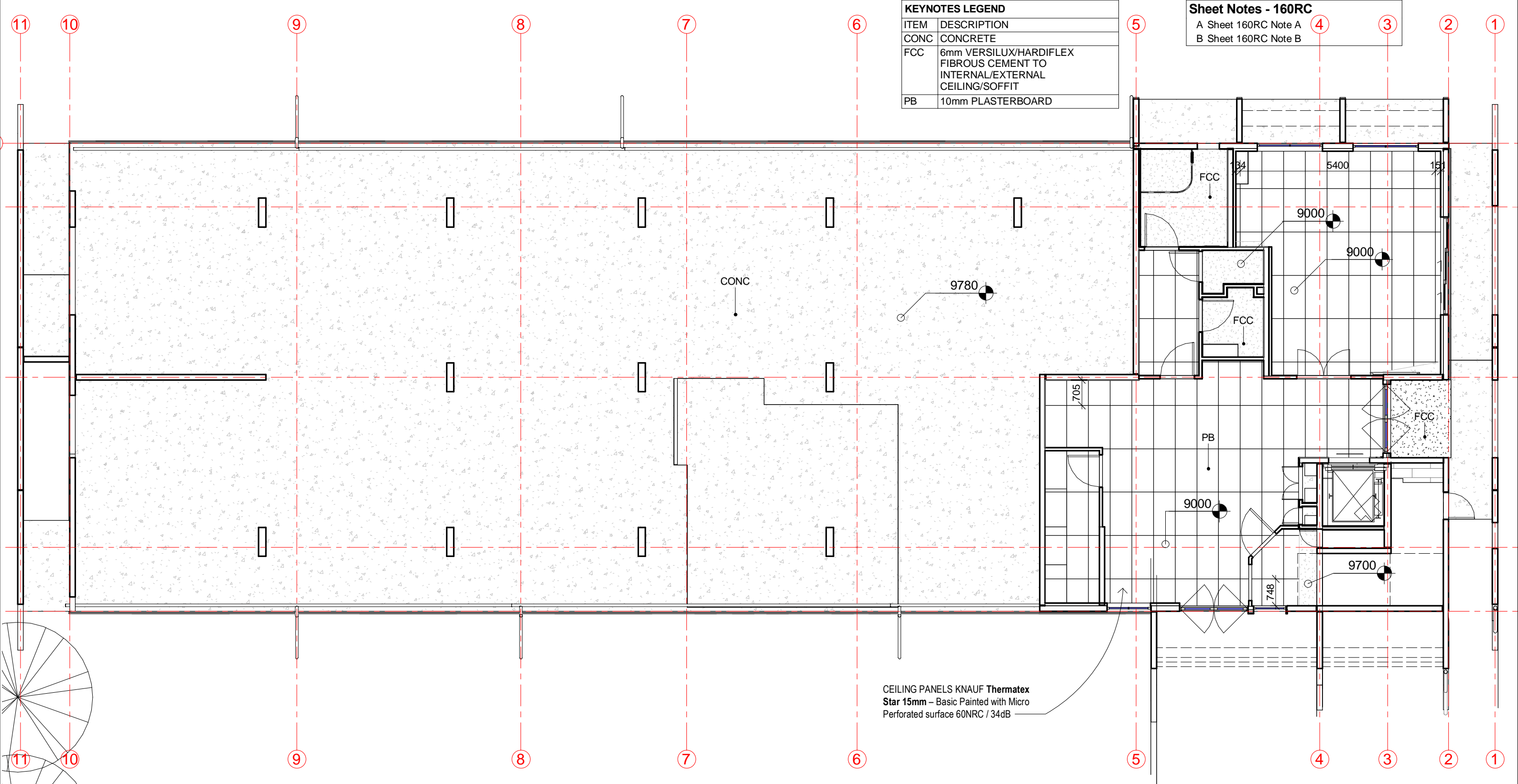
Dwg No
131RPI

Issue
WD02-A

SHEET 9 OF 153

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CONC	CONCRETE
FCC	6mm VERSILUX/HARDIFLEX FIBROUS CEMENT TO INTERNAL/EXTERNAL CEILING/SOFFIT
PB	10mm PLASTERBOARD

Sheet Notes - 160RC
 A Sheet 160RC Note A
 B Sheet 160RC Note B

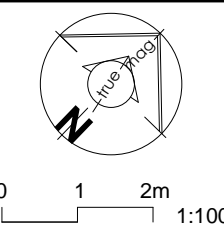


CEILING PANELS KNAUF Thermatex
 Star 15mm – Basic Painted with Micro
 Perforated surface 60NRC / 34dB

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	22.02.18	INCORP ALL BA CHANGES			
WD02	08.02.18	BA CHANGES			

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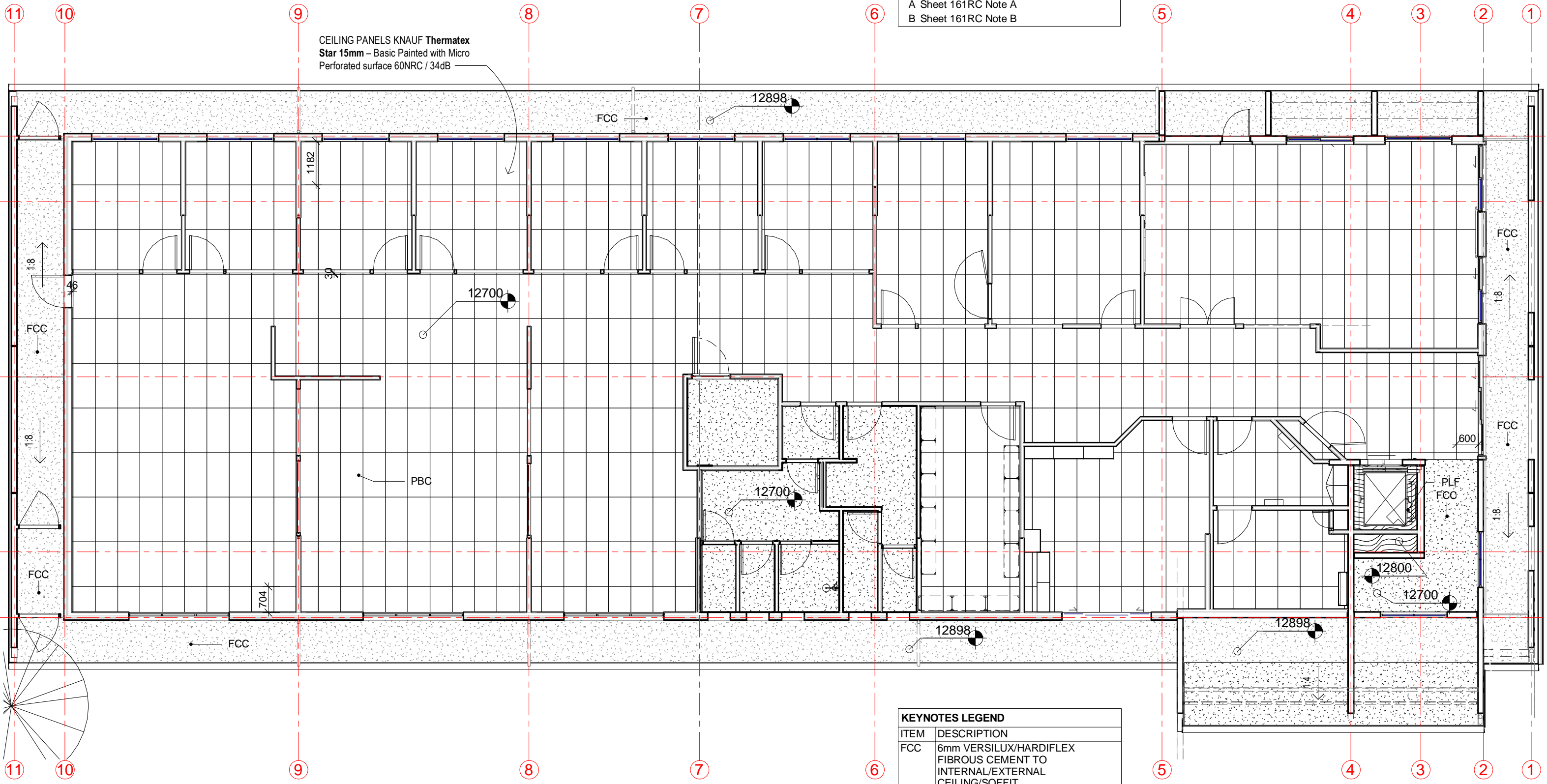
OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

LEVEL 0 RCP
 WORKING DRAWINGS

Scale at A3
 1 : 100
 Designed MDW
 Drawn MDW
 Checked MDW
 Job No #80211
 Dwg No 160RC1
 Issue WD03-B
 SHEET 10 OF 153

Sheet Notes - 161RC
 A Sheet 161RC Note A
 B Sheet 161RC Note B

CEILING PANELS KNAUF Thermanex
 Star 15mm – Basic Painted with Micro
 Perforated surface 60NRC / 34dB

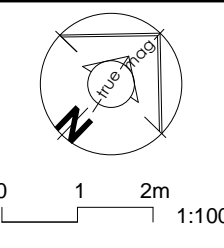


KEYNOTES LEGEND	
ITEM	DESCRIPTION
FCC	6mm VERSILUX/HARDIFLEX FIBROUS CEMENT TO INTERNAL/EXTERNAL CEILING/SOFFIT
PBC	10mm PLASTERBOARD TO CEILING
PLF	PLY FLOOR - 19mm CHH PLYFLOOR

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	22.02.18	INCORP ALL BA CHANGES			
AA0	00.00.12	ISSUE 01			

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OFFICE BUILDING
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LEVEL 1 RCP
 WORKING DRAWINGS

Scale at A3
 1:100

Designed
 MDW

Drawn
 MDW

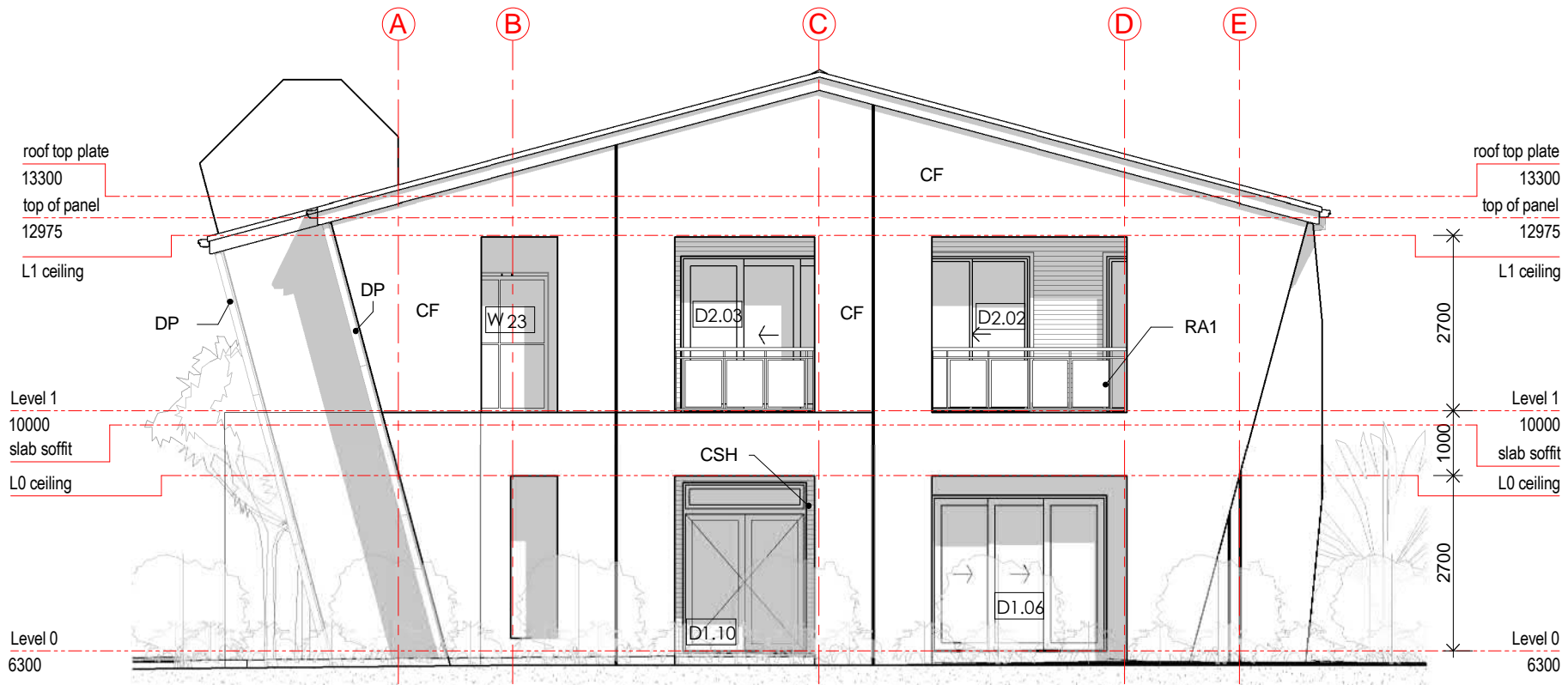
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Job No
#80211

Dwg No
161RC1

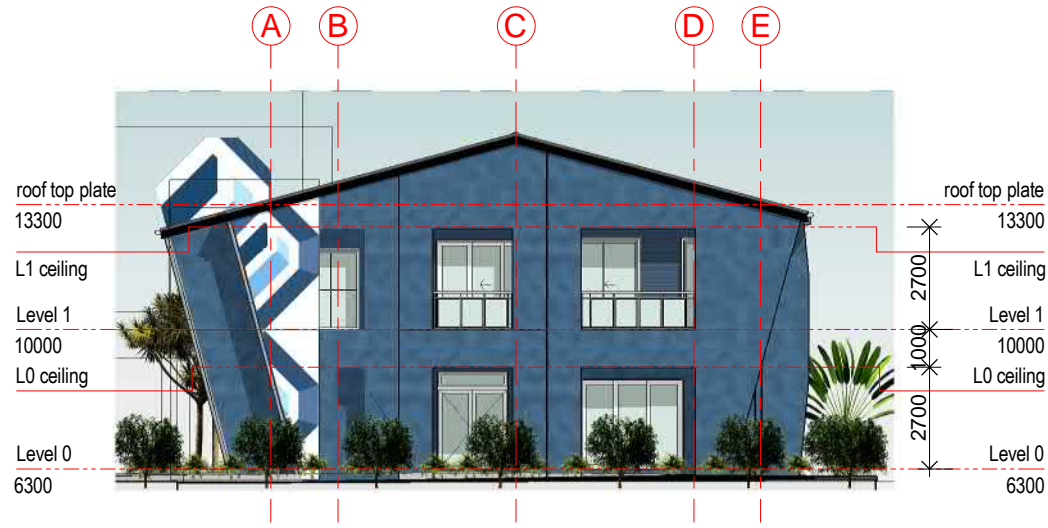
Issue
WD02-A

SHEET 11 OF 53

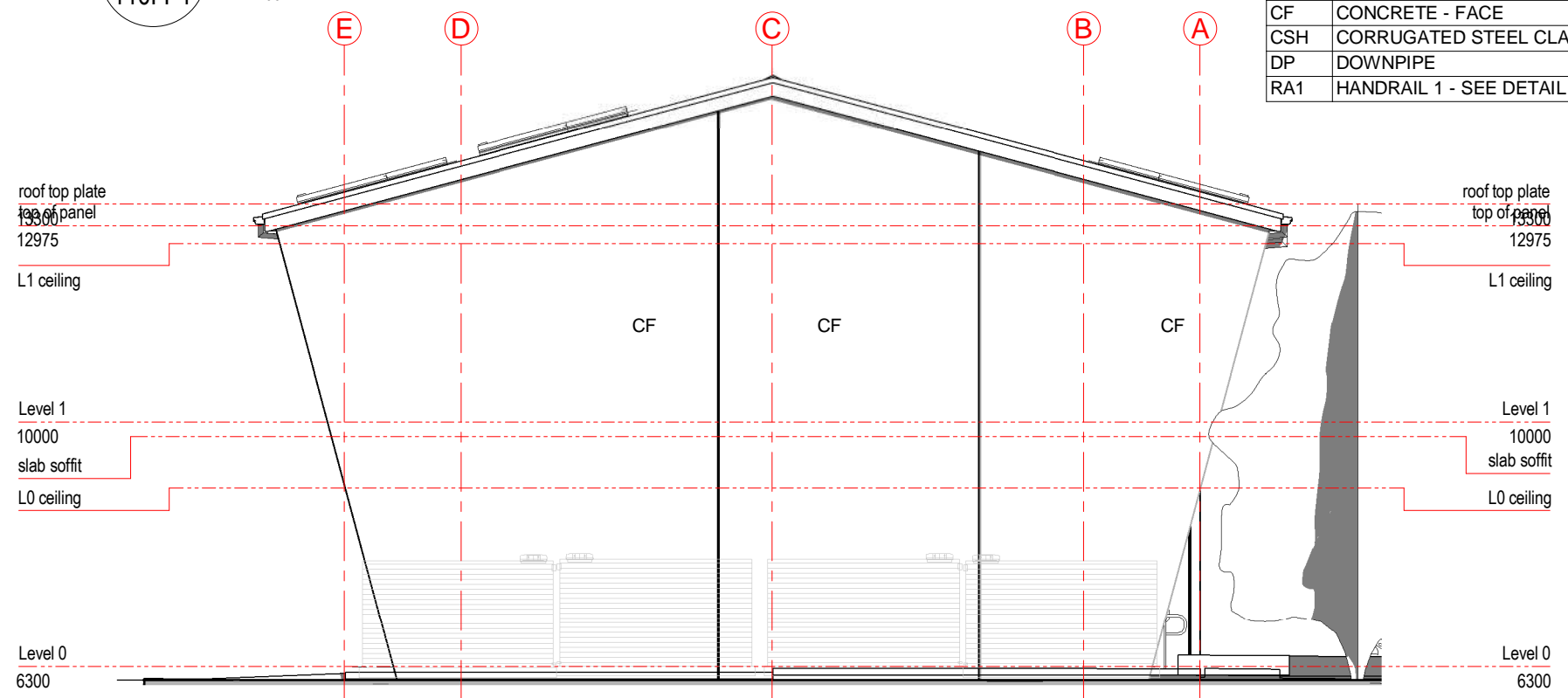


E1 proposed east elevation
110FP1 1:100

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CF	CONCRETE - FACE
CSH	CORRUGATED STEEL CLADDING HORIZONTAL
DP	DOWNPIPE
RA1	HANDRAIL 1 - SEE DETAIL

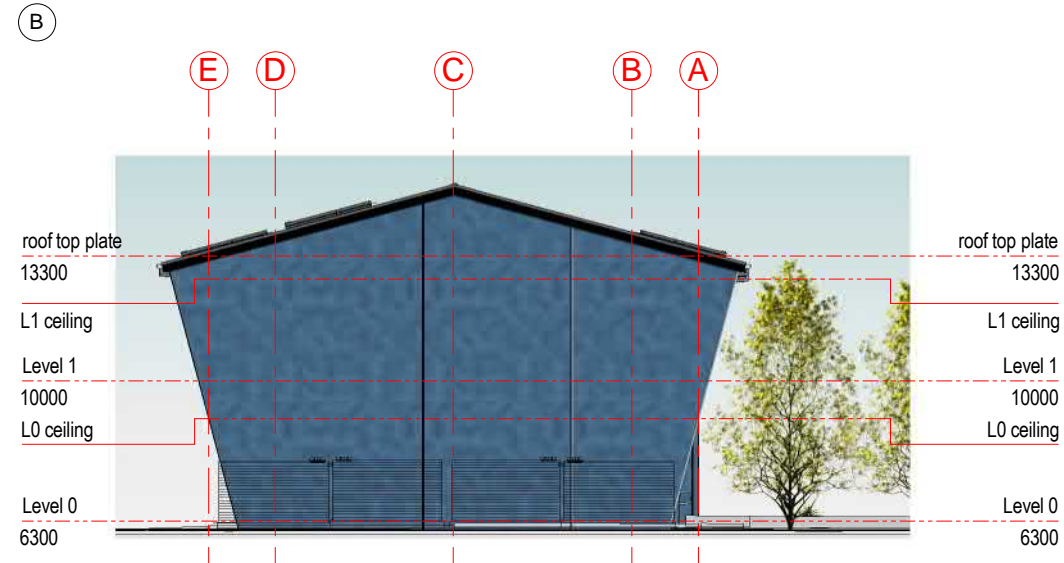


E1.2 proposed east elevation 1=200 Copy
112FP 1:200



E2 proposed west elevation
110FP1 1:100

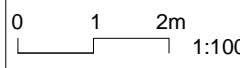
Sheet Notes - 201EL
A Sheet 201EL Note A
B Sheet 201EL Note B



E2.2 proposed west elevation 1=200 Copy
112FP 1:200

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02 - 23.02.18		LOSE OPENING P24A.L0			

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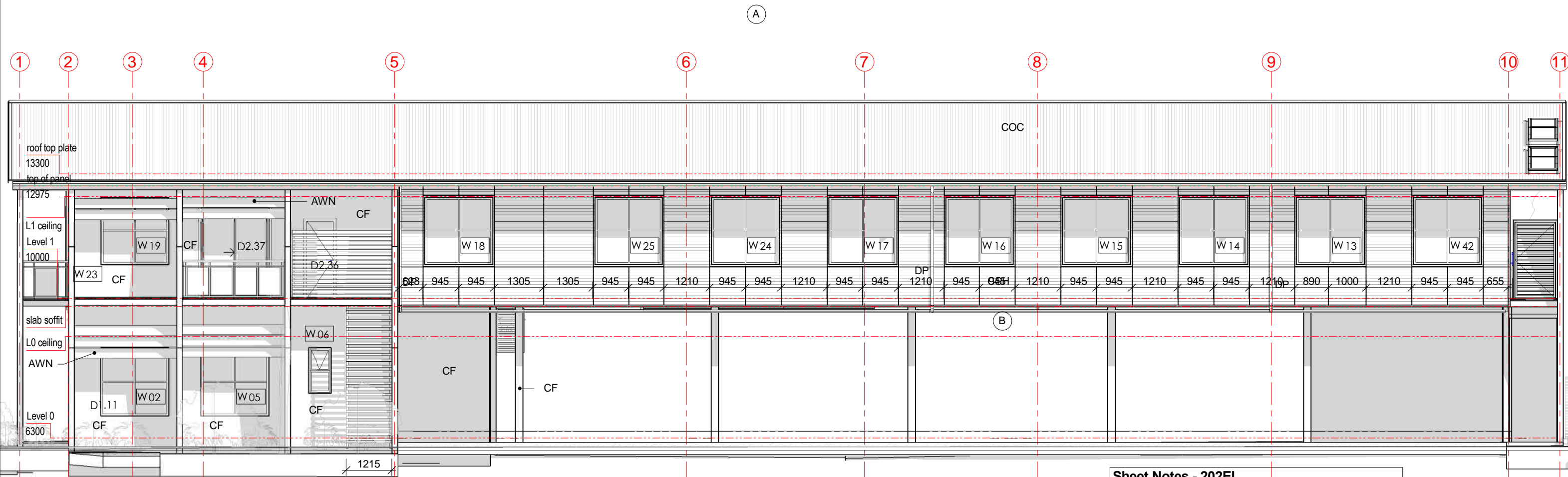


OFFICE BUILDING
at 120 FLOOD PLAINS ROAD
BRISBANE
for MANAGEMENT + CO

FOR CONSTRUCTION

ELEVATIONS E1 + E2
WORKING DRAWINGS

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW
Job No #80211
Dwg No 201ELI
Issue WD02-A
SHEET 12 OF 153



Sheet Notes - 202EL
 A set out to suit insulation sheets with extra top hats
 B set out to suit openings and cut insulation sheets

KEYNOTES LEGEND	
ITEM	DESCRIPTION
AWN	AWNING TO DETAIL
CF	CONCRETE - FACE
COC	CUSTOMORB - COLORBOND
CSH	CORRUGATED STEEL CLADDING HORIZONTAL
DP	DOWNPIPE

E3 proposed north elevation
 110FP1 1:100



E3.2 proposed north elevation 1=200
 110FP1 1:200

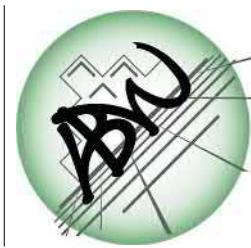
FOR CONSTRUCTION

ELEVATION E3 + E3.2

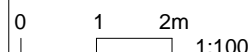
WORKING DRAWINGS

- WD04 - 01.05.18 ADD SCREEN
- WD03 - 28.05.18 ALTER TOP HATS
- WD02 - 21.05.18 ADD TOP HATS

Issue	Date	Issue Description	Rev	Date	Revision Description



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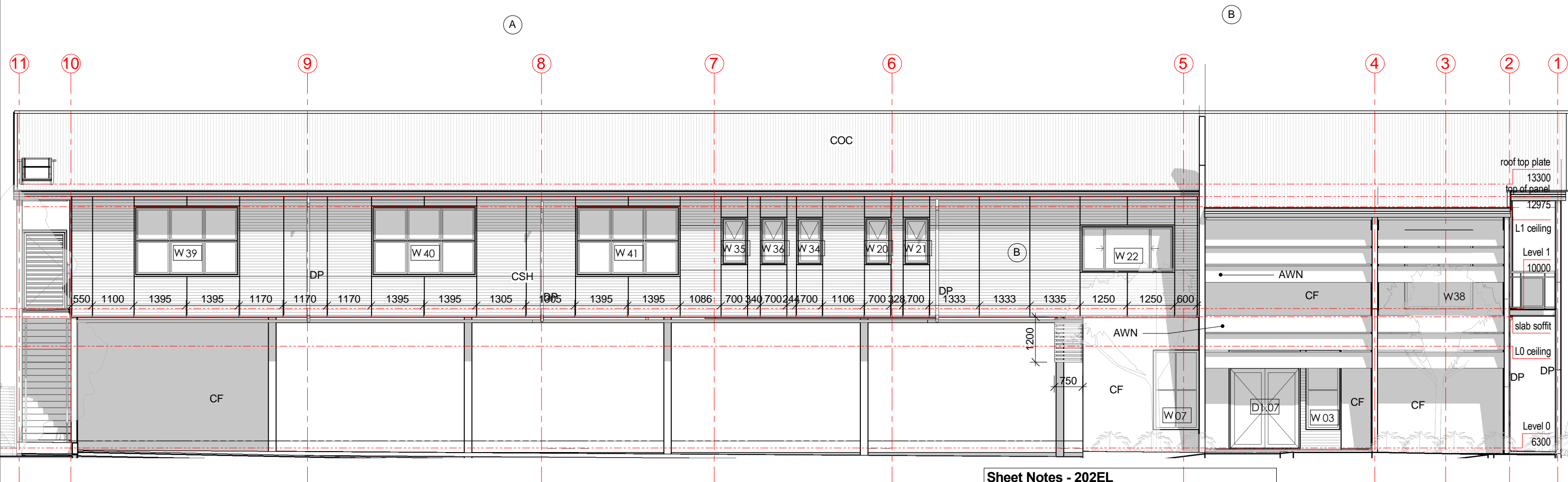
OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
 BRISBANE

for MANAGEMENT + CO

Scale at A3
 AS
 INDICATED
 Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

Job No
#80211
 Dwg No
202ELI
 Issue
WD04-B
 SHEET 13 OF 53



Sheet Notes - 202EL
 A set out to suit insulation sheets with extra top hats
 B set out to suit openings and cut insulation sheets

E4 proposed south elevation
 111FP1 1:100
 (11) (10) (9) (8) (7) (6) (5) (4) (3) (2) (1)

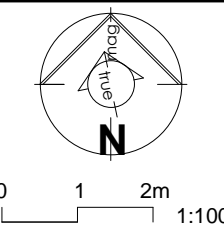


E4.2 proposed south elevation 1=200
 112FP 1:200

KEYNOTES LEGEND	
ITEM	DESCRIPTION
AWN	AWNING TO DETAIL
CF	CONCRETE - FACE
COC	CUSTOMORB - COLORBOND
CSH	CORRUGATED STEEL CLADDING HORIZONTAL
DP	DOWNPIPE

Issue	Date	Issue Description	Rev	Date	Revision Description
WD04	01.05.18	ADD SCREEN			
WD03	28.05.18	ALTER TOP HATS			
WD02	21.05.18	ADD TOP HATS			

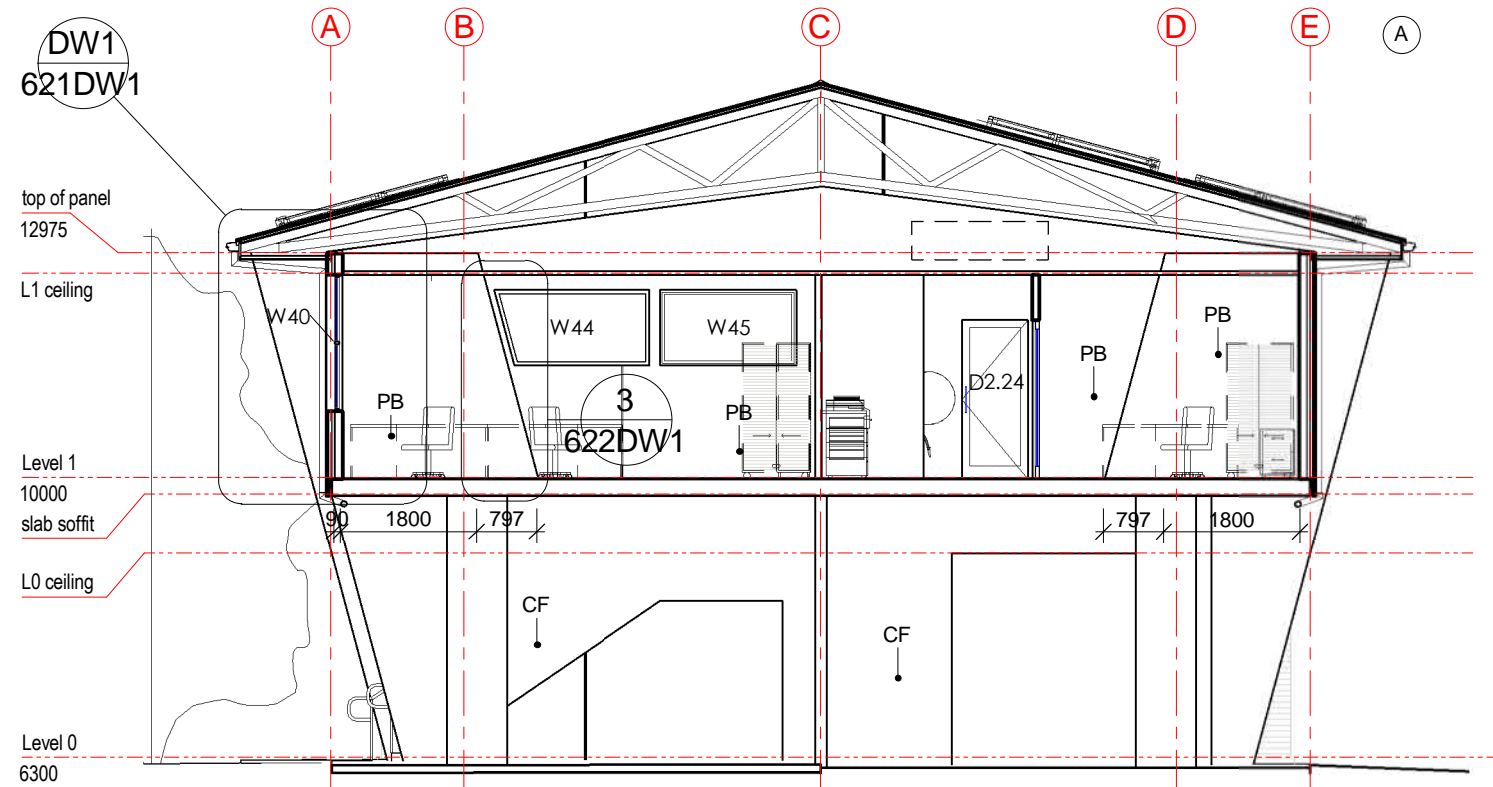
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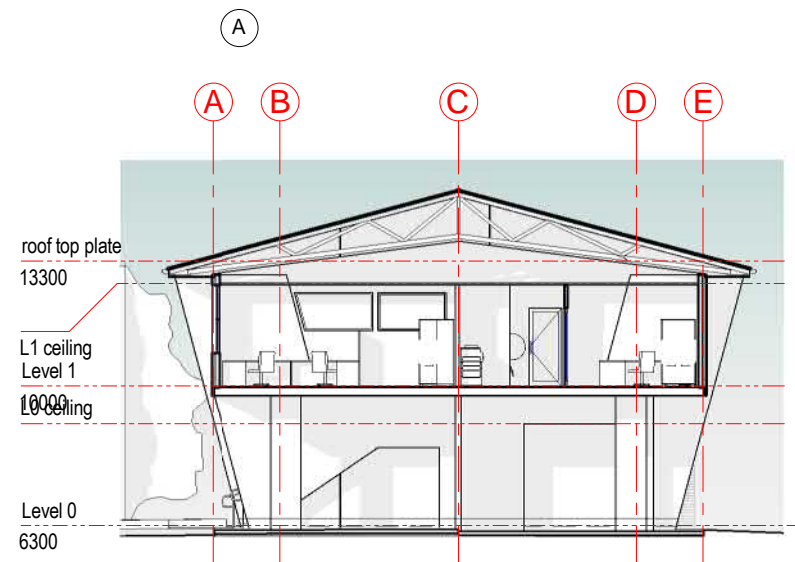
OFFICE BUILDING
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ELEVATION E4 + E4.2
 WORKING DRAWINGS

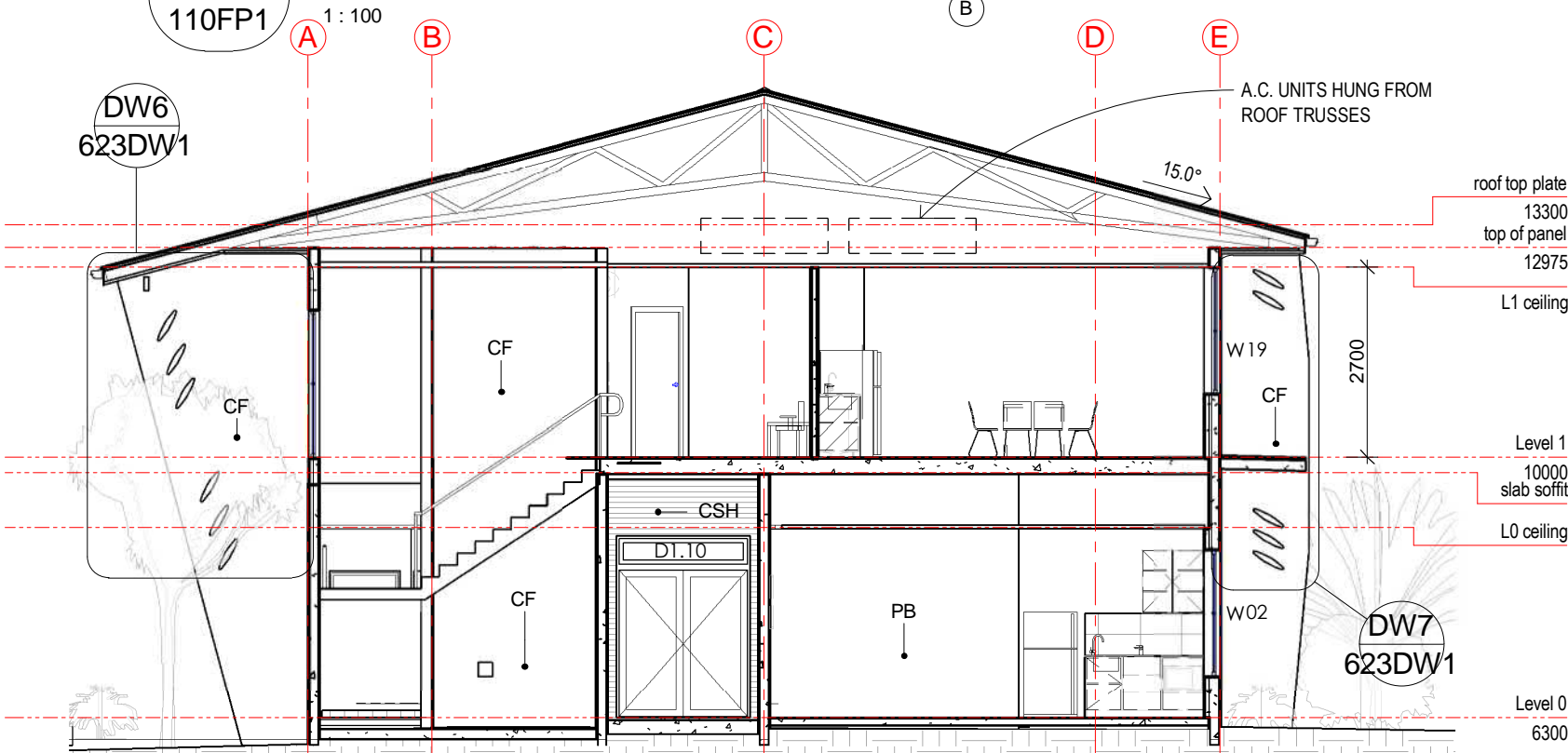
Scale at A3 AS INDICATED	Job No #80211
Designed MDW	Dwg No 203ELI
Drawn MDW	Issue WD04-B
Checked MDW	SHEET 14 OF 53



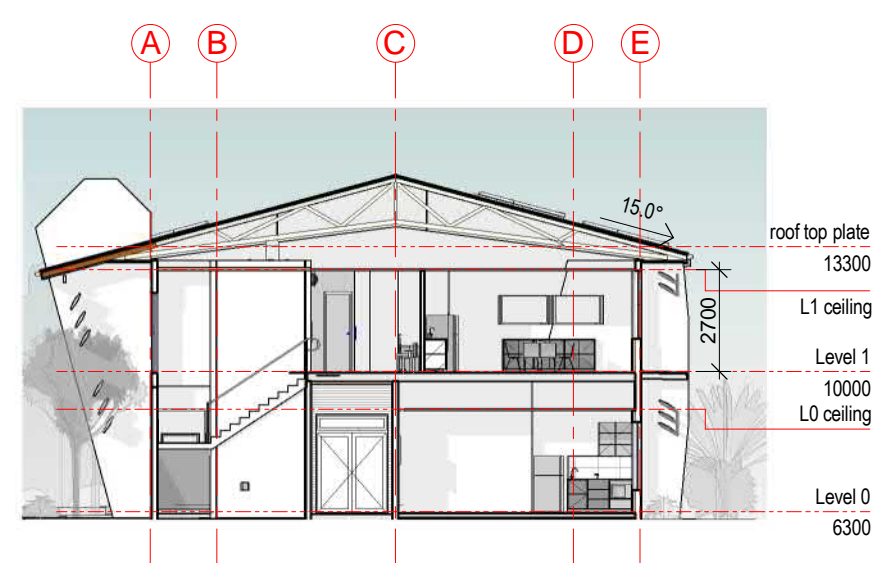
S1 typical sheeted wall detail
110FP1 1:100



S1.2 proposed short section west 1=200
112FP 1:200



S2 proposed short section east
110FP1 1:100



S2.2 proposed short section east 1=200
112FP 1:200

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CF	CONCRETE - FACE
CSH	CORRUGATED STEEL CLADDING HORIZONTAL
PB	10mm PLASTERBOARD

Sheet Notes - 301ST
 A Sheet 301ST Note A
 B Sheet 301ST Note B

general cladding note:
 all claddings to be fixed as per manufacturer's manual. refer designer for any queries.

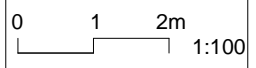
steel cladding note:
 all steel wall cladding to have flashings in same finish, as per manufacturer's manual, to all junctions, openings and onto other claddings.
 if cladding shown with ribs vertical, ensure noggings are placed at 1200 max crs.
 if cladding shown with ribs horizontal, ensure battens are placed at 1200 max crs.

board cladding note:
 all horizontal board cladding to have timber stops at corners, as per manufacturer's manual. at openings provide finish timbers as needed.

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	02.05.18	CLARIFY FINISHES + DIMS			

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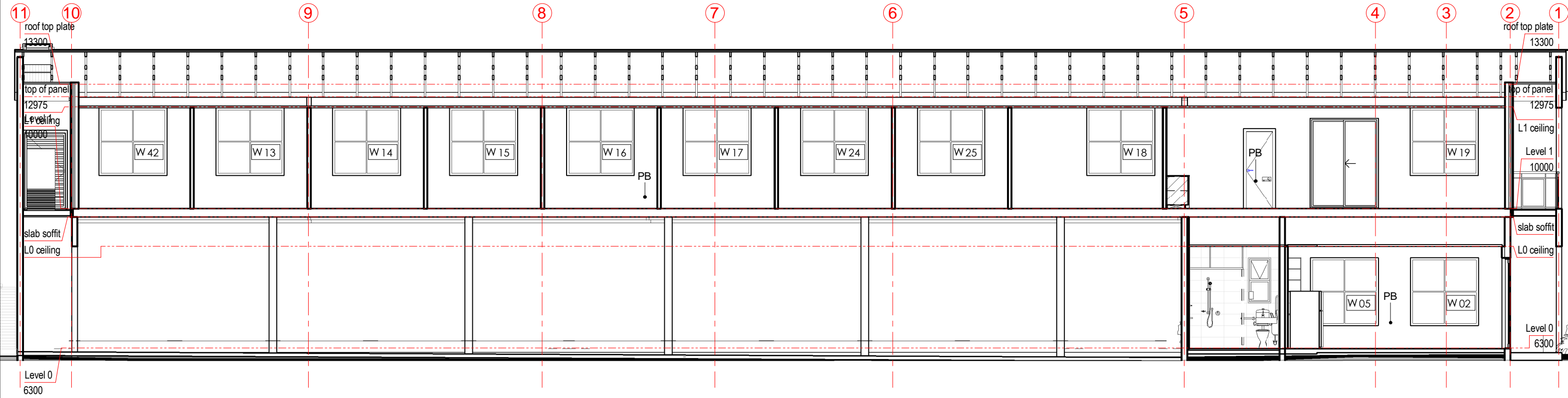


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SECTIONS S1 + S2 CROSS
 WORKING DRAWINGS

Scale at A3 AS INDICATED
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #80211
 Dwg No 301ST1
 Issue WD02-A
 SHEET 15 OF 53

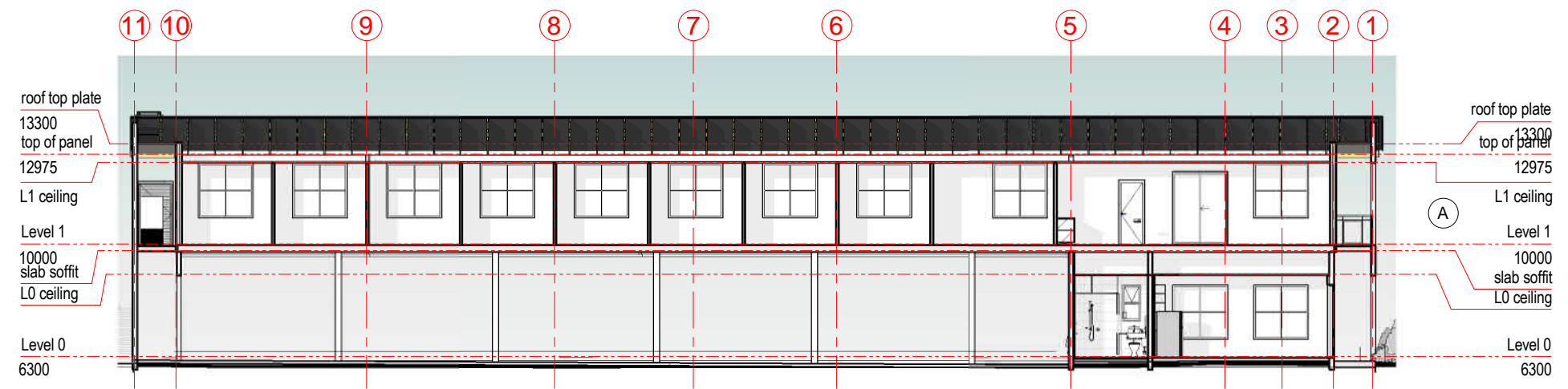


S3 proposed long section north
110FP1 1:100

Sheet Notes - 302ST
A Sheet 302ST Note A

KEYNOTES LEGEND

ITEM	DESCRIPTION
PB	10mm PLASTERBOARD

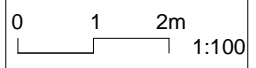


S3.2 proposed long section north 1=200
112FP 1:200

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
AA0	00.00.12	ISSUE 01			

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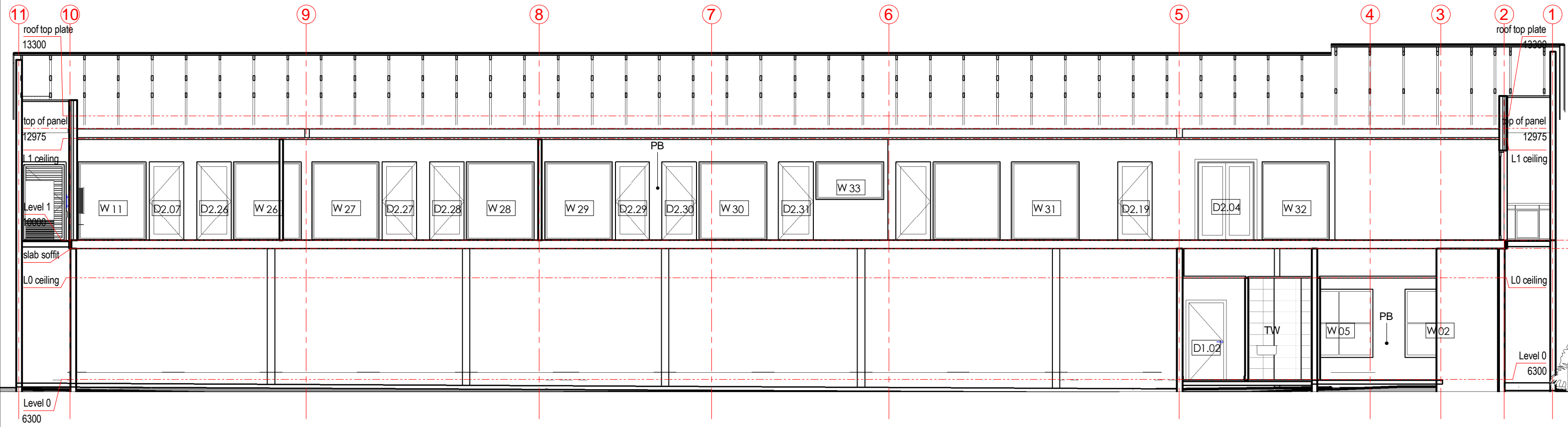
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SECTIONS S3 + S3.2
WORKING DRAWINGS

Scale at A3
AS
INDICATED
Designed MDW
Drawn MDW
Checked MDW

Job No
#80211
Dwg No
302ST1
Issue
WDO1

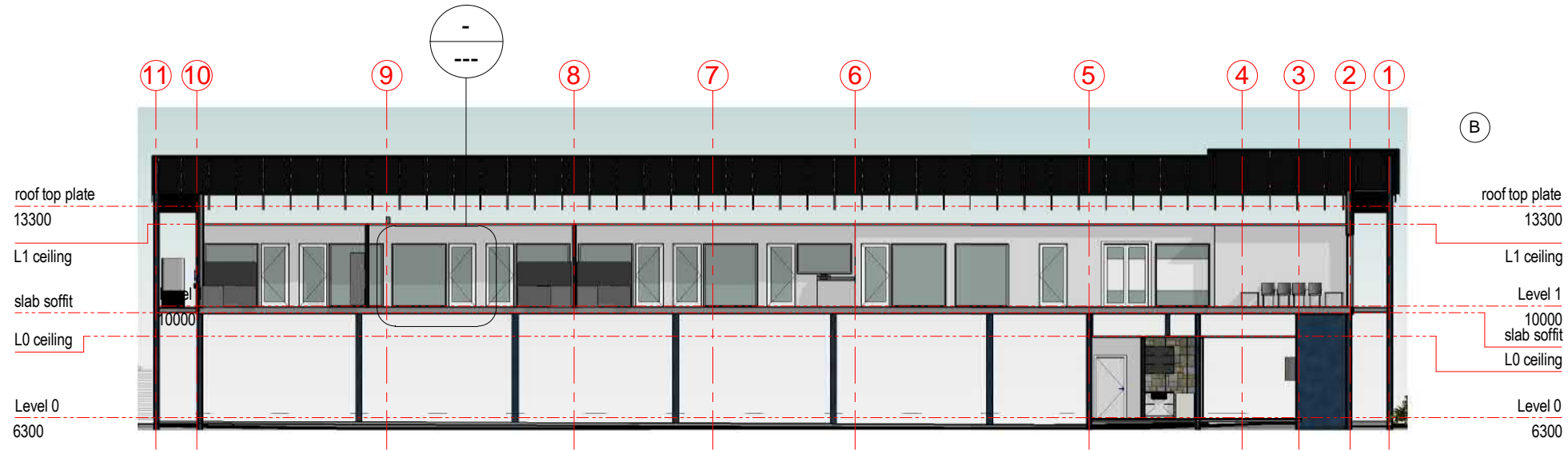
SHEET 16 OF 53



S4 proposed long section central
110FP1 1:100

KEYNOTES LEGEND	
ITEM	DESCRIPTION
PB	10mm PLASTERBOARD
TW	TILES (wall) AS SELECTED

Sheet Notes - 321ST
A Sheet 321ST Note A
B Sheet 321ST Note B

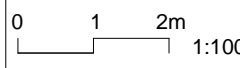


S4.2 proposed long section central 1=200
112FP 1:200

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
AA0	00.00.12	ISSUE 01			

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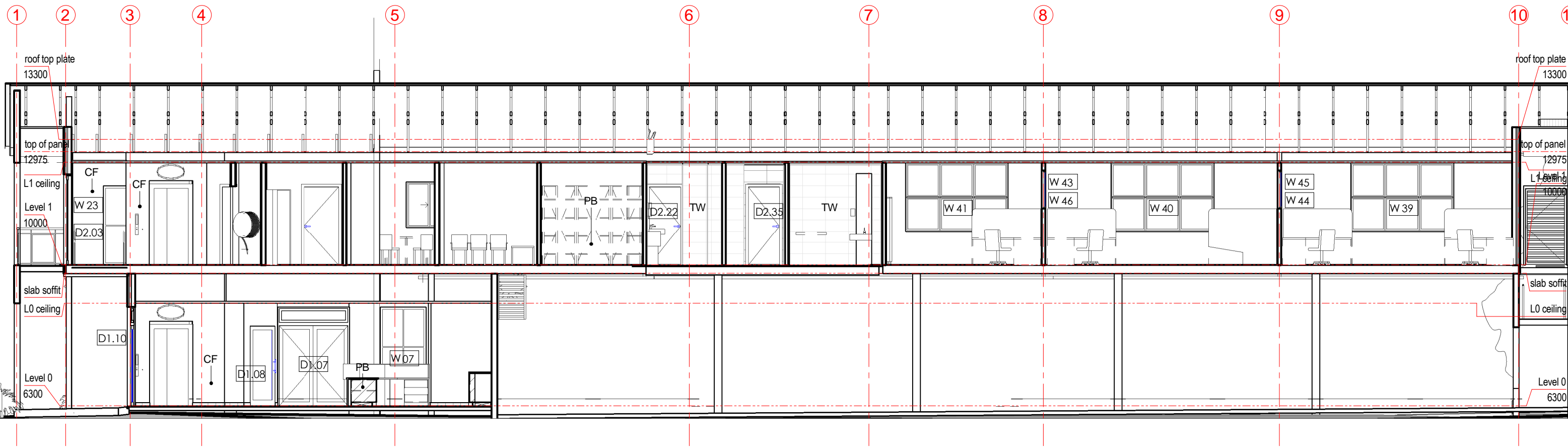


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SECTIONS S4 + S4.2
WORKING DRAWINGS

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW

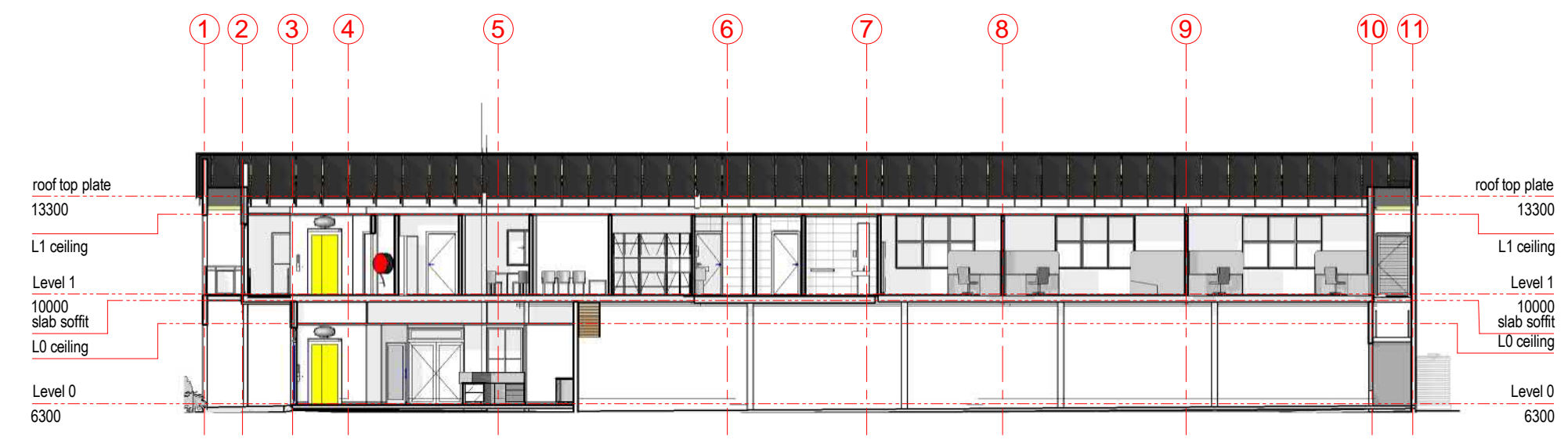
Job No #80211
Dwg No 321ST1
Issue WDO1
SHEET 17 OF 153



S5 proposed long section south
110FP1 1 : 100

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CF	CONCRETE - FACE
PB	10mm PLASTERBOARD
TW	TILES (wall) AS SELECTED

Sheet Notes - 322ST
A Sheet 322ST Note A



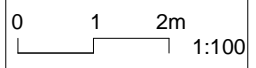
S5.2 proposed long section south 1=200
112FP 1 : 200

FOR CONSTRUCTION

SECTIONS S5 + S5.2

Issue	Date	Issue Description	Rev	Date	Revision Description
AA0	00.00.12	ISSUE 01			

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WORKING DRAWINGS

Scale at A3
AS
INDICATED
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211
Dwg No
322ST1
Issue
WDO1
SHEET 18 OF 53



proposed axonometric NE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	23.02.18	ALT P24A.L0+P5L0			



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AXONOMETRIC NE

WORKING DRAWINGS

Scale at A3

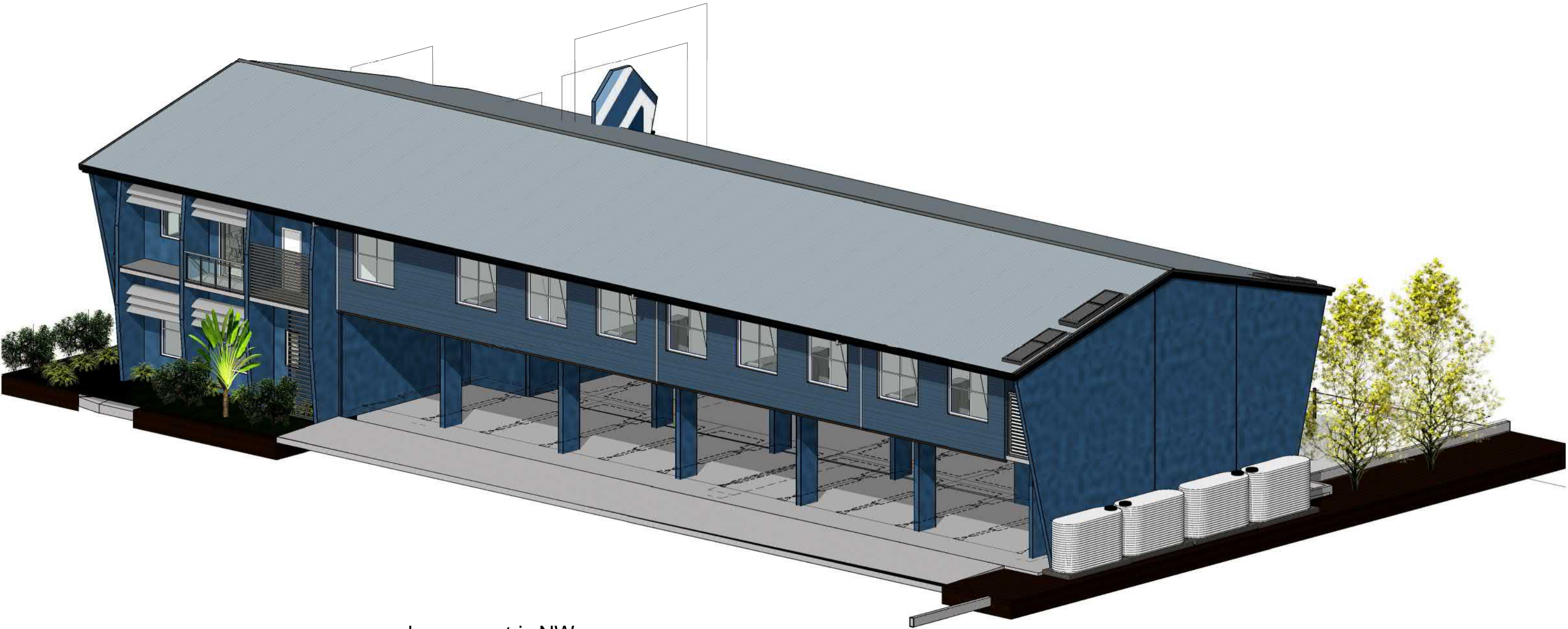
Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

Job No
#80211

Dwg No
411PDI

Issue
WD02-A

SHEET 19 OF 53



proposed axonometric NW

FOR CONSTRUCTION

WD02 - 23.02.18 ALT P24A.L0+P5L0
 Issue Date Issue Description

Rev Date Revision Description



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AXONOMETRIC NW

WORKING DRAWINGS

Scale at A3

Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211

Dwg No
412PDI

Issue
WD02-A

SHEET 20 OF 153



proposed axonometric SE

FOR CONSTRUCTION

WD02 - 26.02.18 ALT CAR PARK
 Issue Date Issue Description

Rev Date Revision Description



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 BRISBANE
 for MANAGEMENT + CO

AXONOMETRIC SE

WORKING DRAWINGS

Scale at A3

Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211

Dwg No
413PDI

Issue
WD02-A

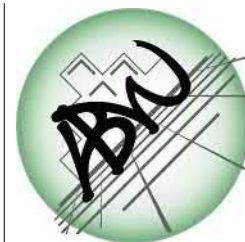
SHEET 21 OF 153



proposed axonometric SW

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	- 23.02.18	ALT P24A.L0+P5L0			



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AXONOMETRIC SW

WORKING DRAWINGS

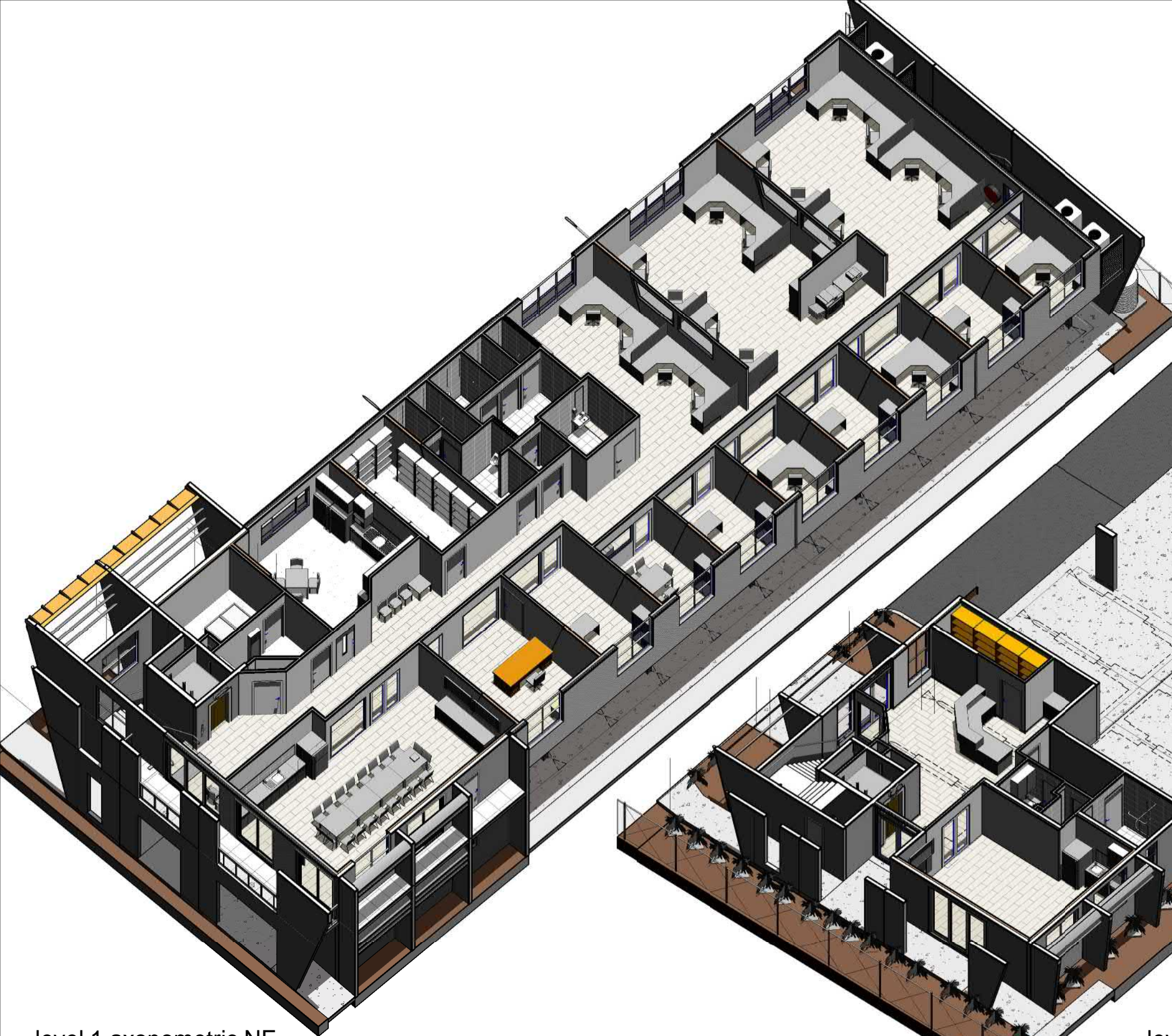
Scale at A3

Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

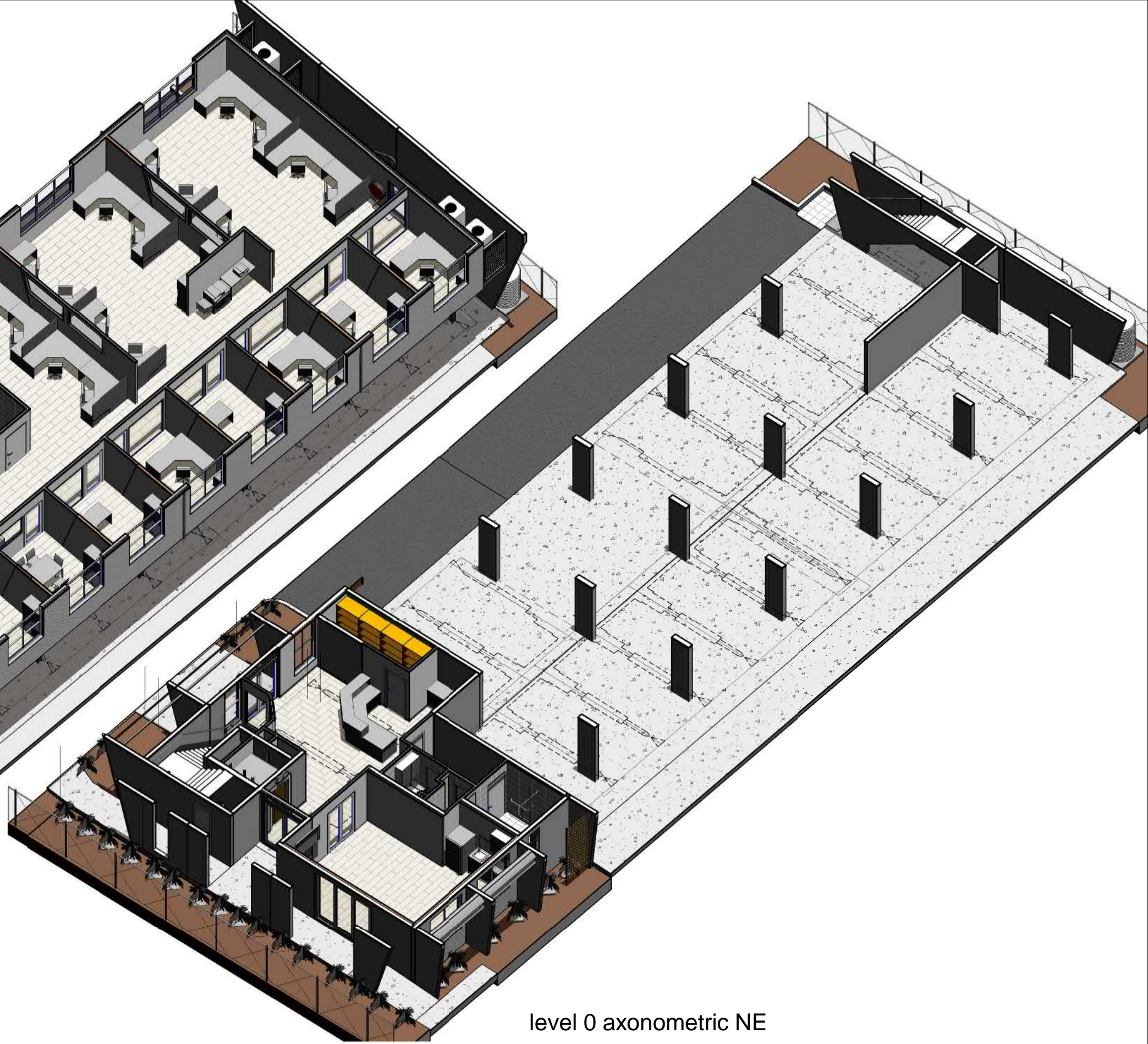
Job No
#80211

Dwg No
414PDI

Issue
WD02-A



level 1 axonometric NE



level 0 axonometric NE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	23.02.18	ALT P24A.L0+P5L0			



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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

**AXONOMETRIC NE
CUTAWAY**

WORKING DRAWINGS

Scale at A3

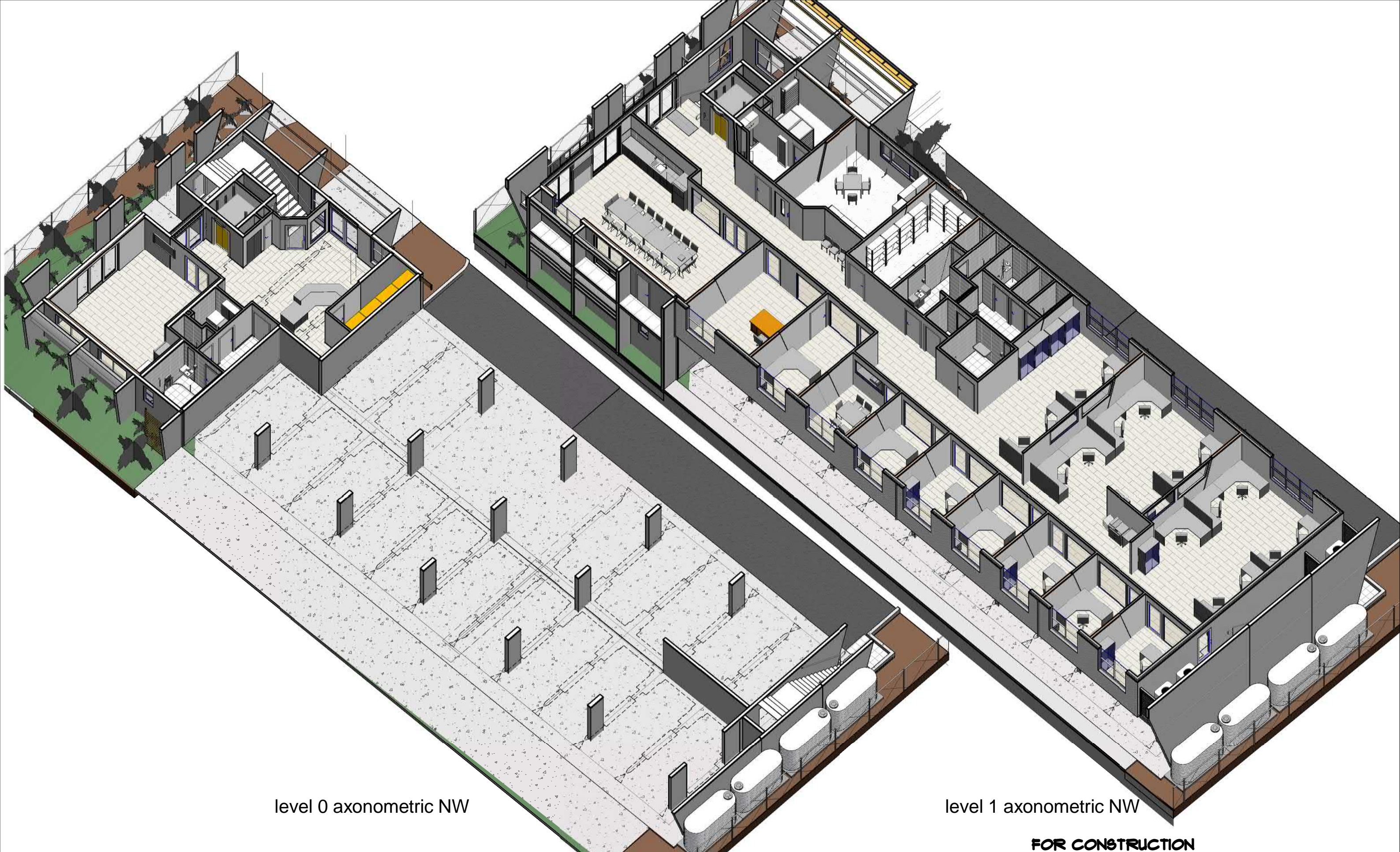
Designed
MDW
 Drawn
MDW
 Checked
MDW

Job No
#80211

Dwg No
421PDI

Issue
WD02-A

SHEET 23 OF 53



level 0 axonometric NW

level 1 axonometric NW

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	23.02.18	ALT P24A.L0+P5L0			



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BRISBANE

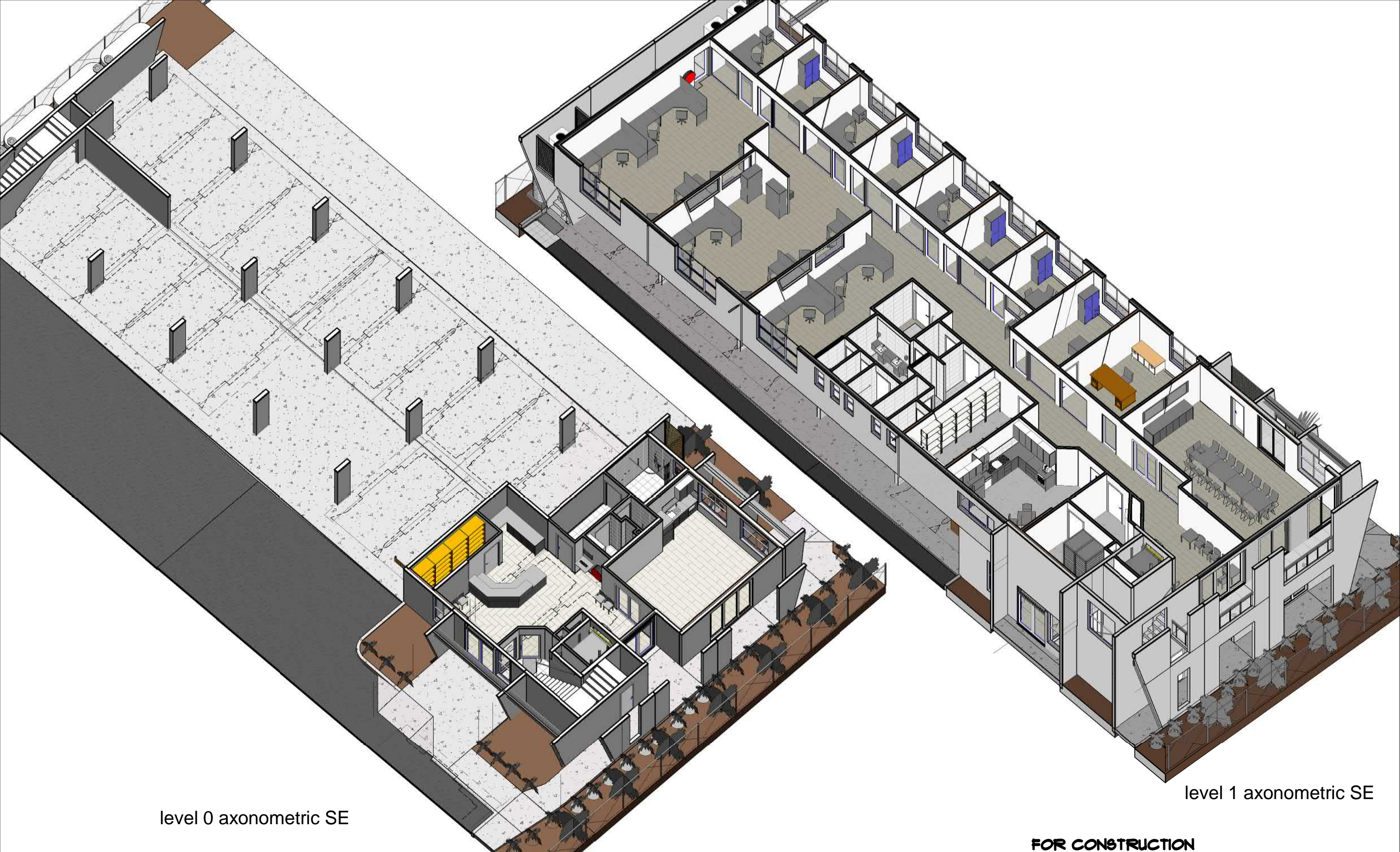
for MANAGEMENT + CO

**AXONOMETRIC NW
CUTAWAY**

WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211
 Dwg No
422PDI
 Issue
WD02-A
 SHEET 24 OF 53



level 0 axonometric SE

level 1 axonometric SE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	24.07.18	ALT PEDESTRIAN PATHS			
WD02	23.02.18	ALT P24A.L0+P5L0			



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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

**AXONOMETRIC SE
CUTAWAY**

WORKING DRAWINGS

Scale at A3

Designed
MDW
 Drawn
MDW
 Checked
MDW

Job No
#80211
 Dwg No
423PDI
 Issue
WD03-B
 SHEET 25 OF 53



level 1 axonometric SW



level 0 axonometric SW

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	23.02.18	ALT P24A.L0+P5L0			



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BRISBANE

for MANAGEMENT + CO

**AXONOMETRIC SW
CUTAWAY**

WORKING DRAWINGS

Scale at A3

Designed
MDW
 Drawn
MDW
 Checked
MDW

Job No
#80211

Dwg No
424PDI

Issue
WD02-A

SHEET 26 OF 53



proposed perspective NE



proposed perspective NW



proposed perspective SW



proposed perspective SE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	23.02.18	ALT P24A.L0+P5L0			



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**EXTERNAL
PERSPECTIVES**

WORKING DRAWINGS

Scale at A3

Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211

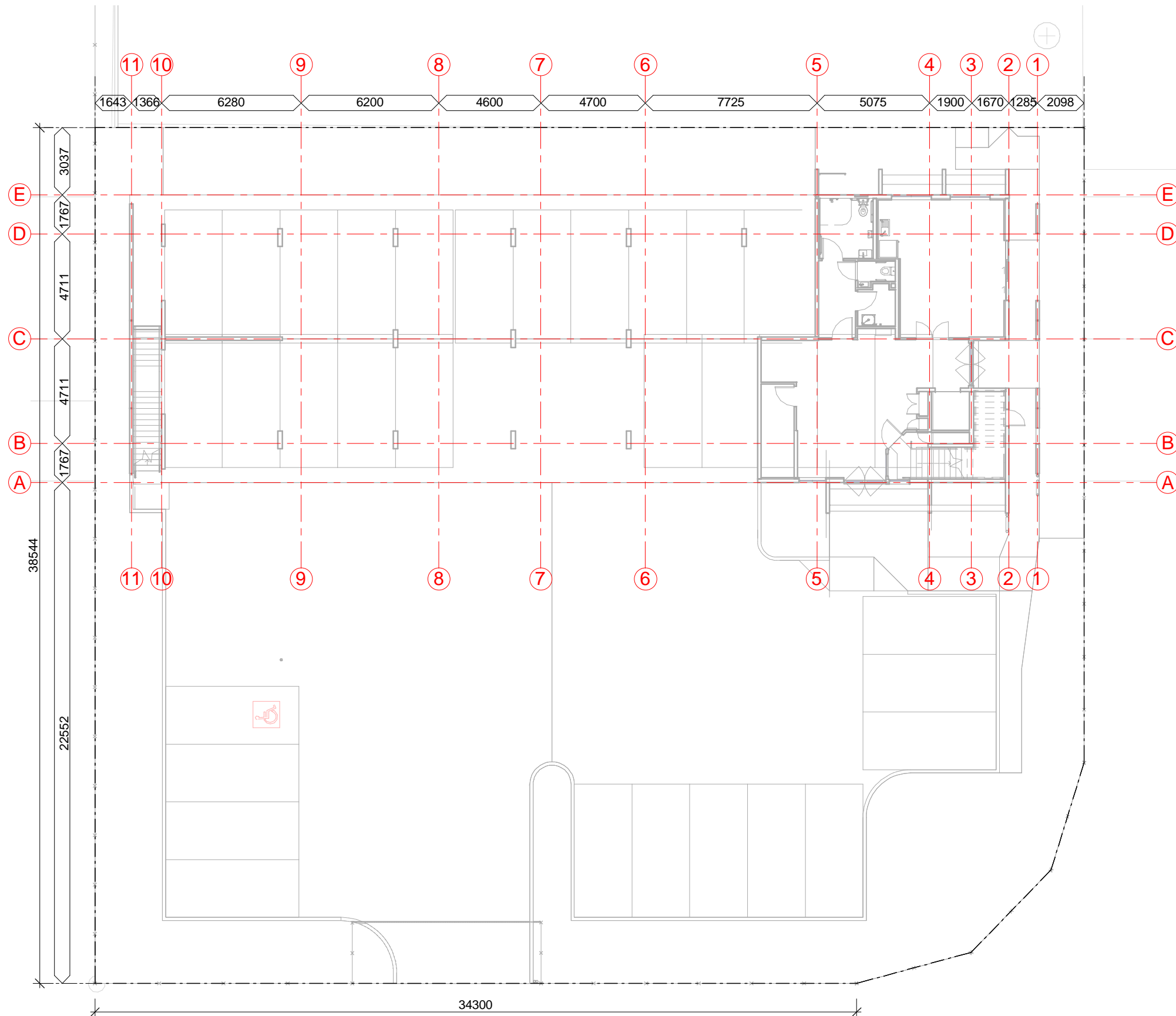
Dwg No
431PDI

Issue
WD02-A

SHEET 27 OF 53

General Notes - Setout Site

- 1 Site Setout Note 1
- 2 Site Setout Note 2



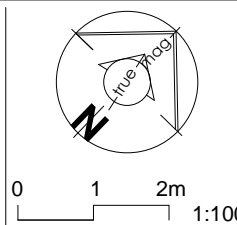
FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02	08.02.18	CHANGE SET OUT GRID 10			



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OFFICE BUILDING

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BRISBANE

for MANAGEMENT + CO

SETOUT SITE

WORKING DRAWINGS

Scale at A3
1 : 200

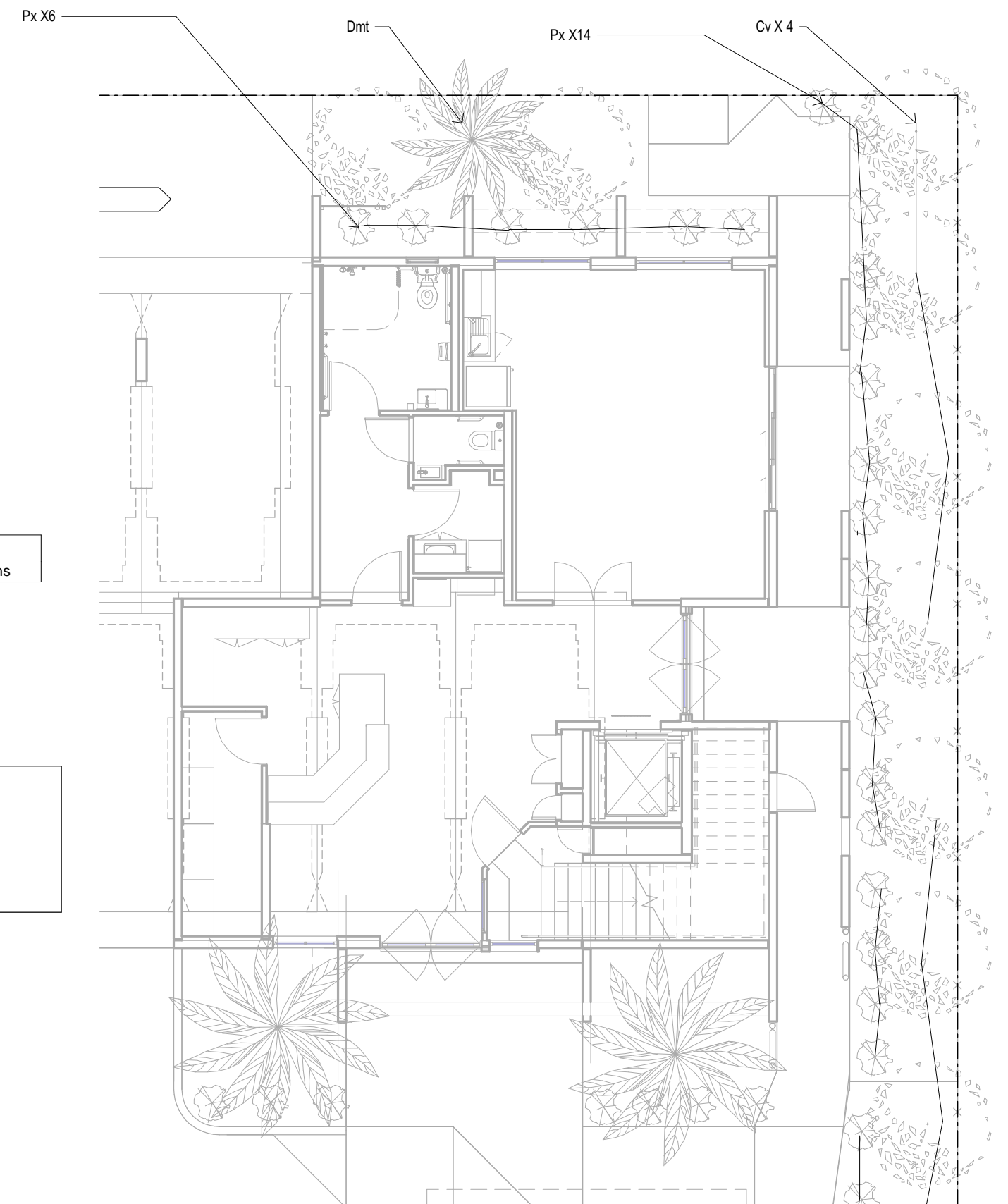
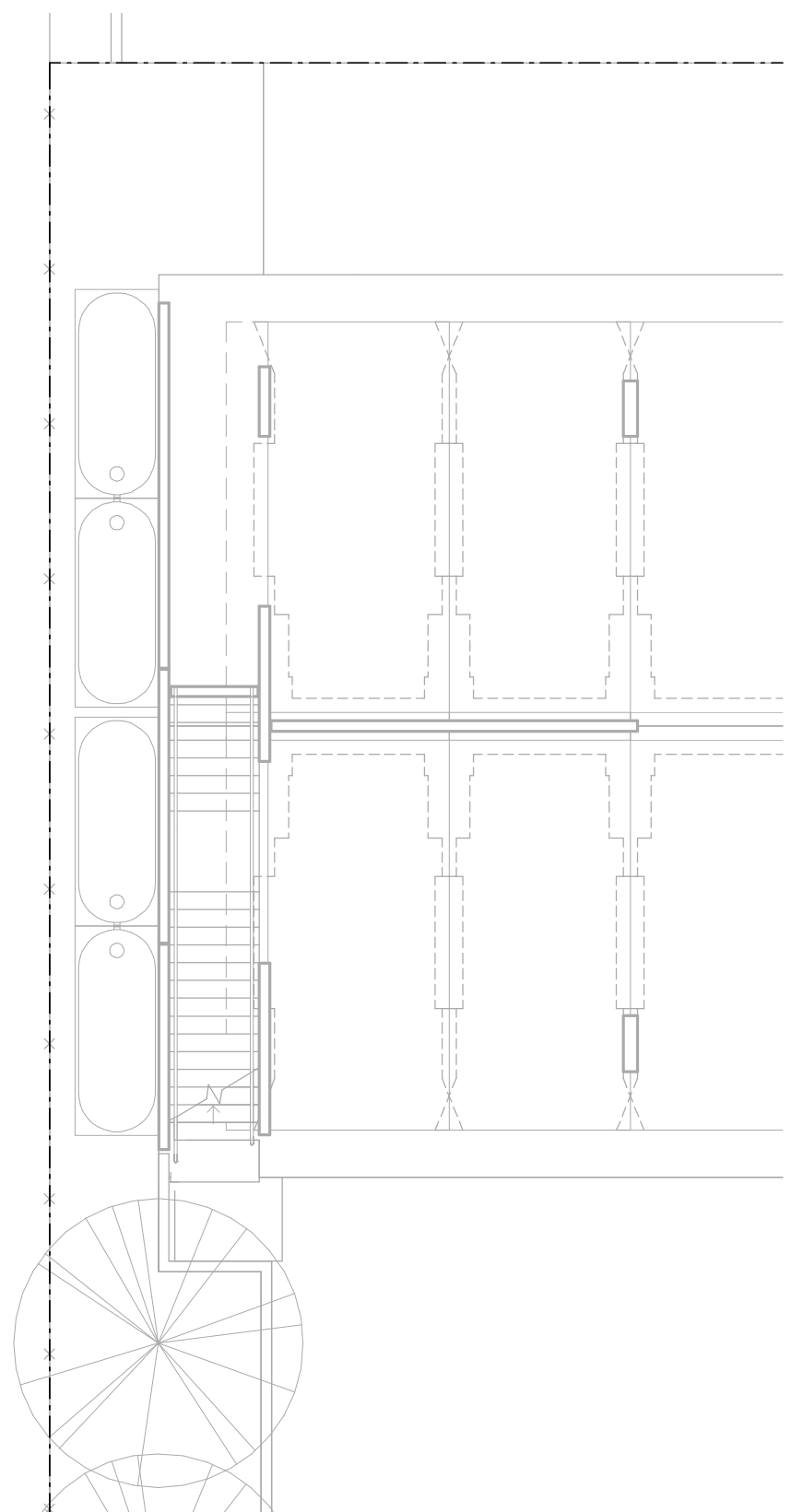
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211

Dwg No
5006E1

Issue
WD02-A

SHEET 28 OF 53



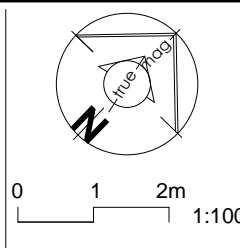
Landscape Notes - General
 1 Provide 100mm Cypress blend mulch to all gardens

- Cv Callistemon Viminalis "Green John"
- Dmt Dracenia Marginata tricolour
- Px Philodendron Xanadu
- Wb Wodyetia bifucata
- Xc Xanthostomon chrythanthus

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD04	03.01.18	ALTER RAMP5+PLANTS			
WD03	03.01.18	ISSUE TO HB			
WD02	05.01.18	CHANGE CV TO XC			

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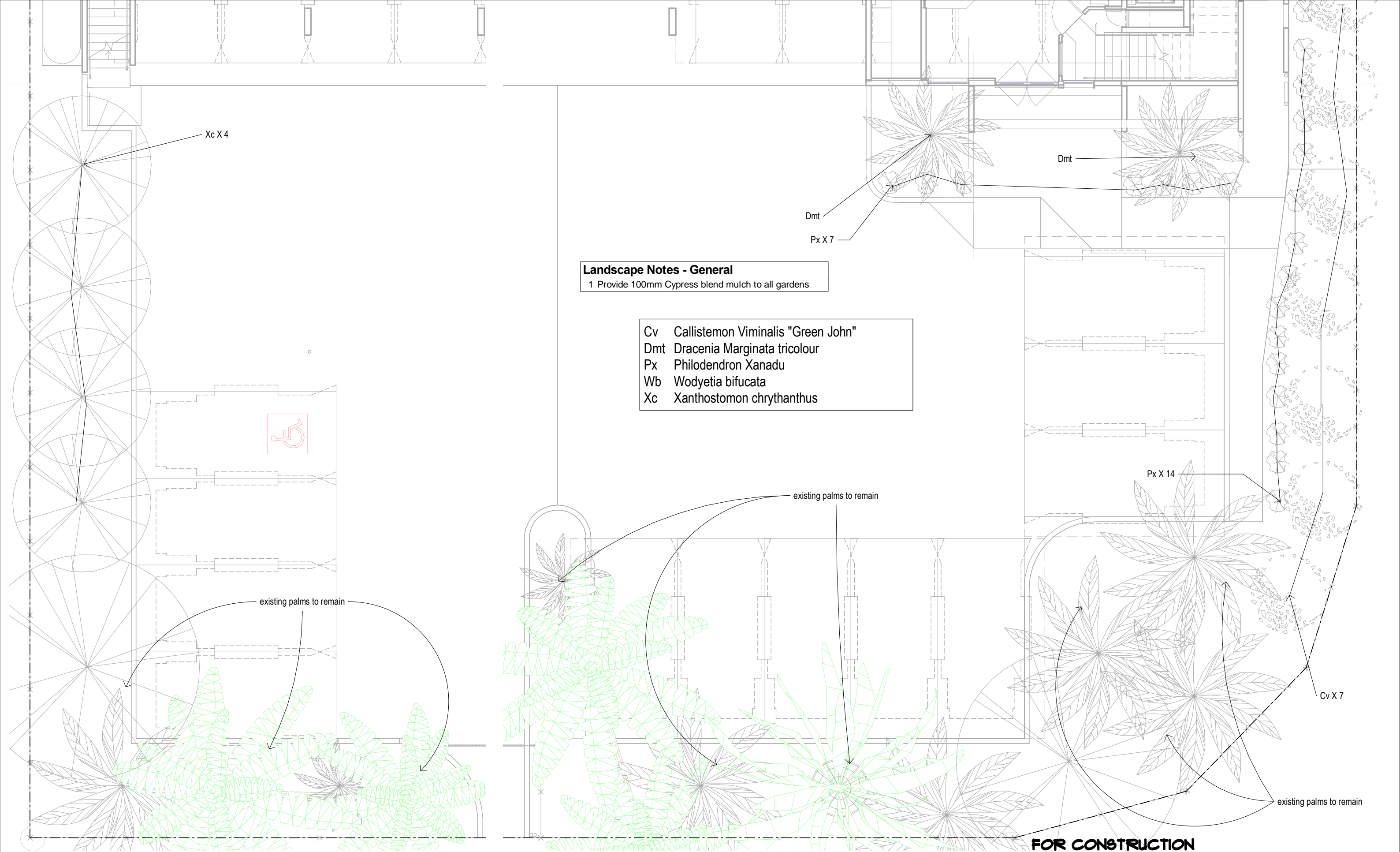


OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

LANDSCAPING SOUTH
 WORKING DRAWINGS

Scale at A3
 1:100
 Designed DES
 Drawn DUN
 Checked CHK

Job No #80211
 Dwg No 501LAI
 Issue WD04-A
 SHEET 29 OF 53



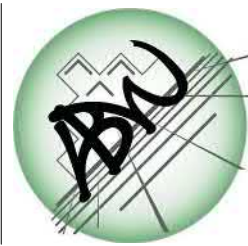
Landscape Notes - General
 1 Provide 100mm Cypress blend mulch to all gardens

- Cv Callistemon Viminalis "Green John"
- Dmt Dracenia Marginata tricolour
- Px Philodendron Xanadu
- Wb Wodyetia bifucata
- Xc Xanthostomon chrysanthus

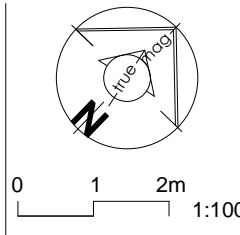
FOR CONSTRUCTION

WD04	09.01.18	ALTER RAMP+PLANTS
WD03	09.01.18	ISSUE TO HB
WD02	05.01.18	CHANGE CV TO XC
Issue	Date	Issue Description

Rev	Date	Revision Description
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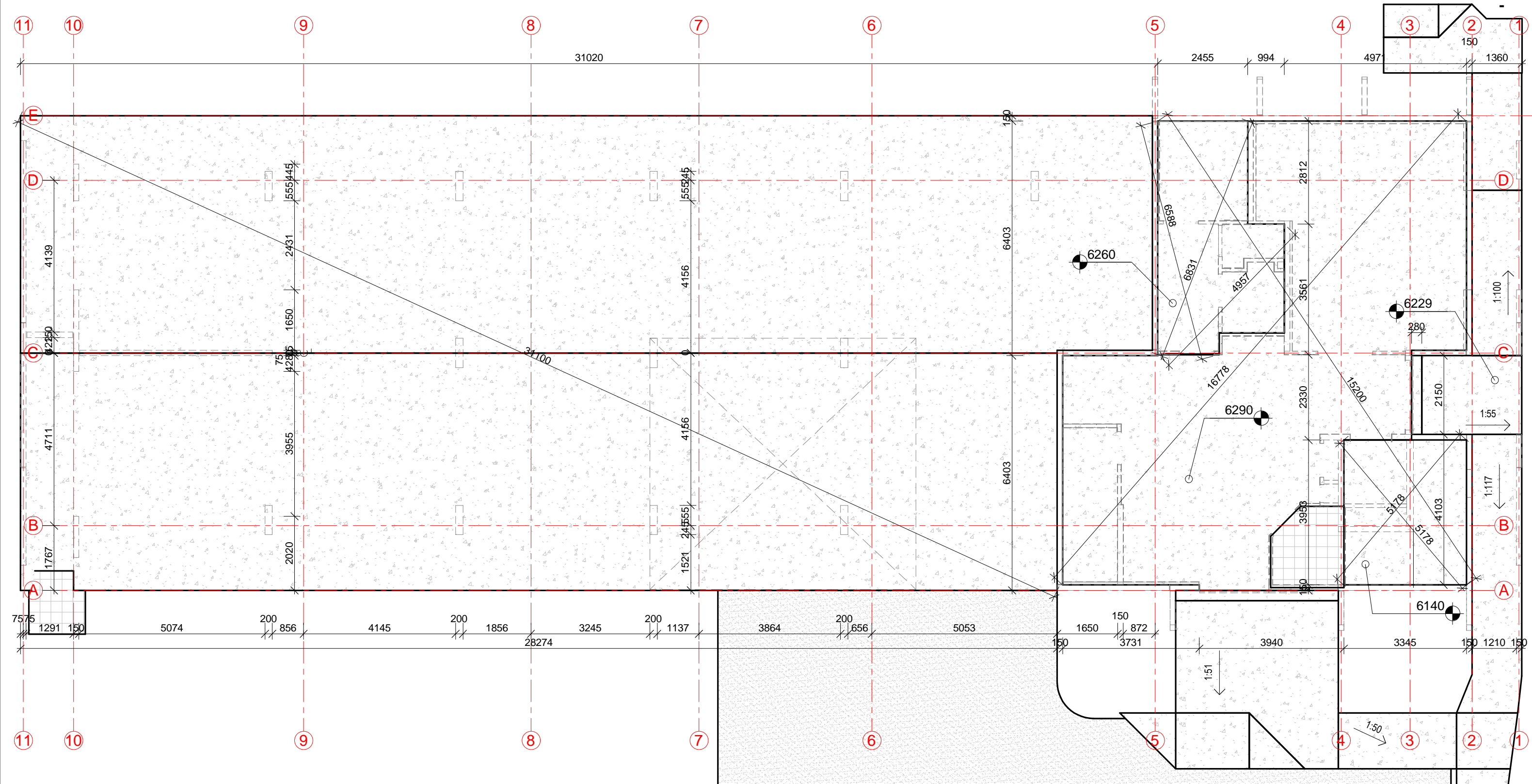


OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

LANDSCAPING NORTH
 WORKING DRAWINGS

Scale at A3
 1:100
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #80211
 Dwg No 502LAI
 Issue WD04-A
 SHEET 30 OF 153



General Notes - Slab Plan

1 for slab and footing design, refer engineers' drawings and/or report, with on-site inspection by engineer, to be arranged by builder.

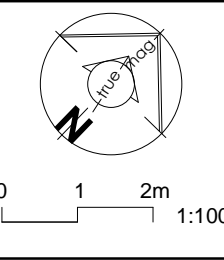
2 Slab Note 2

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	28.02.18	ALTER SET DOWN LIFT PIT			
WD02	08.02.18	ALTER SET DOWN WC			

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LEVEL 0 SLAB LAYOUT

WORKING DRAWINGS

Scale at A3
 1:100

Designed
 MDW

Drawn
 MDW

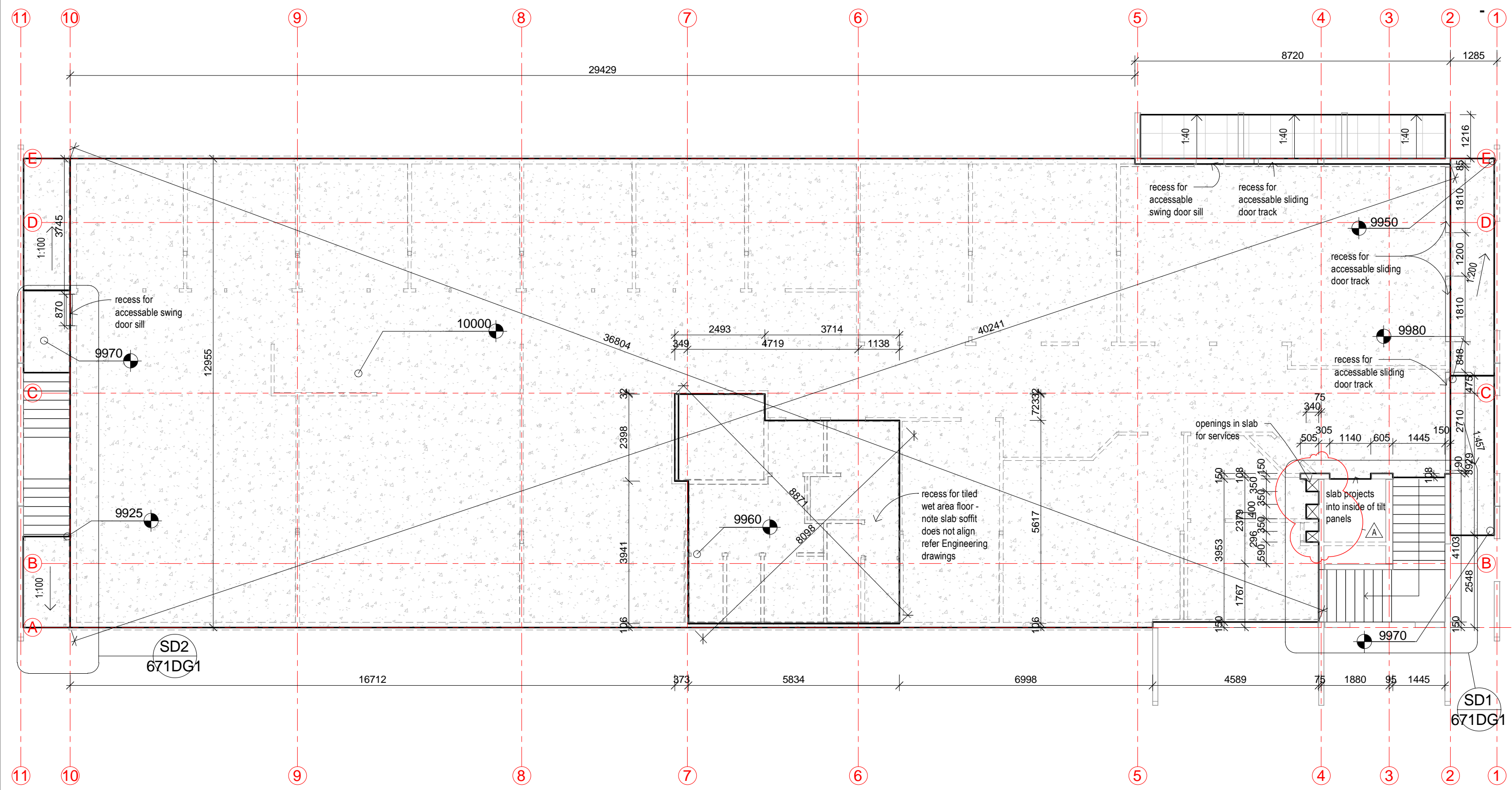
Checked
 MDW

Job No
#80211

Dwg No
520FTI

Issue
WD03-B

SHEET 31 OF 53



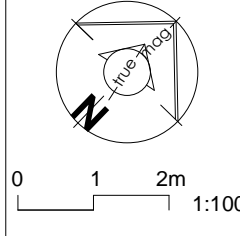
FOR CONSTRUCTION

Issue	Date	Issue Description
WD04	02.05.18	CLARIFY FINISHES + DIMS
WD03	26.02.18	ALTER FWD SET OUT
WD03	22.02.18	ALTER STAIR SET OUT
WD02	18.12.17	POST TENDER

Rev	Date	Revision Description
A	18.12.17	Enlarge server room



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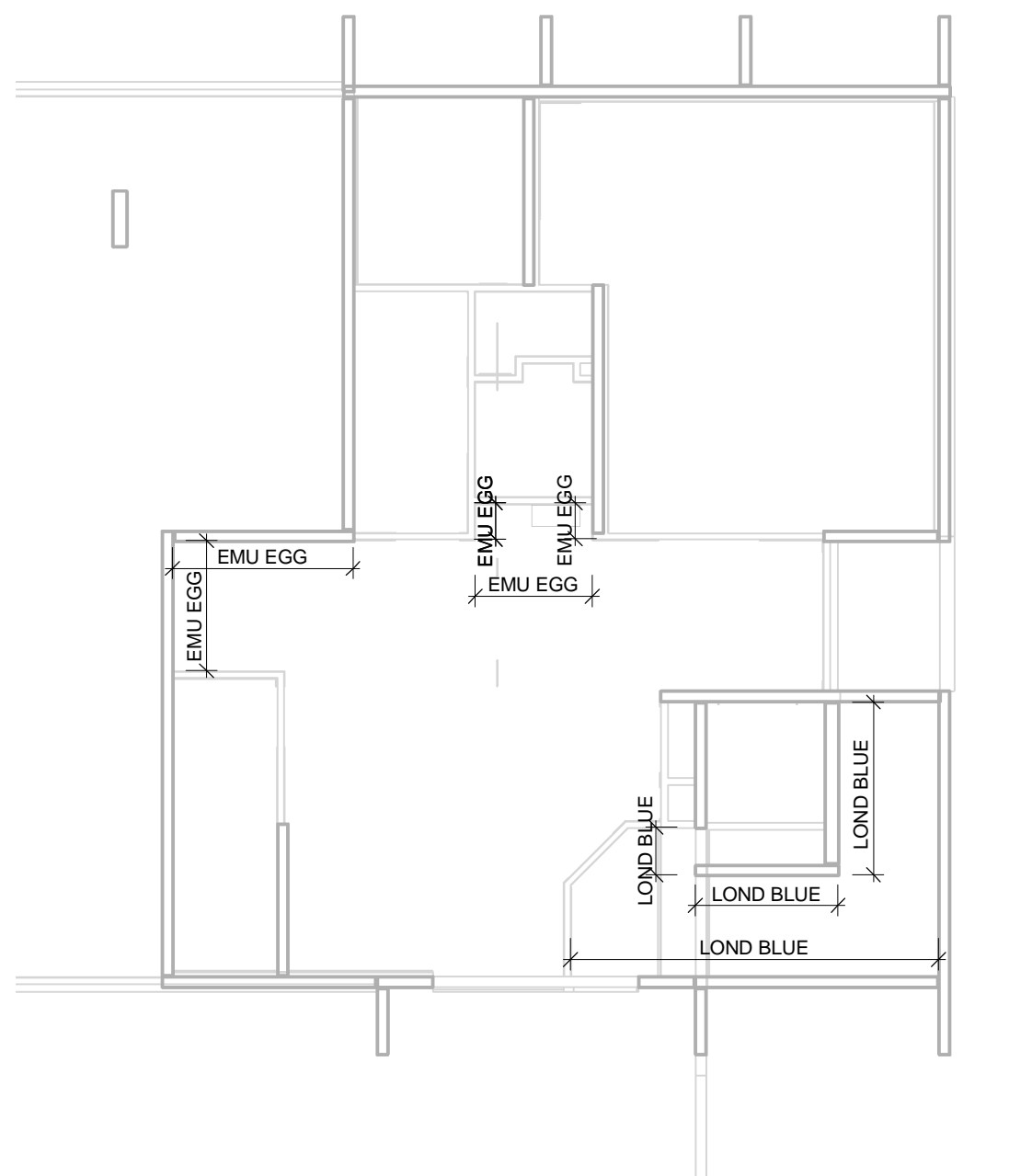
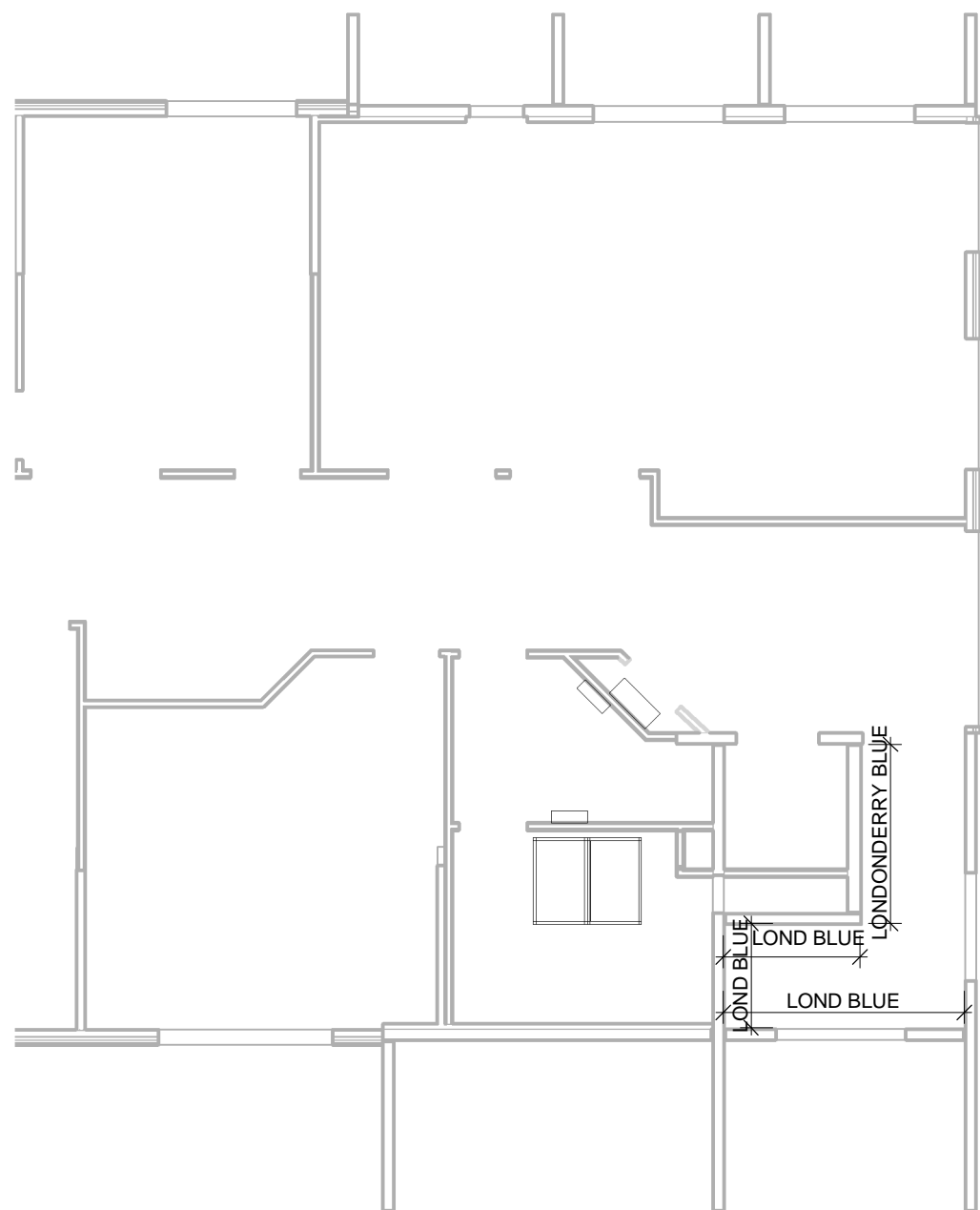
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LEVEL 1 SLAB LAYOUT
 WORKING DRAWINGS

Scale at A3
 AS
 INDICATED
 Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

Job No
#80211
 Dwg No
531F61
 Issue
WD04-C
SHEET 32 OF 53

DULUX EMU EGG P38B2 FEATURE WALL + DOORS
 WATTYL LONDONDERRY BLUE FEATURE WALL
 WALLS DULUX ELUSIVE BLUE QUARTER P38B1Q



WC1 L1 wall colours

1 : 100

WC0 L0 wall colours

1 : 100

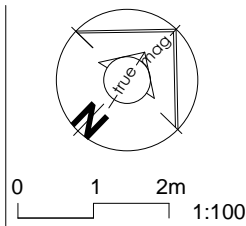
FOR CONSTRUCTION

Issue	Date	Issue Description
WD04	12.07.18	CLARIFY COLOUR
WD03	09.07.18	ISSUE TO HB
WD02	05.07.18	ALTER ENTRY EXTENT

Rev	Date	Revision Description
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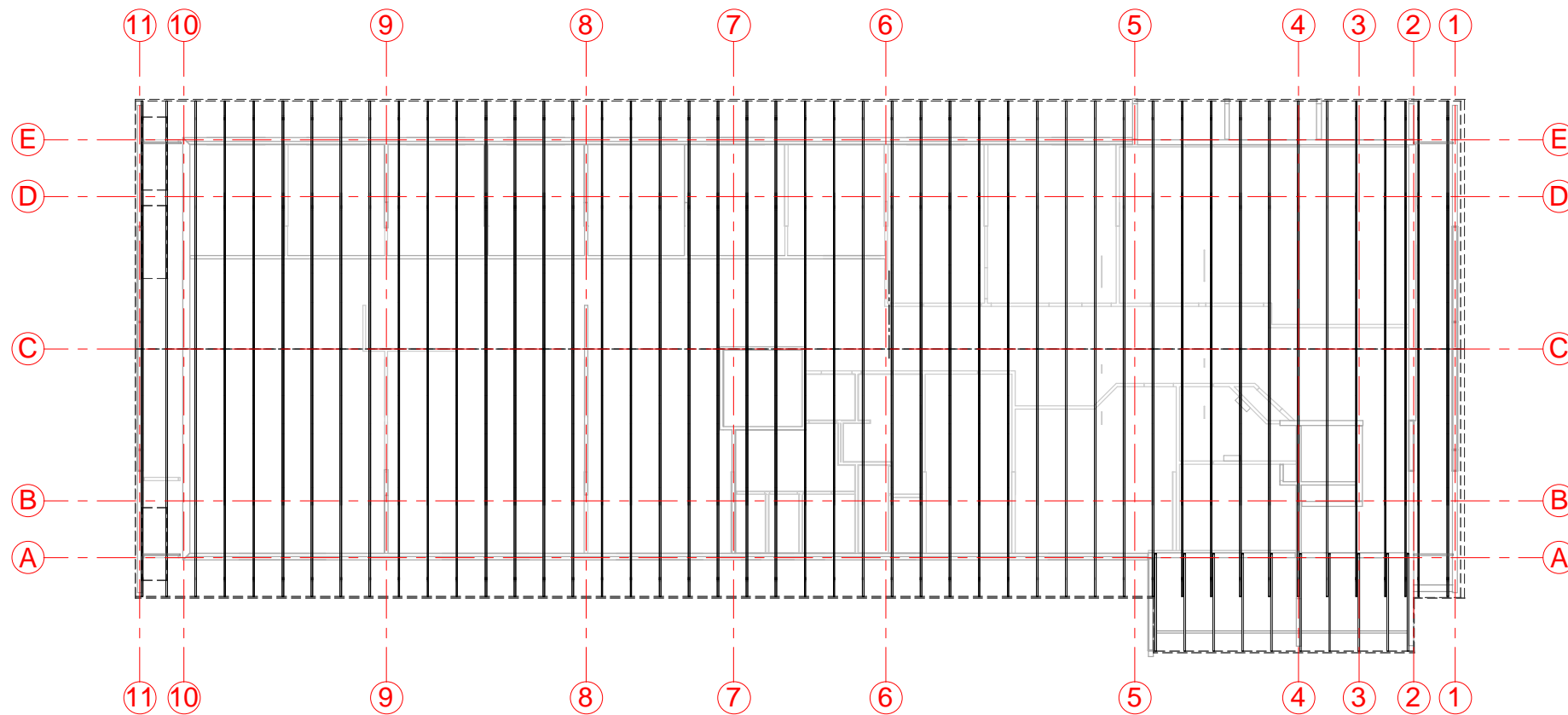
FEATURE WALLS PAINT COLOURS

WORKING DRAWINGS

Scale at A3	1 : 100
Designed	DES
Drawn	DWN
Checked	CHK

Job No	#80211
Dwg No	532F01
Issue	WD04-A

SHEET 33 OF 53



FOR CONSTRUCTION

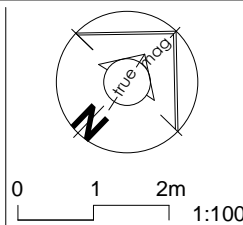
AA0 00.00.12 ISSUE 01
Issue Date Issue Description

Rev Date Revision Description



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ROOF STRUCTURE

WORKING DRAWINGS

Scale at A3
1 : 200

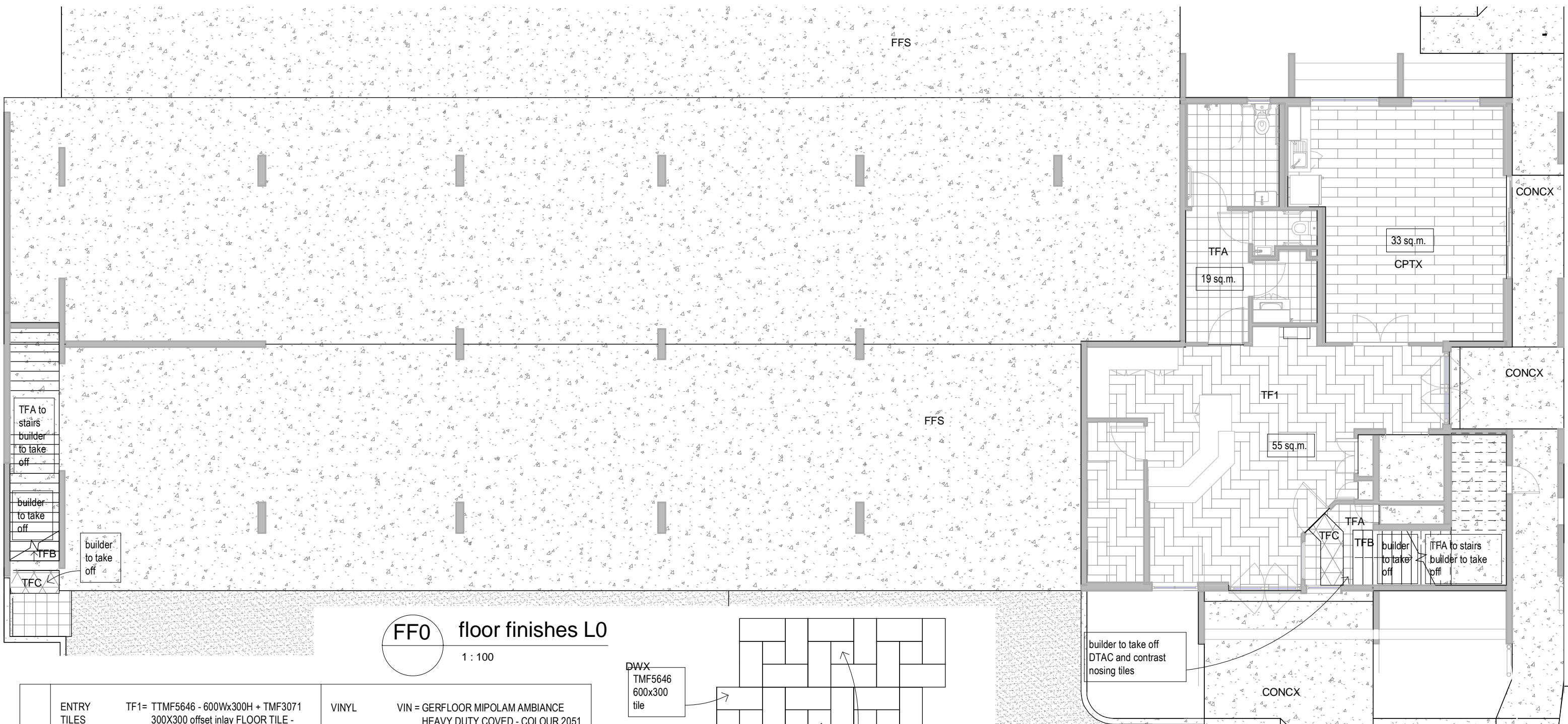
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211

Dwg No
541R61

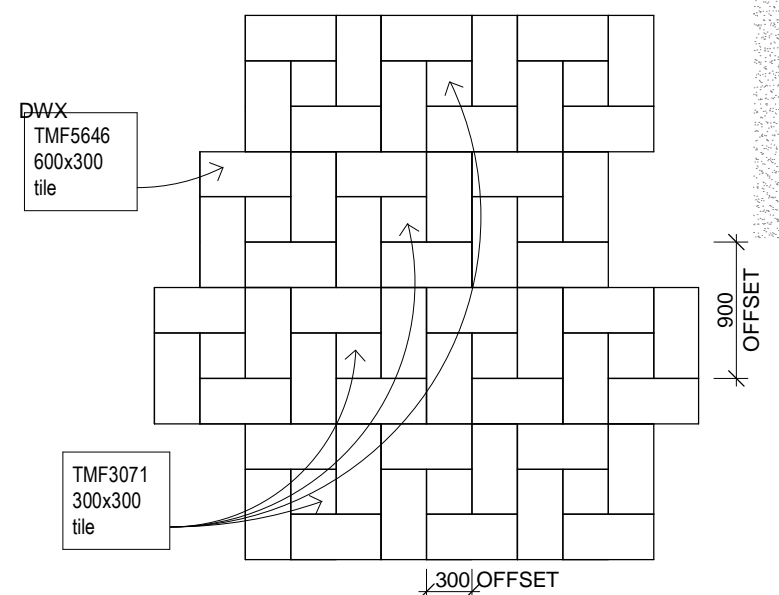
Issue
WDO1

SHEET 34 OF 53



FF0 floor finishes L0
1 : 100

FINISHES (FLOOR)	ENTRY TILES	TF1 = TTMF5646 - 600Wx300H + TMF3071 300X300 offset inlay FLOOR TILE - from Tile Mob - refer Sims pattern DARK GREY GROUT	VINYL	VIN = GERFLOOR MIPOLAM AMBIANCE HEAVY DUTY COVERED - COLOUR 2051 CHARCOAL
	WET ROOMS FLOOR TILES	TFA = TMF3071 300x300 - DARK GREY GROUT - from Tile Mob	VINYL ANTI-STATIC	VINX = POLYFLOOR FINESSE "SD" ANTI STATIC COLOUR VELOCE GREY 2210
	NOSING TILES	TFB = LATHAM ASBRALLOY 744VS)off white/blue grey)	CARPET TILE	CPTX = INTERFACE HIGHLAND WARP SPECIAL RUN WW880 - 250mm X 1000mm ashlar pattern.
	DTAC TILES	TFC = DTAC TACTILE CLASSIC INTEGRATED BLACKTOP S.S.	FLOOR WASTE	P1 = SELECTED SQUARE - STAINLESS STEEL
	NOSING TILES ALTERNATIVE	TFD = TMX 10MM ANODIZED ALUMINIUM WITH CONTRASTING RUBBER INSERT TMX 1741 from Tile Mob		
	COVERED SKIRTING	W4 = TMX1667 200WX100H COVE from Tile Mob - DARK GREY		



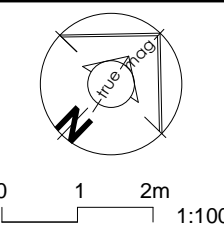
TF1 Sims runing basket weave tile pattern
1 : 50

KEYNOTES LEGEND

ITEM	DESCRIPTION
CONCX	CONCRETE - EXPOSED AGGREGATE
CPTX	CARPET - TILES
DWX	DRIVEWAY ASPHALT
FFS	FLOAT FINISHED SLAB
TF1	TILES (floor) AS SELECTED
TFA	TILES (floor) TYPE A
TFB	TILES (floor) TYPE B
TFC	TILES (floor) TYPE C

Issue	Date	Issue Description	Rev	Date	Revision Description
WD05	02.05.18	CLARIFY FINISHES + DIMS			
WD04	05.04.18	ALT TILE ARRANGEMENT			
WD03	21.02.18	ALT CARPET+TILE PATTERN			
WD02	19.02.18	CHANGE DTAC HATCH			

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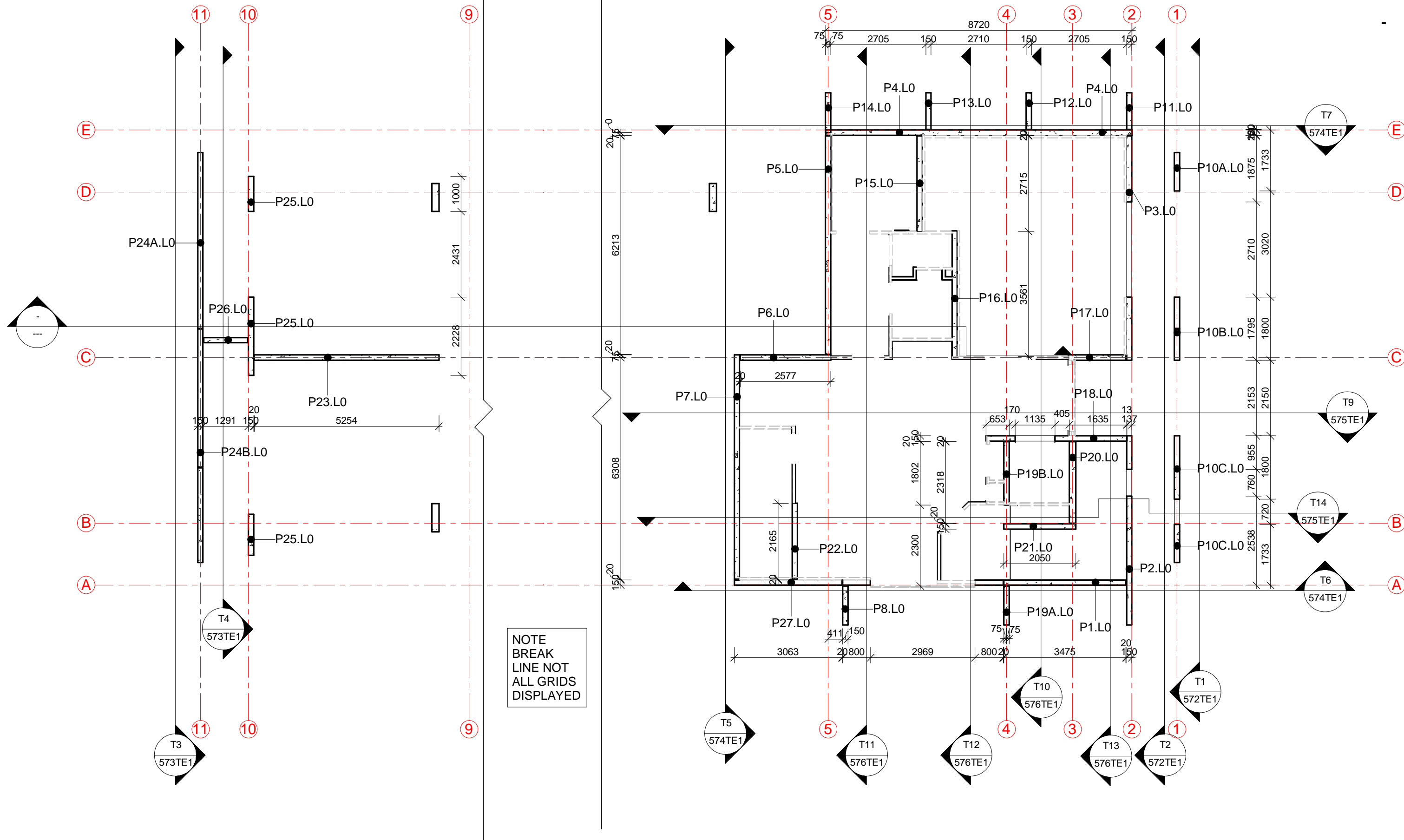
LEVEL 0 FLOOR FINISHES

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW

Job No **#80211**
Dwg No **560FFI**
Issue **WD05-C**

WORKING DRAWINGS

SHEET 35 OF 53



FOR CONSTRUCTION

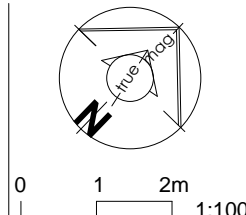
WD04 - 23.02.18 ALT P24A.L0+P5L0
WD03 20.02.18 ALTER LIFT DOOR
WD02 20.02.18 ALTER LIFT DOOR

Issue	Date	Issue Description	Rev	Date	Revision Description



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TILT PLAN L0

WORKING DRAWINGS

Scale at A3
1:100

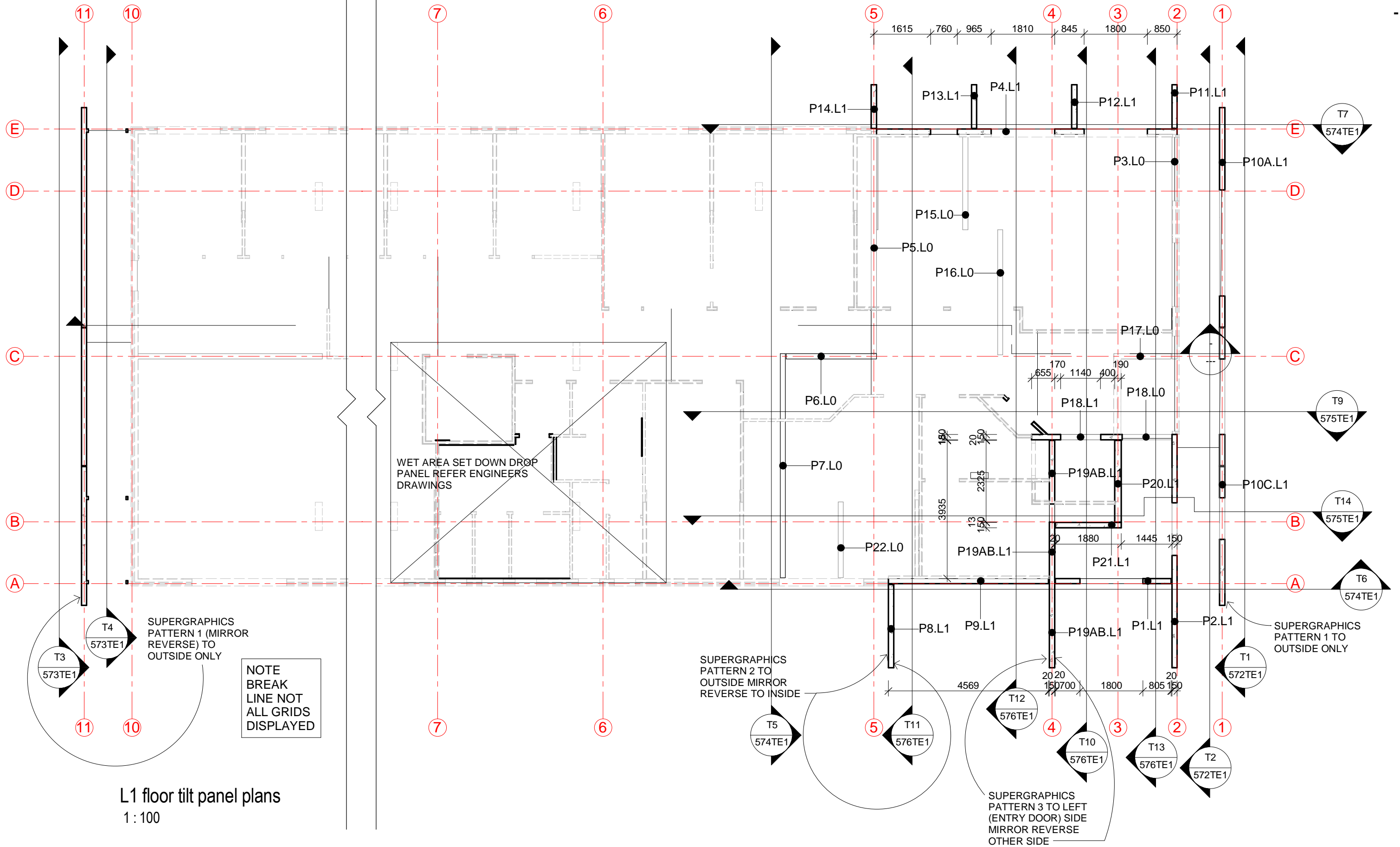
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211

Dwg No
510TPI

Issue
WD04-B

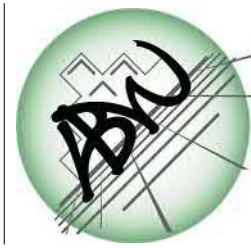
SHEET 31 OF 53



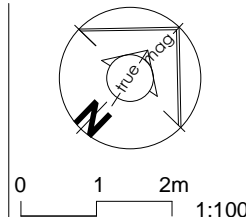
FOR CONSTRUCTION

WD03 08.05.18 ADD SUPERGRAPHICS
 WD02 20.02.18 ALTER LIFT DOOR
 Issue Date Issue Description

Rev Date Revision Description



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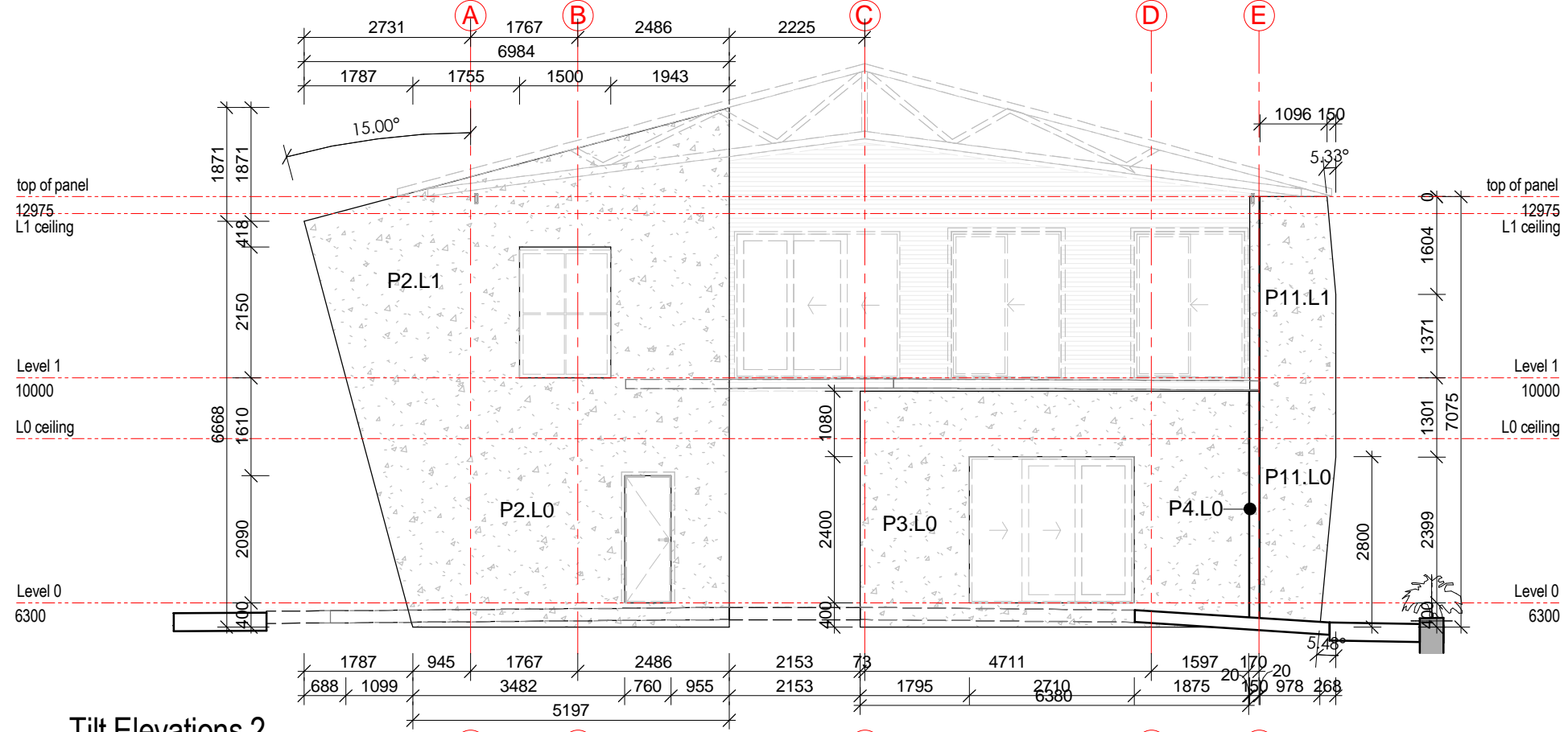
for MANAGEMENT + CO

TILT PLAN L1

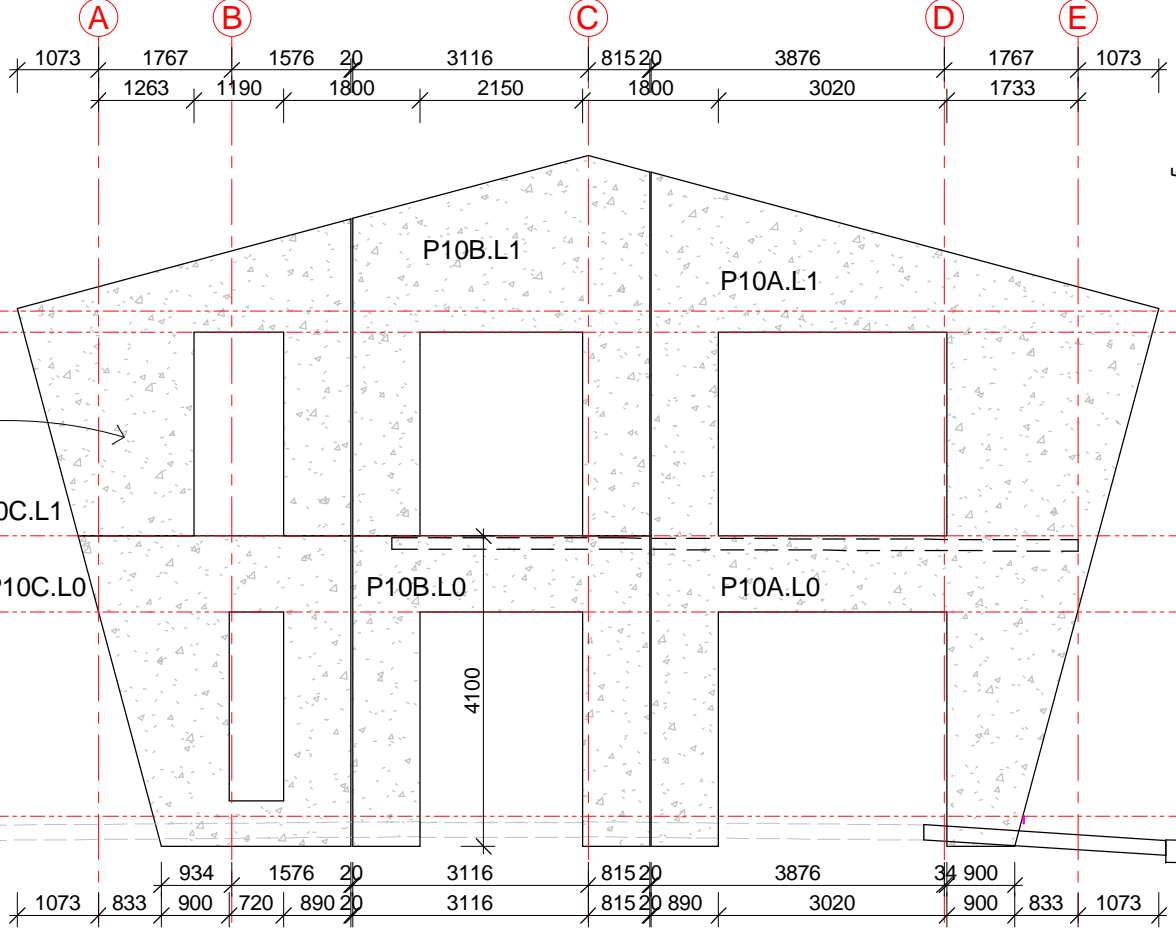
WORKING DRAWINGS

Scale at A3
 1:100
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211
 Dwg No
511TPI
 Issue
WD03-B
 SHEET 38 OF 53



Tilt Elevations 2
1 : 100



Tilt Elevations 1
1 : 100

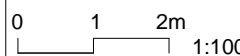
FOR CONSTRUCTION

WD02 08.05.18 ADD SUPERGRAPHICS
Issue Date Issue Description

Rev. Date Revision Description



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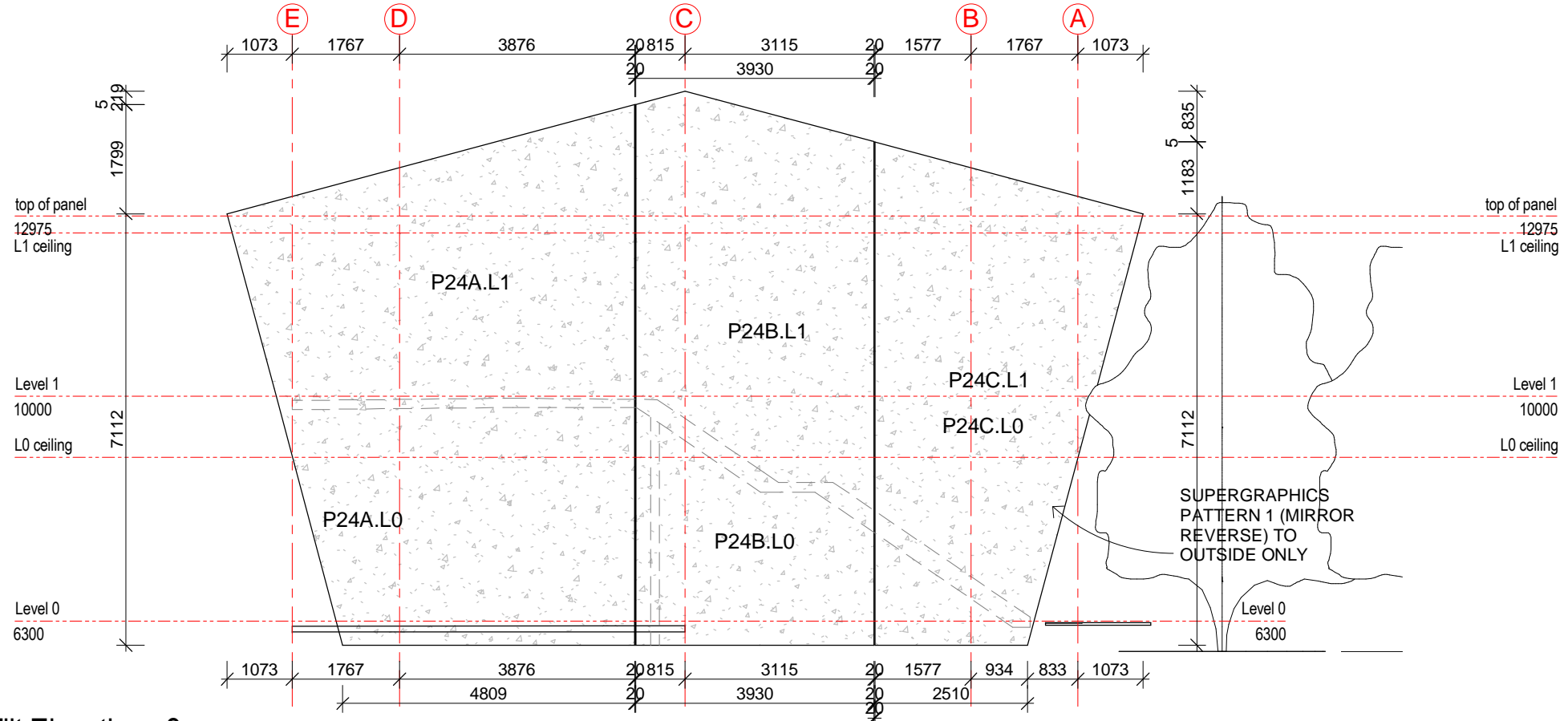


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BRISBANE
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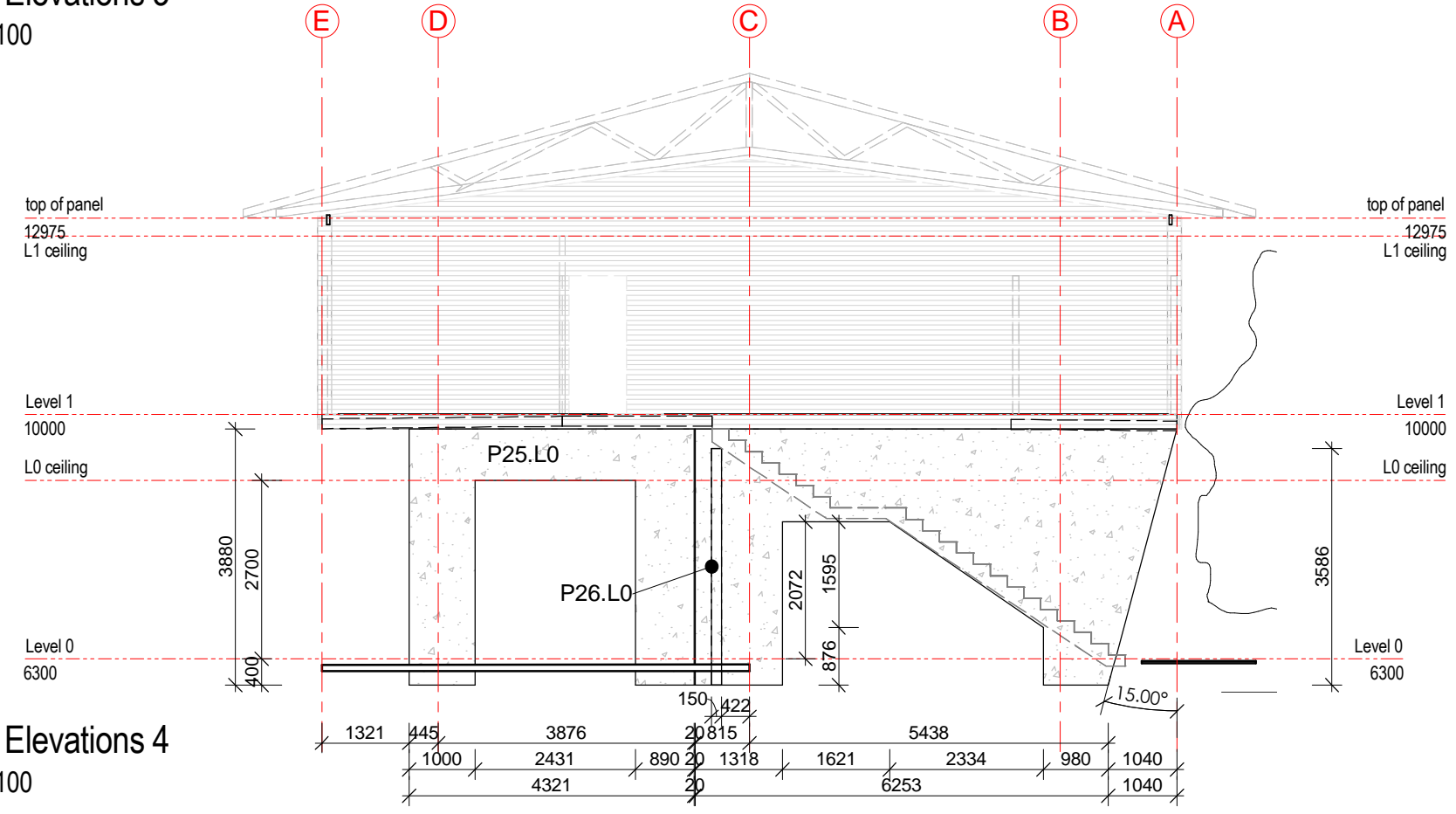
**TILT PANEL ELEVATIONS
1**
WORKING DRAWINGS

Scale at A3
1 : 100
Designed MDW
Drawn MDW
Checked MDW

Job No
#80211
Dwg No
512TE1
Issue
WD02-A
SHEET 39 OF 53



Tilt Elevations 3
1 : 100

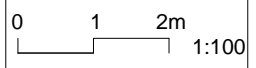


Tilt Elevations 4
1 : 100

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	08.05.18	ADD SUPERGRAPHICS			
WD02	23.02.18	ALT P24A.L0+P25L0			

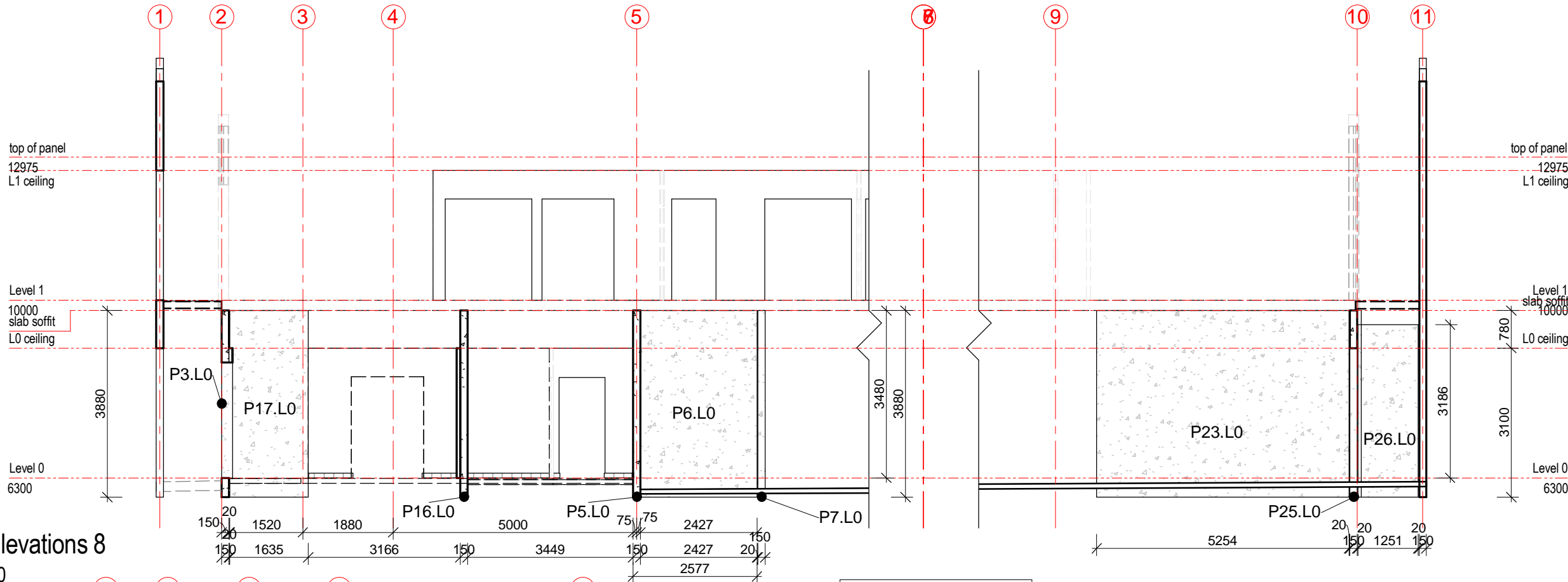
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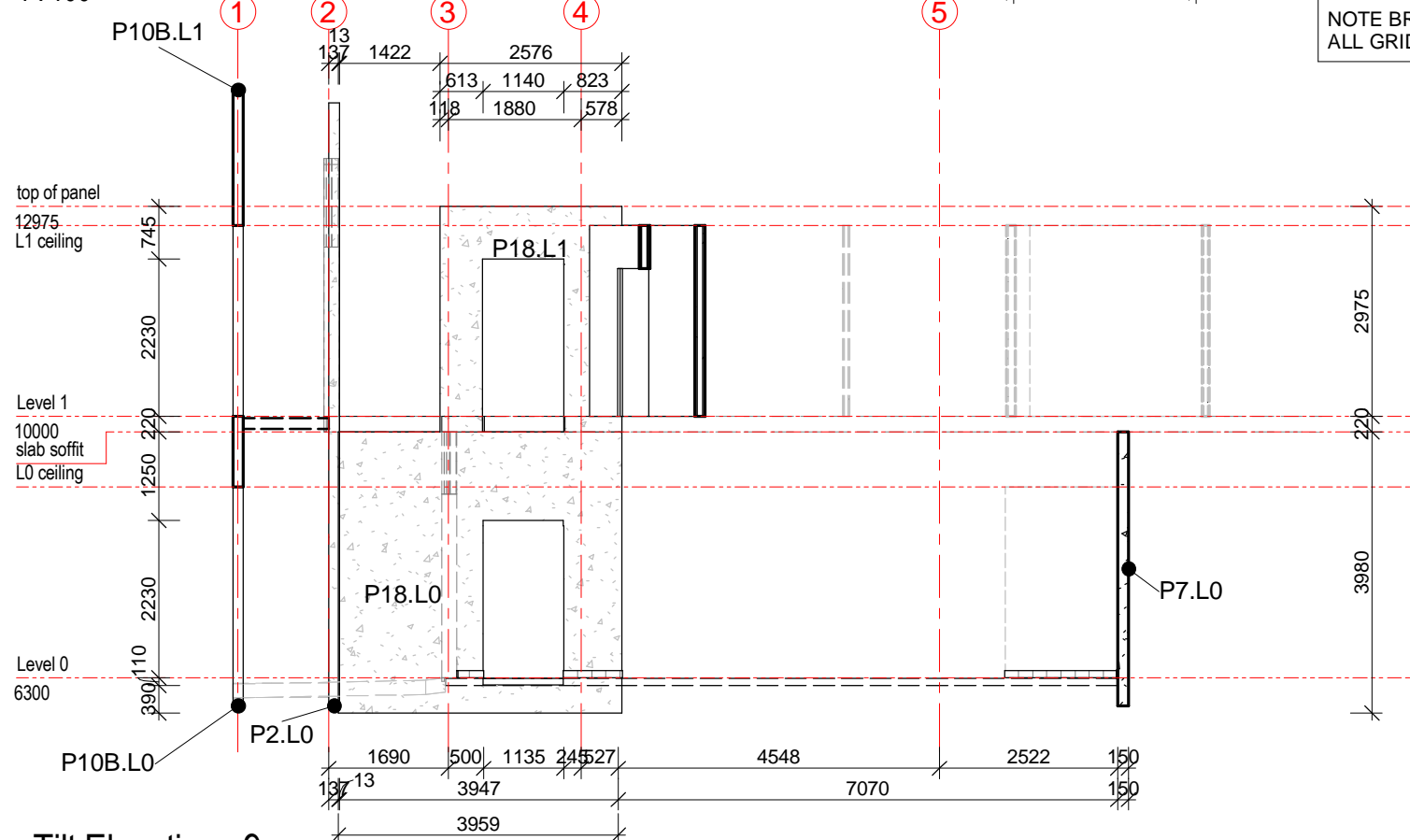
TILT PANEL ELEVATIONS
2
 WORKING DRAWINGS

Scale at A3 1 : 100	Job No #80211
Designed MDW	Dwg No 513TEI
Drawn MDW	Issue WD03-B
Checked MDW	

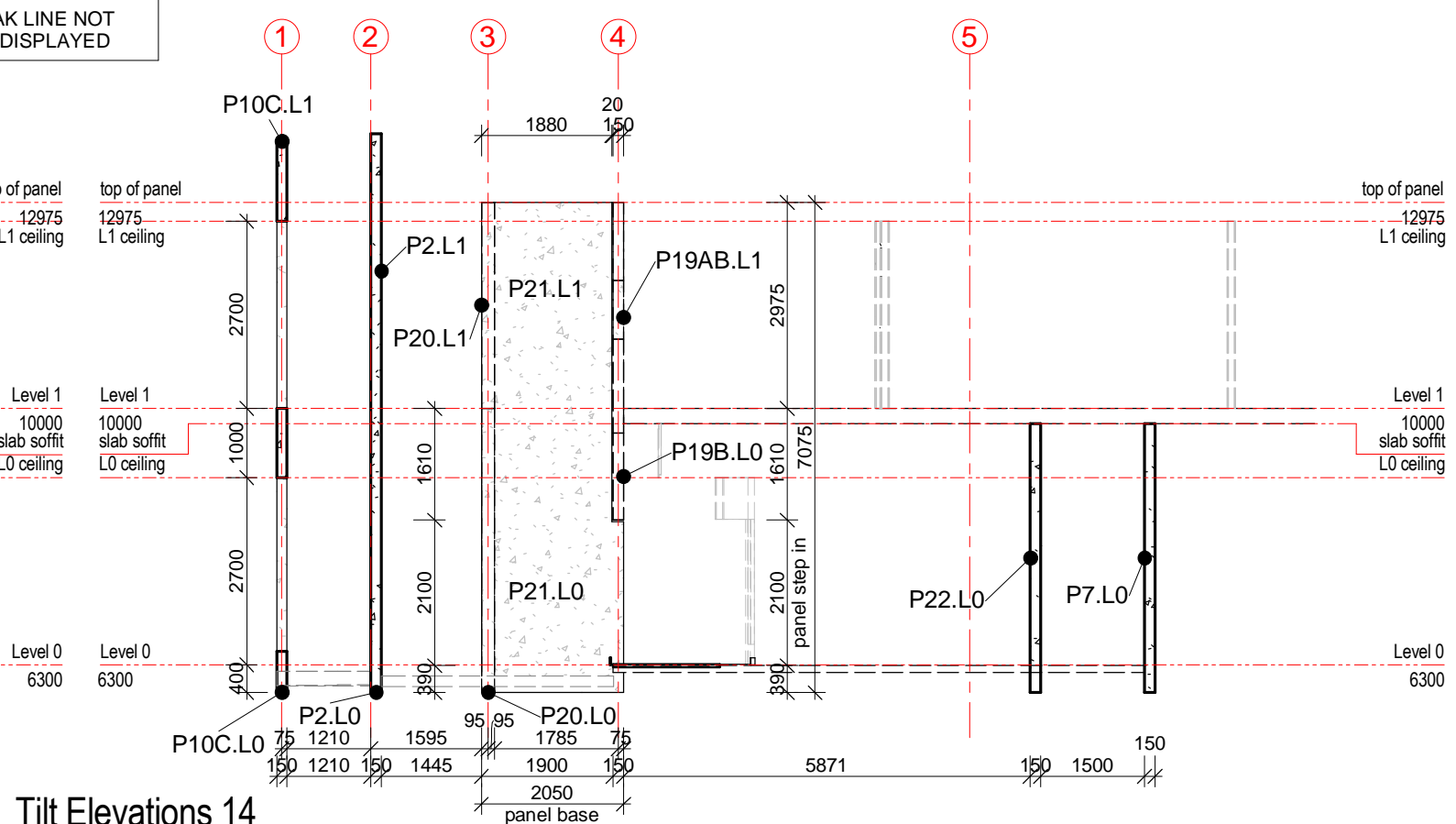


Tilt Elevations 8
1 : 100

NOTE BREAK LINE NOT ALL GRIDS DISPLAYED



Tilt Elevations 9
1 : 100

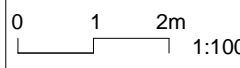


Tilt Elevations 14
1 : 100

FOR CONSTRUCTION

WD04 20.02.18 ALTER LIFT DOOR			
WD03 20.02.18 ALTER LIFT DOOR			
WD02 19.02.18 ALTER TILT PANELS			
Issue	Date	Issue Description	Rev Date
		Revision Description	

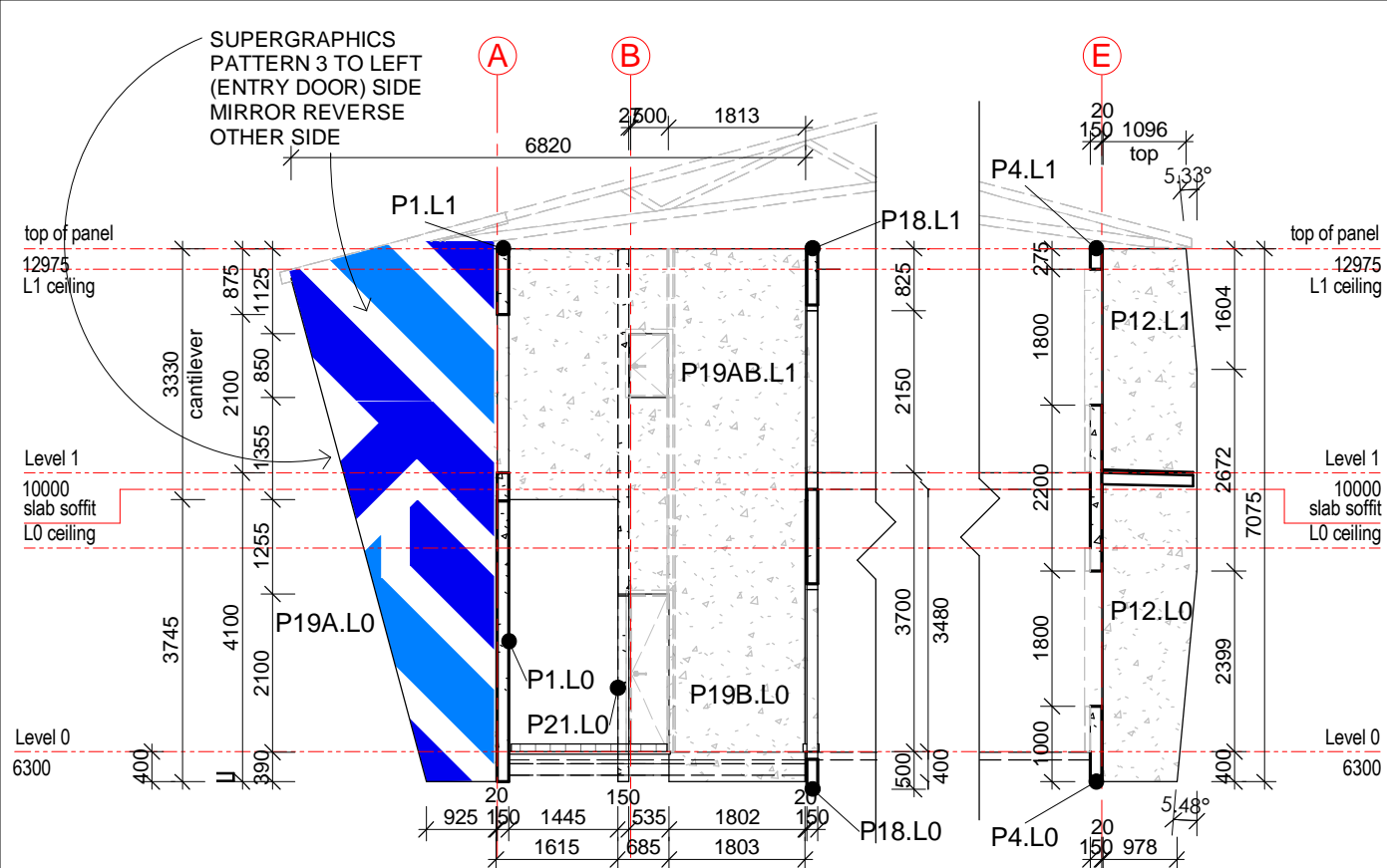
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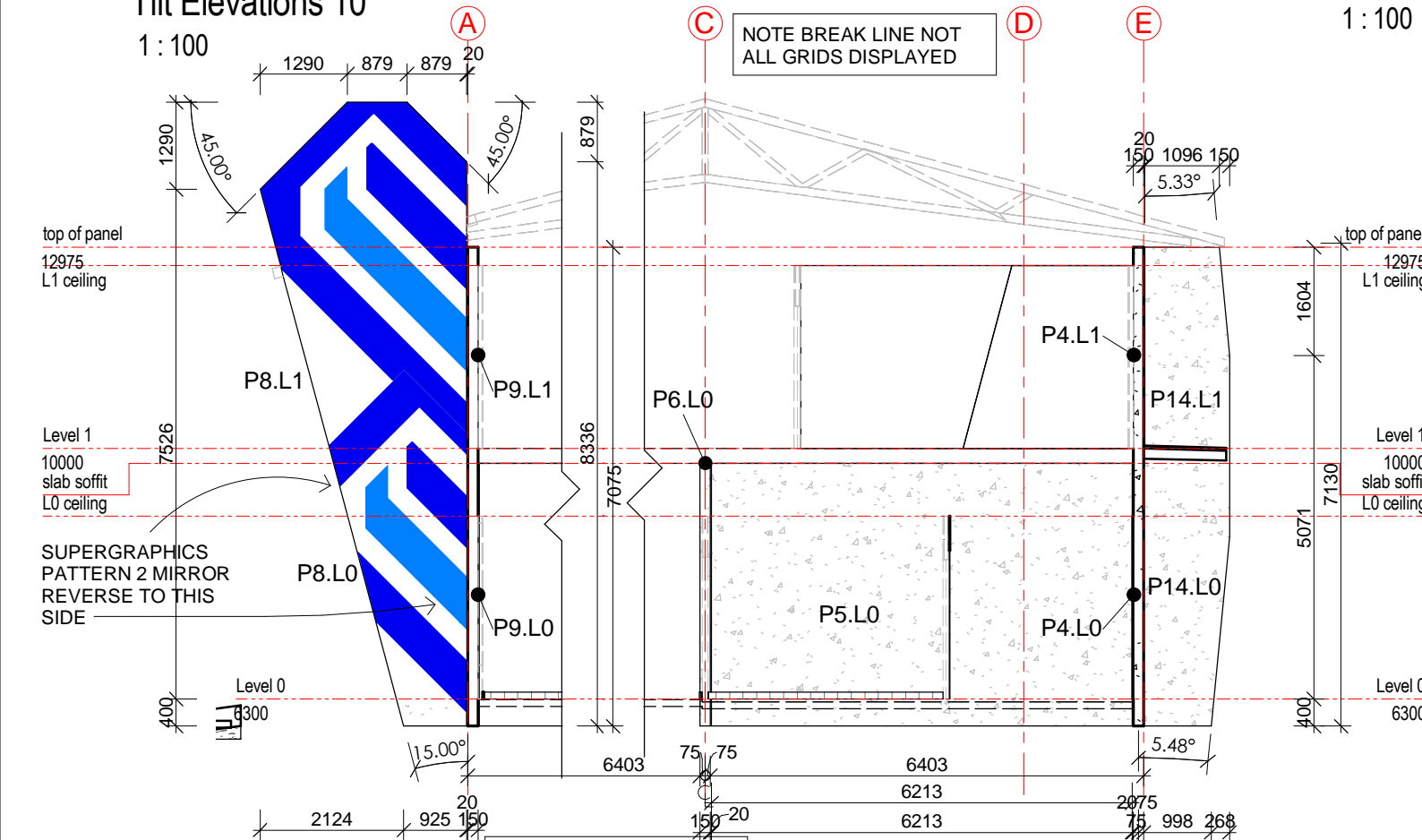
TILT PANEL ELEVATIONS 4
 WORKING DRAWINGS

Scale at A3 1 : 100	Job No #80211
Designed MDW	Dwg No 515TEI
Drawn MDW	Issue WD04-A
Checked MDW	SHEET 42 OF 53



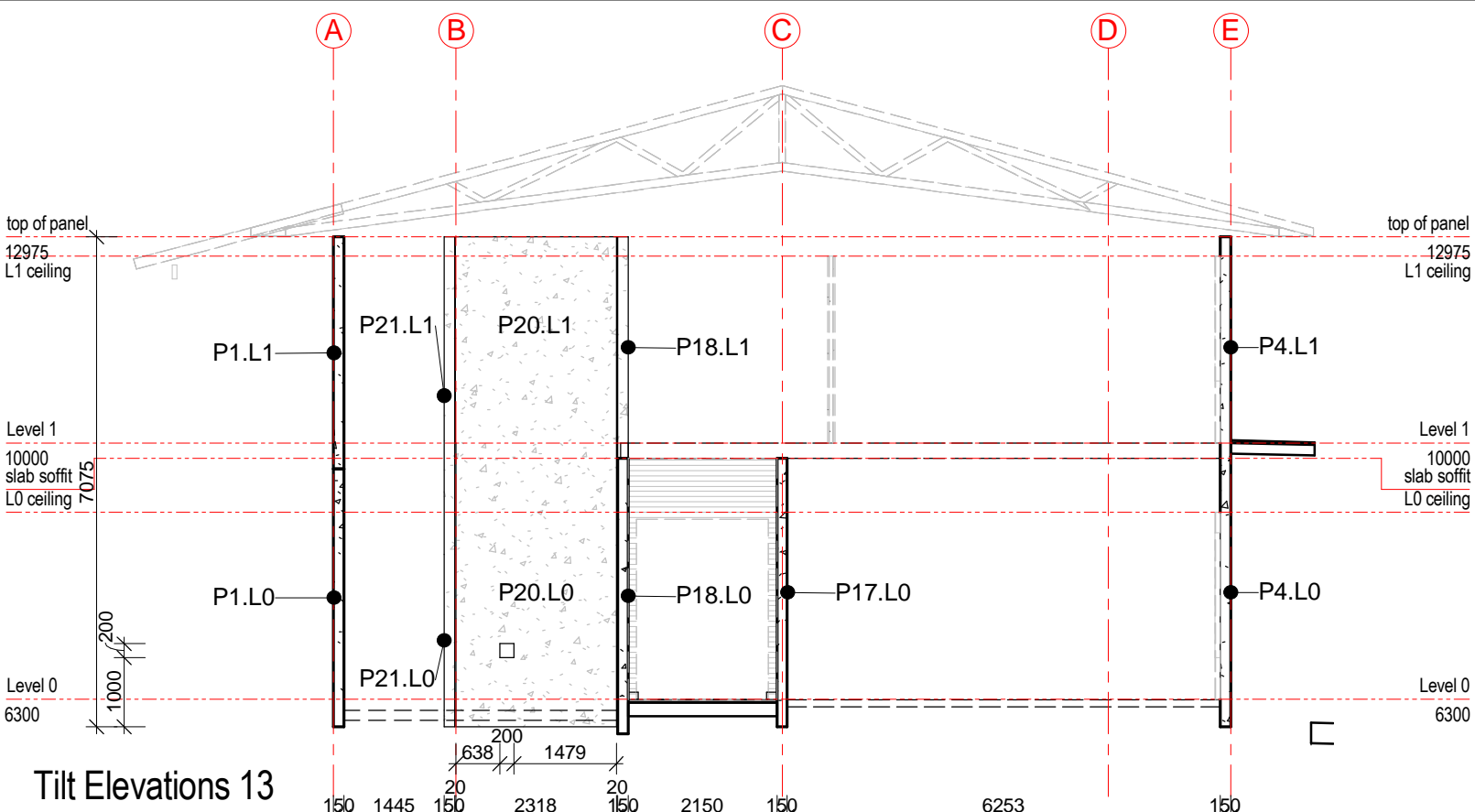
Tilt Elevations 10

1 : 100



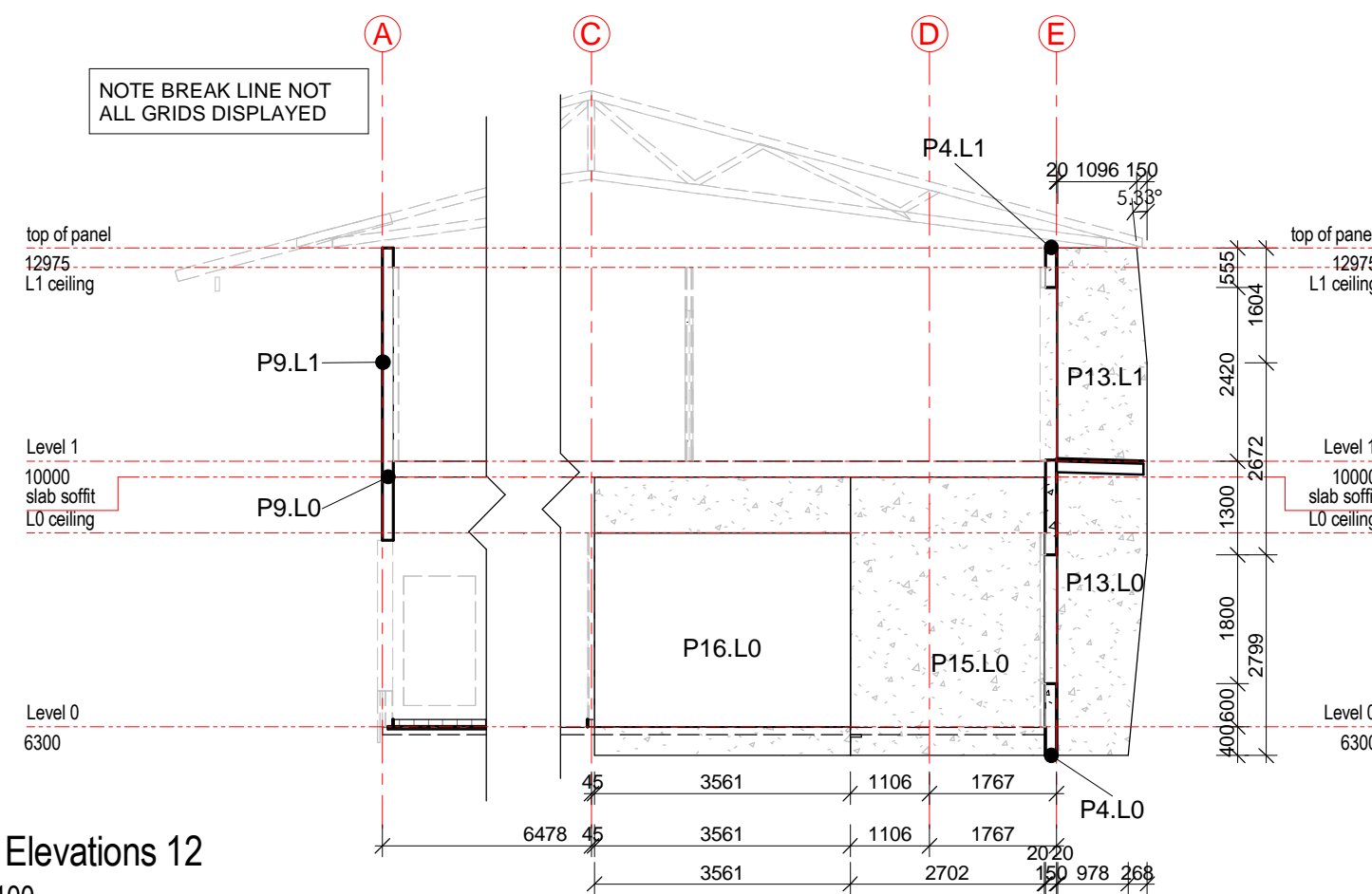
Tilt Elevations 11

1 : 100



Tilt Elevations 13

1 : 100

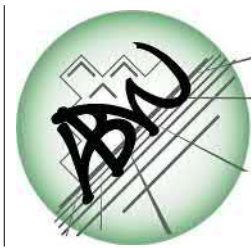


Tilt Elevations 12

1 : 100

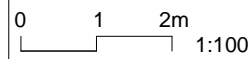
FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD02 08.05.18		ADD SUPERGRAPHICS			



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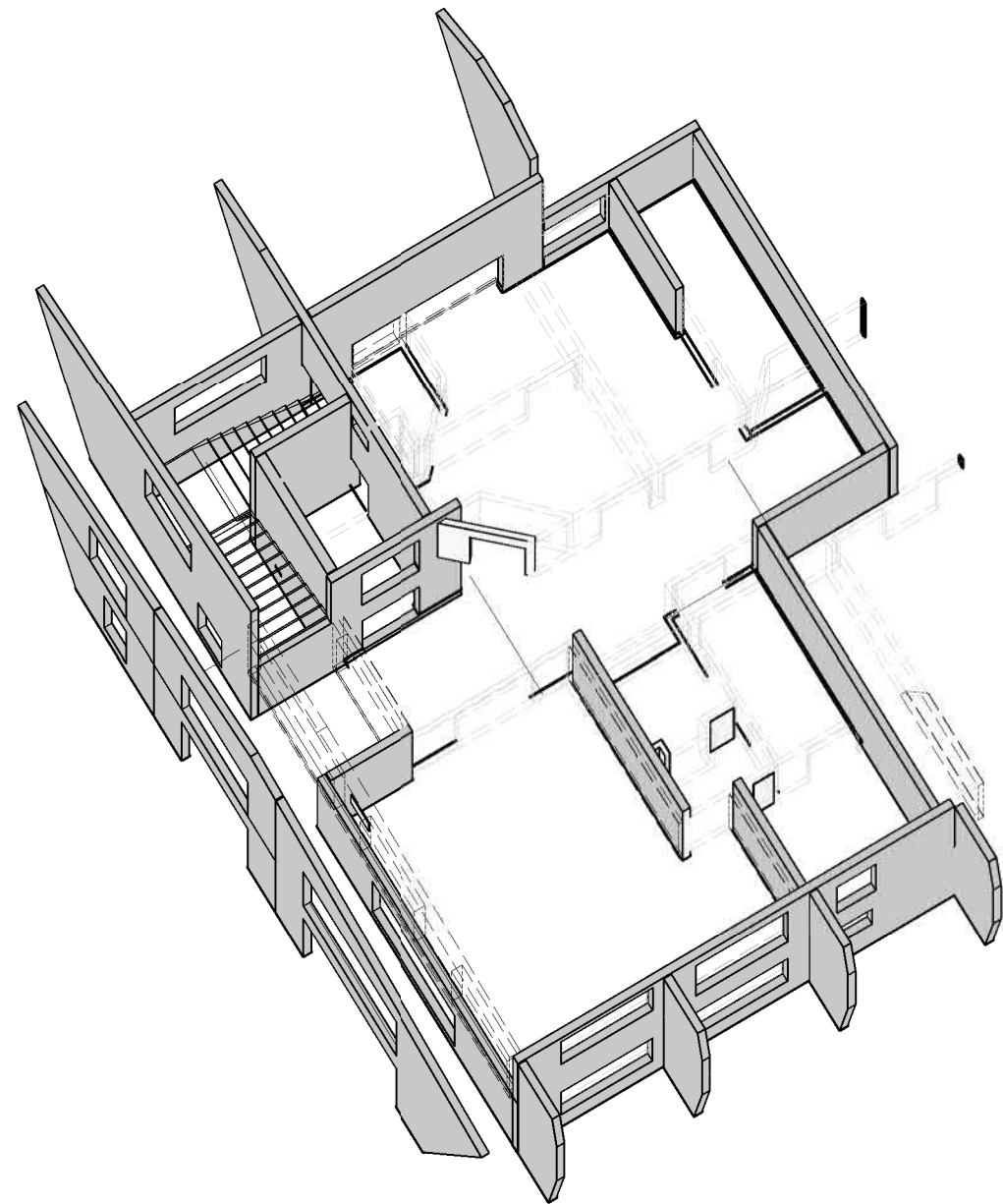
TILT PANEL ELEVATIONS
5

WORKING DRAWINGS

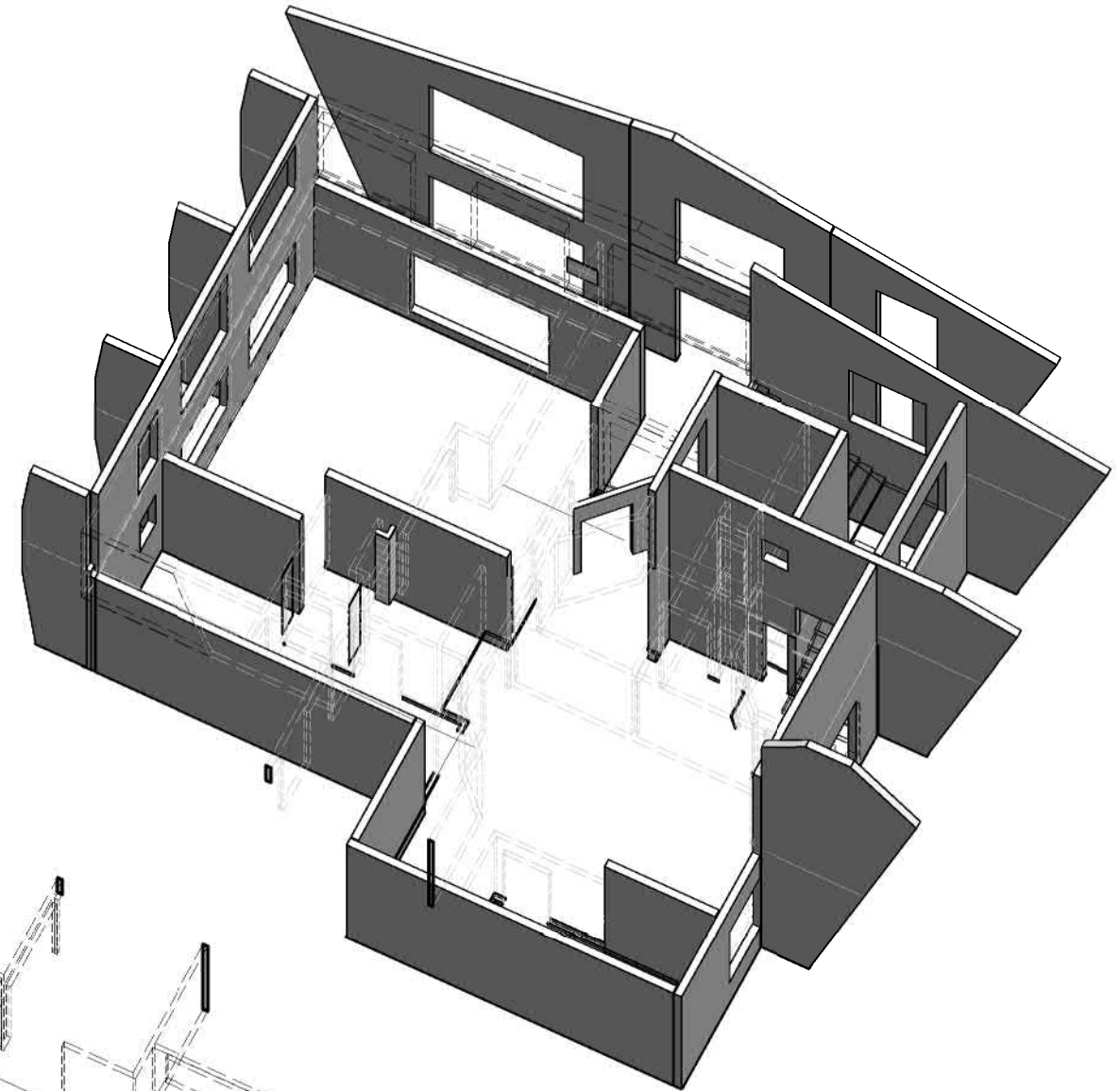
Scale at A3
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Designed
MDW
Drawn
MDW
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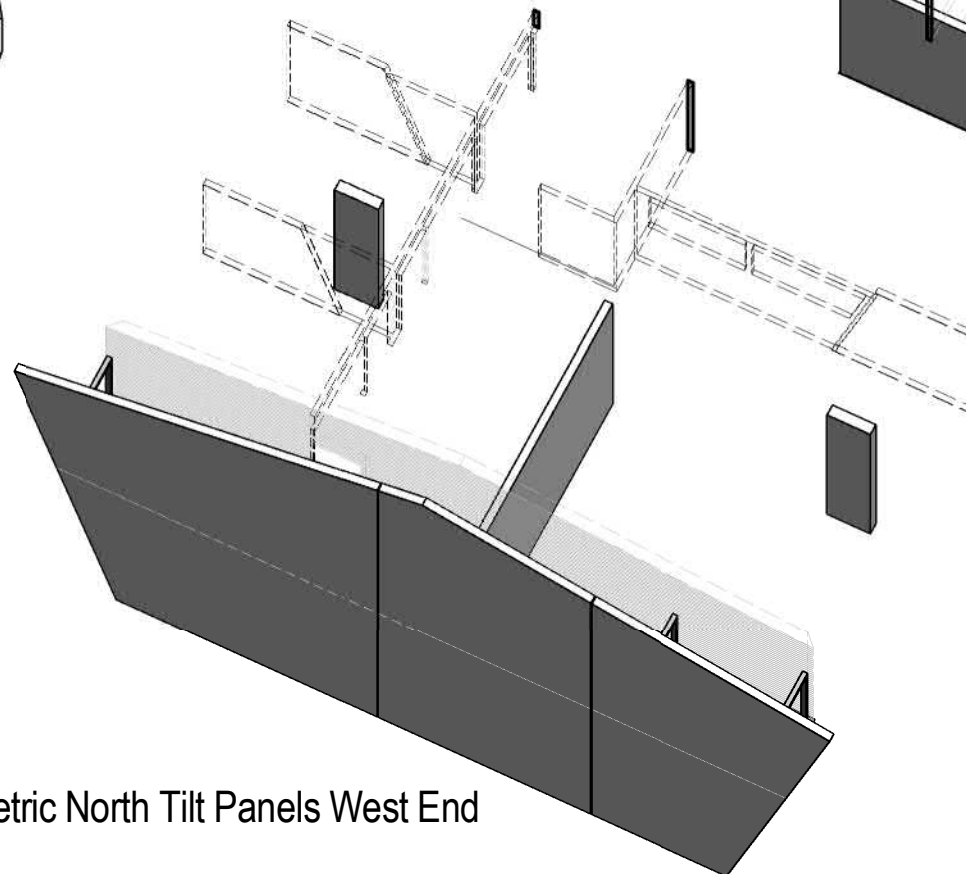
Job No
#80211
Dwg No
516TEI
Issue
WD02-A
SHEET 43 OF 50



proposed axonometric NE Tilt Panels - East End



proposed axonometric SW Tilt Panels - East End



proposed axonometric North Tilt Panels West End

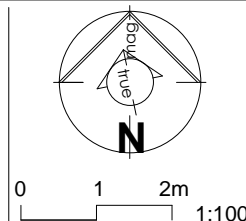
FOR CONSTRUCTION

WD03 - 23.02.18 ALT P24A.L0+P5L0
 WD02 20.02.18 ALTER TILT PANELS
 Issue Date Issue Description

Rev Date Revision Description



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**TILT PLAN
 AXONOMETRICS**

WORKING DRAWINGS

Scale at A3

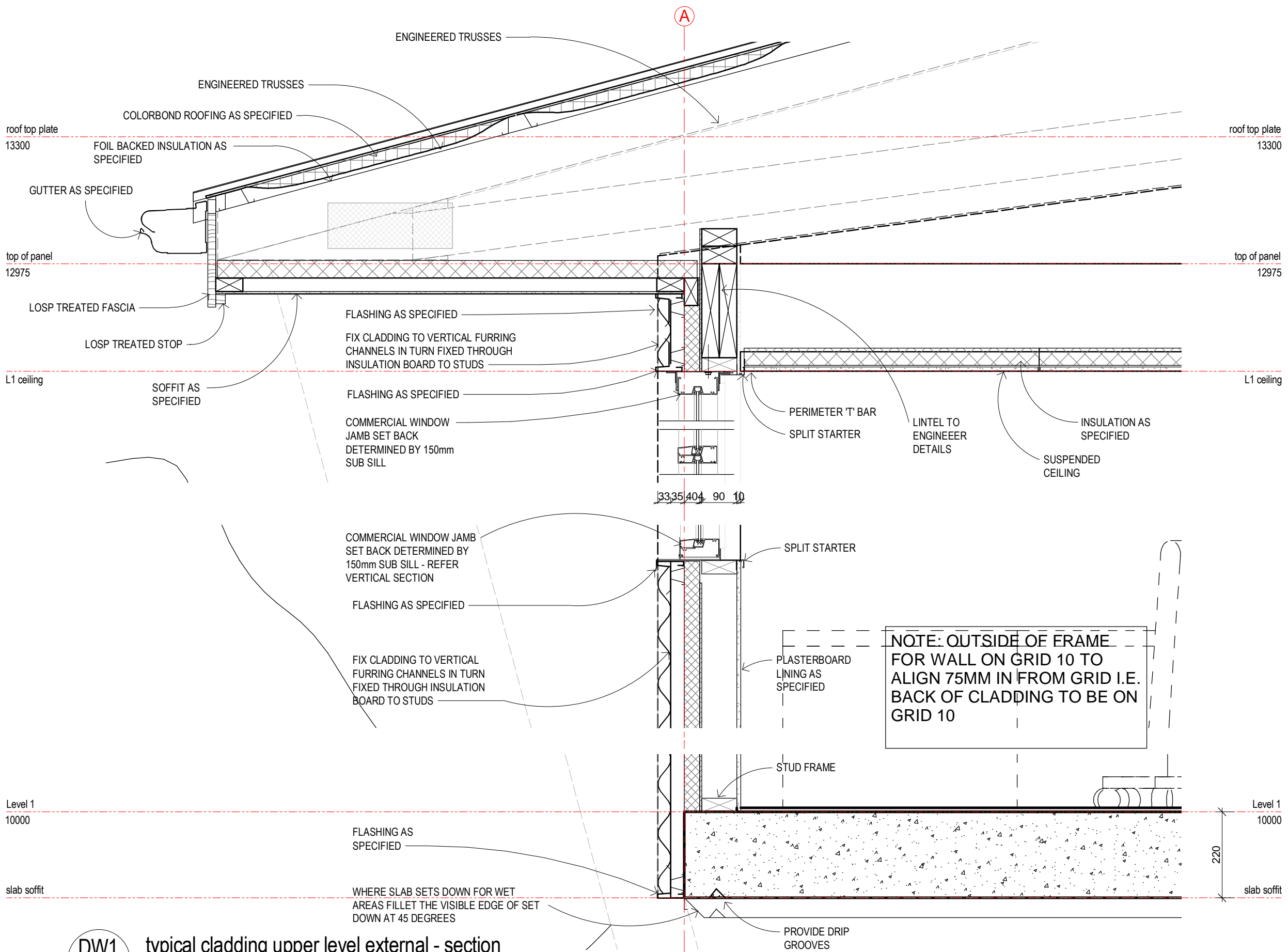
Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211

Dwg No
580TAI

Issue
WD03-B

SHEET 44 OF 53

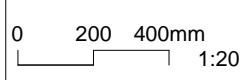


DW1 typical cladding upper level external - section
 301ST1 1:10

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	01.05.18	ALER WALL SET OUT NOTE			
AA0	00.00.12	ISSUE 01			

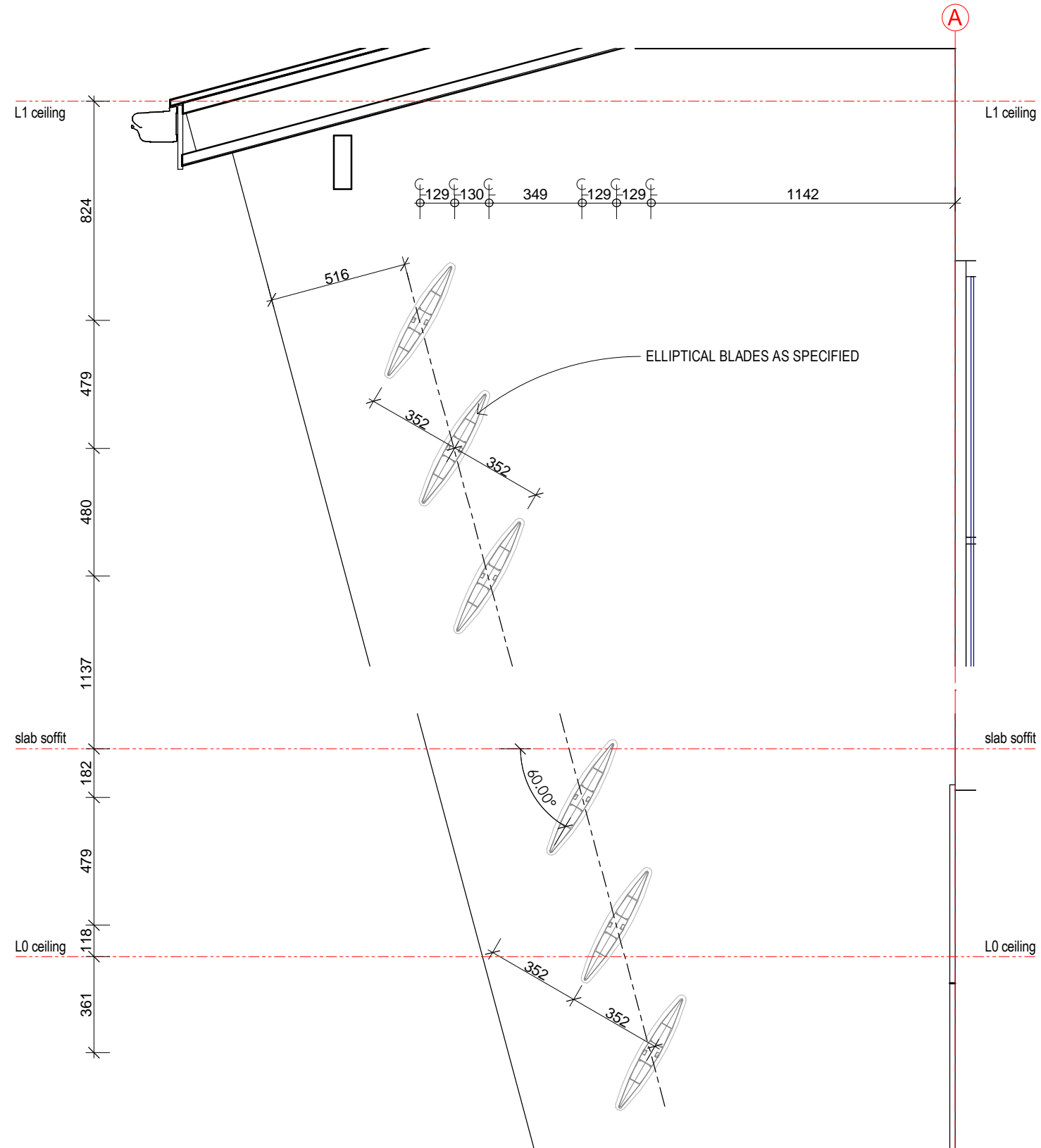
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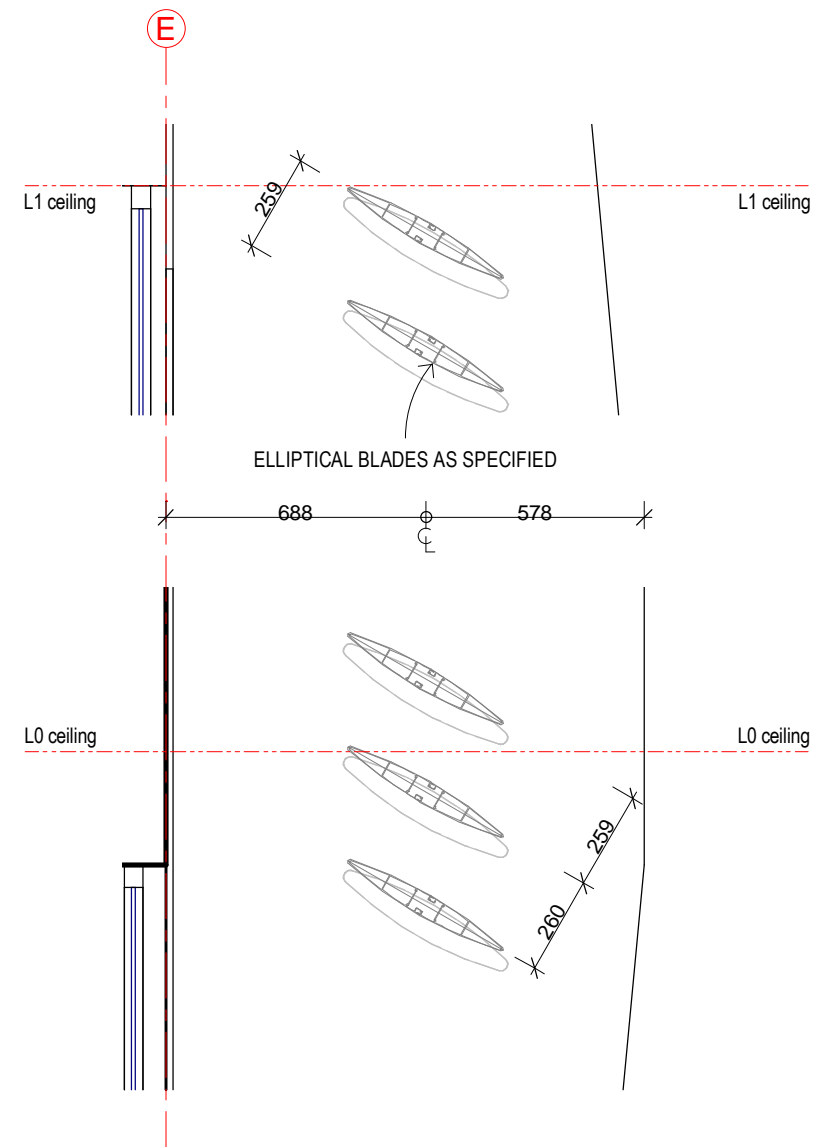
OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

**DETAILS - UPPER LEVEL
 EXTERNAL WALL
 HORIZONTAL SECTION**
 WORKING DRAWINGS

Scale at A3 1:10	Job No #80211
Designed MDW	Dwg No 621DW1
Drawn MDW	Issue WD02-A
Checked MDW	SHEET 45 OF 53



DW6 blade details - set out
301ST1 1:20

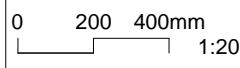


DW7 proposed short section east - Callout 1
301ST1 1:20

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
AA0	00.00.12	ISSUE 01			

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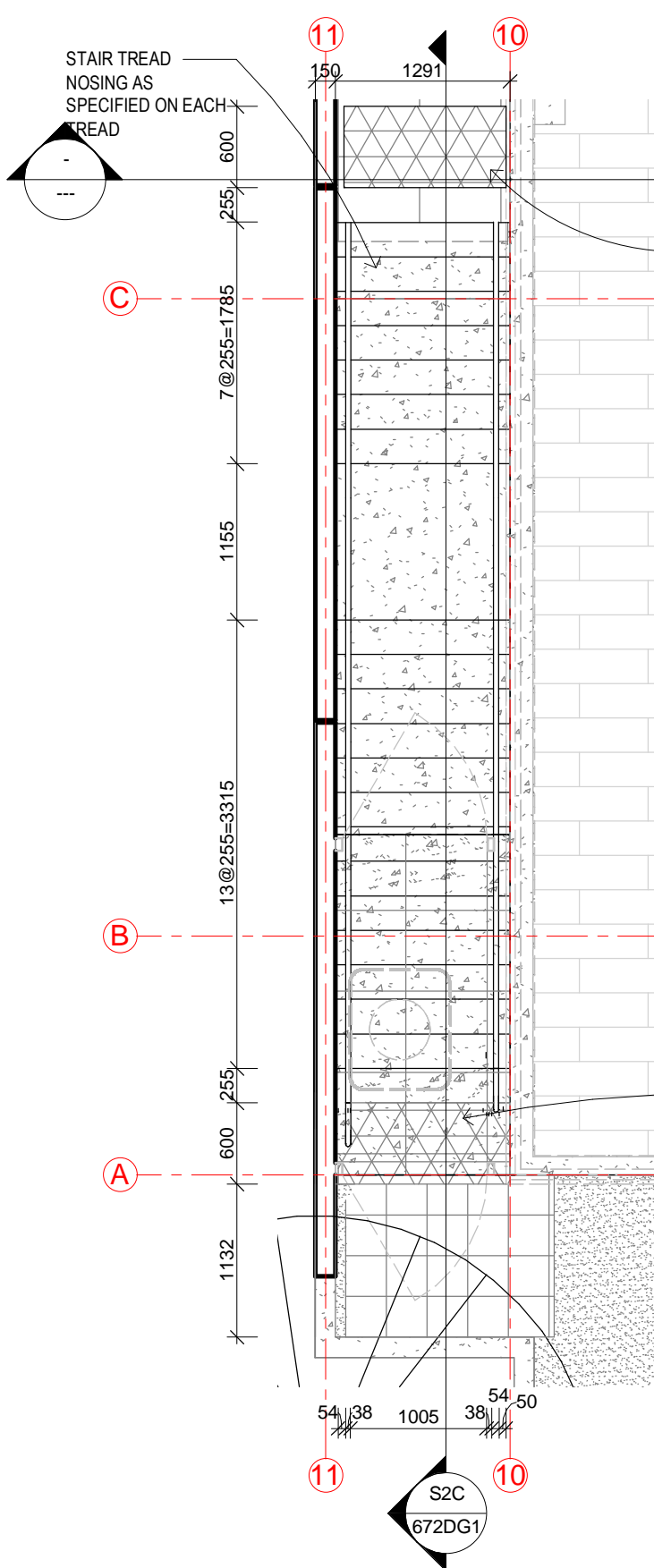


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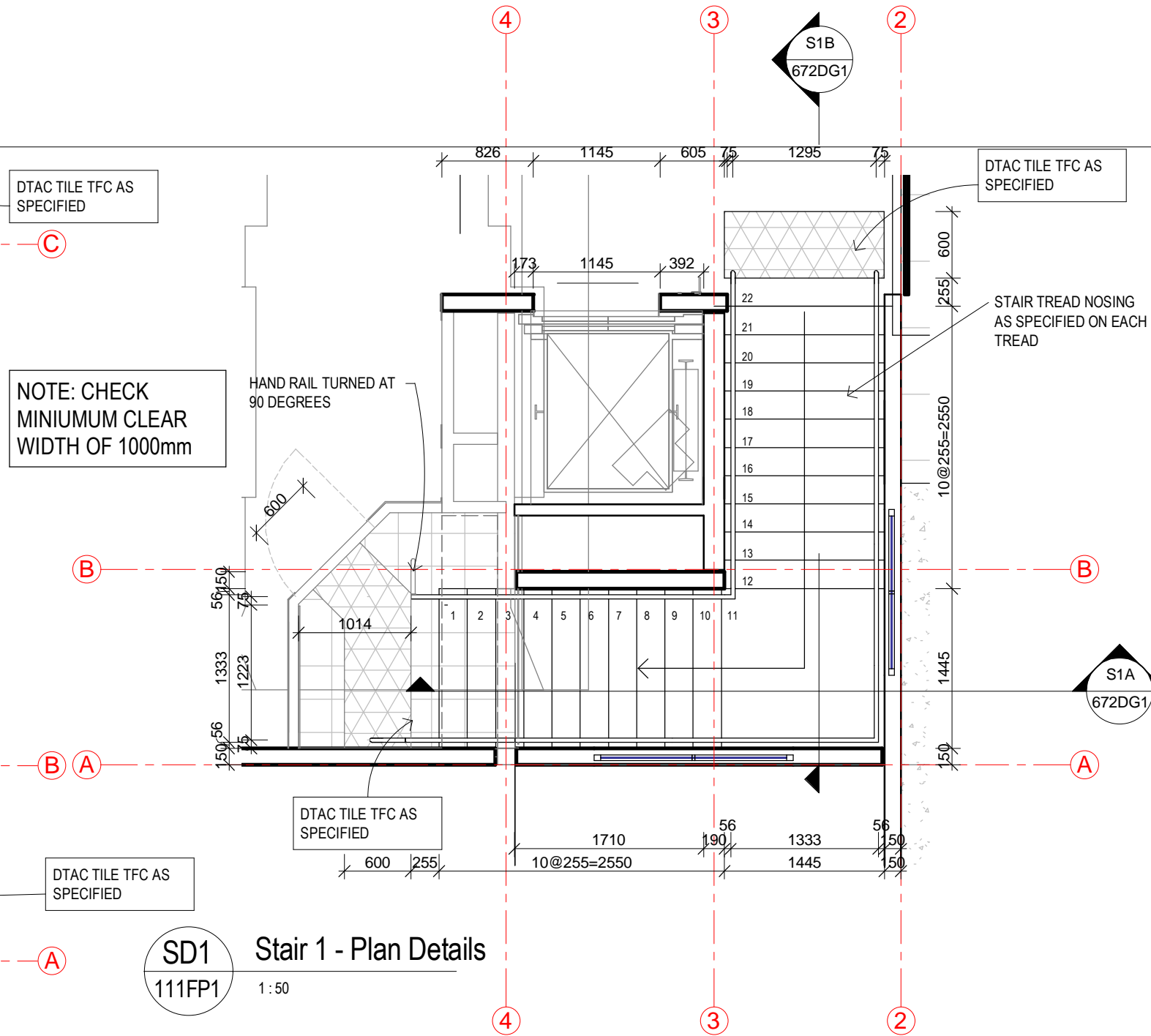
DETAILS - ELLIPTICAL BLADES
WORKING DRAWINGS

Scale at A3
1:20
Designed MDW
Drawn MDW
Checked MDW

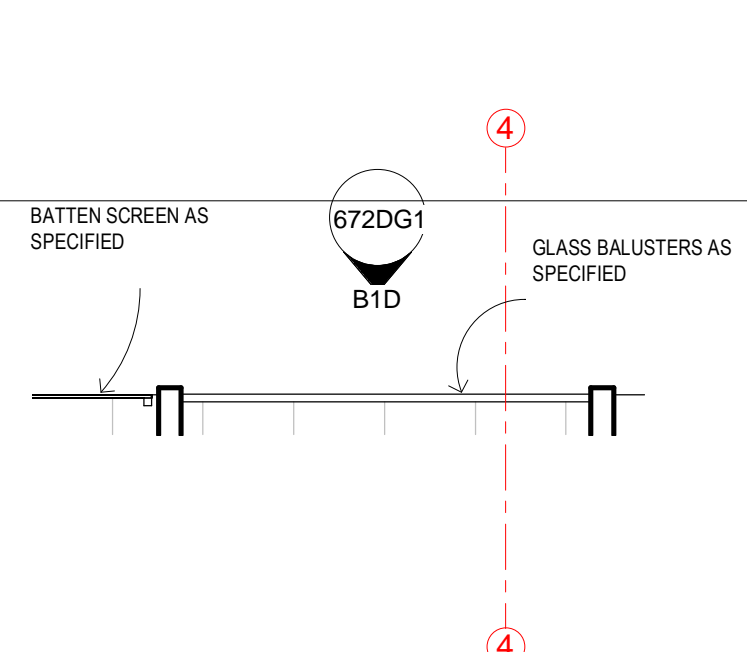
Job No #80211
Dwg No 623DWI
Issue WDO1
SHEET 41 OF 53



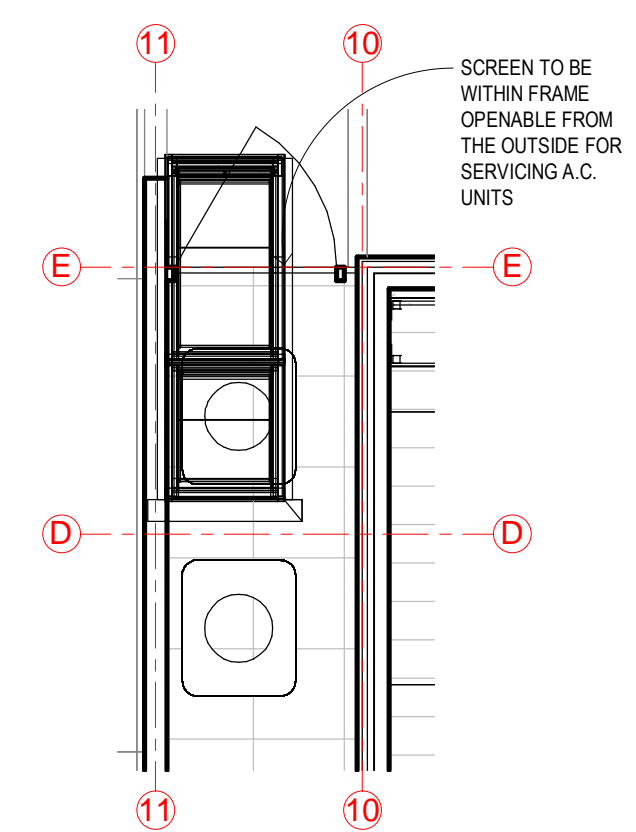
SD2 Stair 2 - Plan Details
111FP1 1:50



SD1 Stair 1 - Plan Details
111FP1 1:50



SD3 Typical Balustrades and Screen
111FP1 1:50

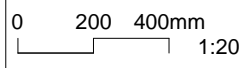


SD4 Gated Screens
111FP1 1:50

- GENERAL STAIR NOTES**
- ALL STAIR, BALUSTRADES & RAILING CONSTRUCTION.**
TO COMPLY WITH B.C.A. CLAUSES D2.13 TO D2.17 & AS1428.1 AND AS1428.4.
- STAIRWAY CONSTRUCTION**
1. THE TOP OR BOTTOM TREAD OF A FLIGHT OF STAIRS SHALL NOT ENCR OACH INTO THE REQUIRED CIRCULATION SPACES.
 2. STAIRS SHALL HAVE OPAQUE RISERS.
 3. A STRIP, NOT LESS THAN 50mm AND NOT GREATER THAN 75mm, SHALL BE PROVIDED ON TREAD AT THE NOSING WITH MIN. LUMINANCE CONTRAST OF 30% TO THE BACKGROUND
 4. HANDRAILS SHOULD BE PROVIDED ON BOTH SIDES OF A STAIRWAY.

Issue	Date	Issue Description	Rev	Date	Revision Description
WD05	22.02.18	ALTER END OF HANDRAIL			
WD03	21.02.18	ADD DIMENSIONS			
WD02	07.02.18	ALTER STAIR GOING			

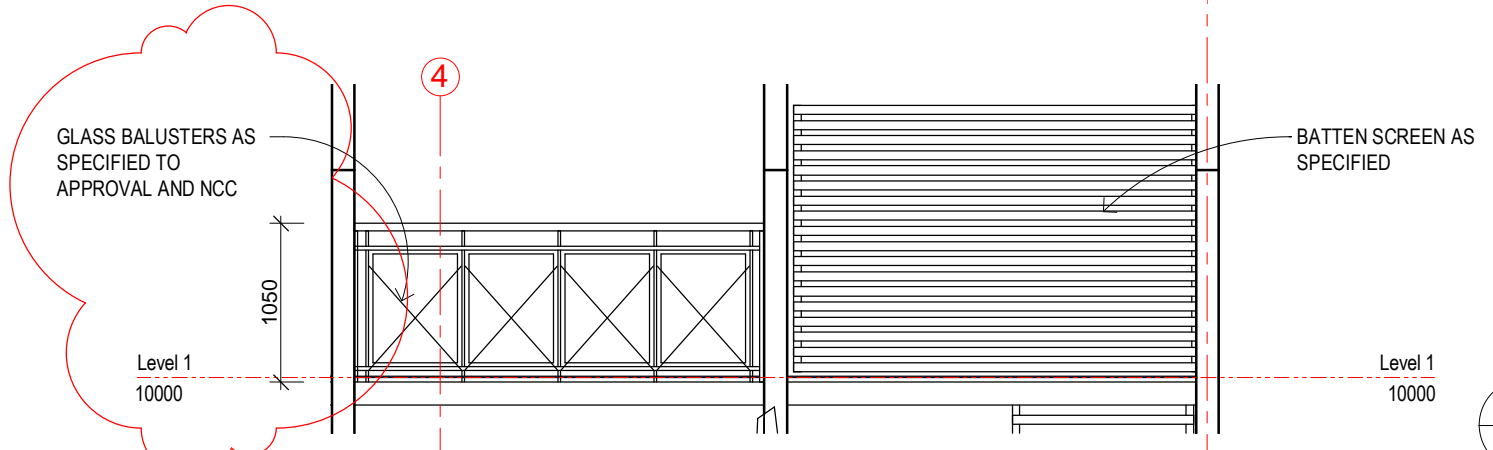
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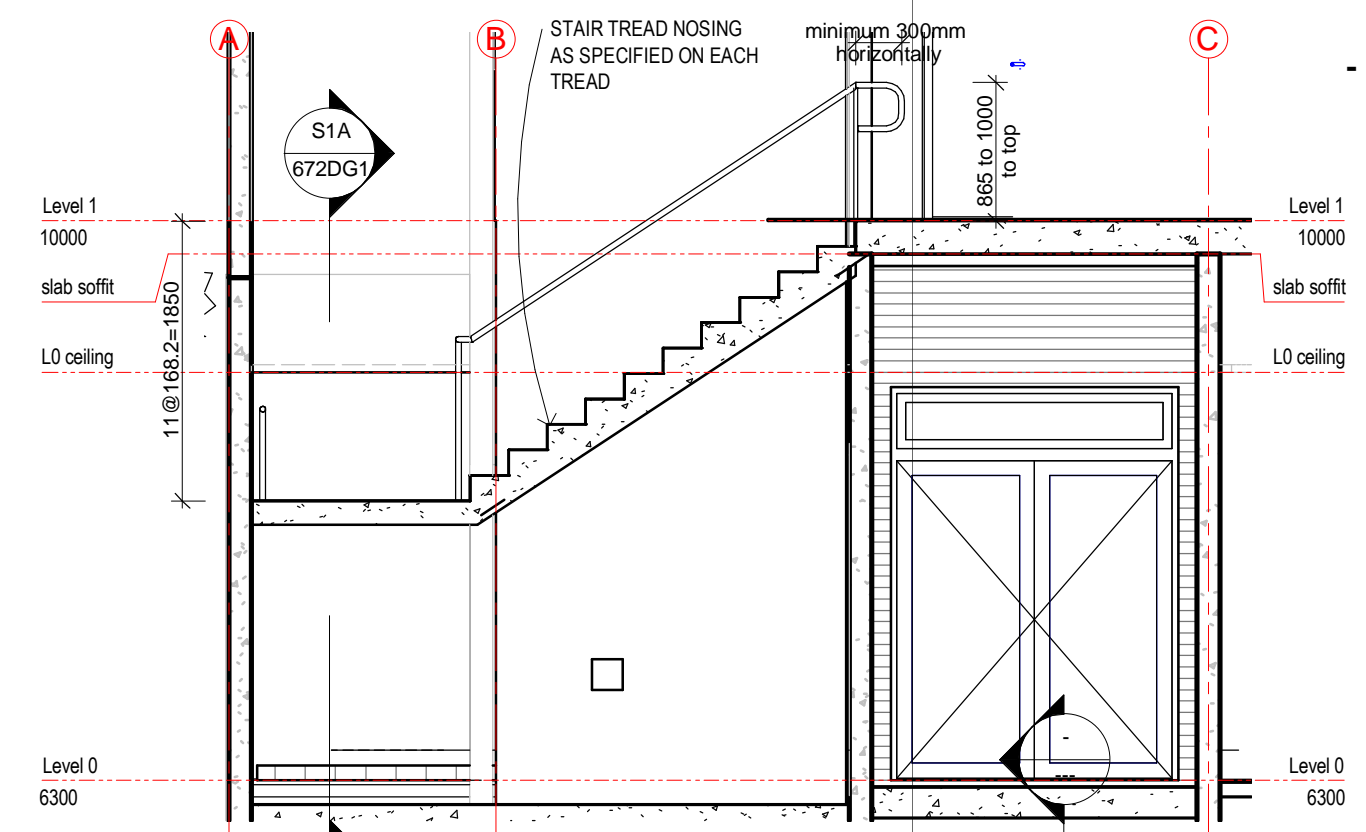
OFFICE BUILDING
at 120 FLOOD PLAINS ROAD
BRISBANE
for MANAGEMENT + CO

FOR CONSTRUCTION
STAIRS - PLAN DETAILS
WORKING DRAWINGS

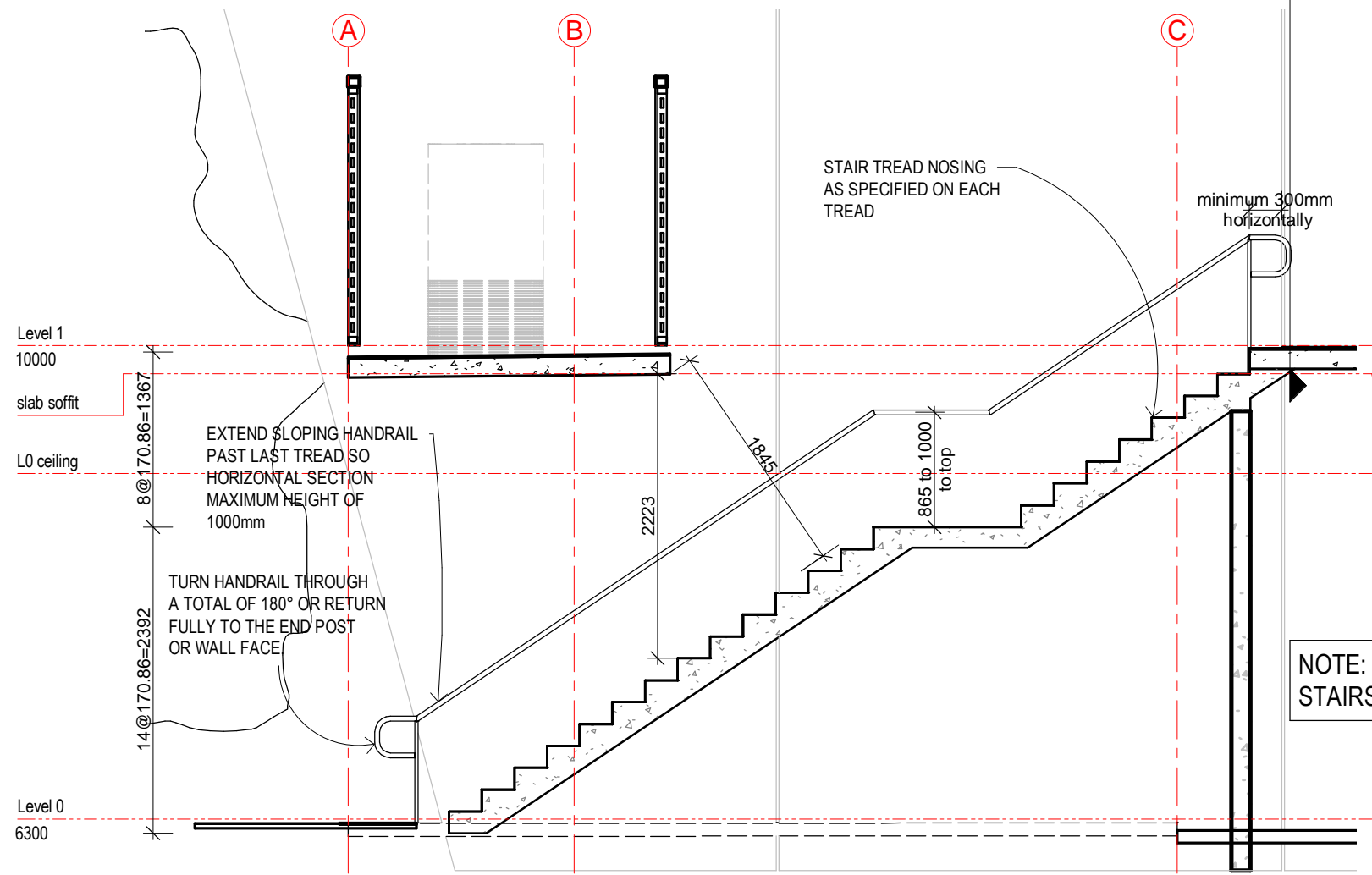
Scale at A3 1:50	Job No #80211
Designed MDW	Dwg No 671DGI
Drawn MDW	Issue WD04-B
Checked MDW	SHEET 48 OF 53



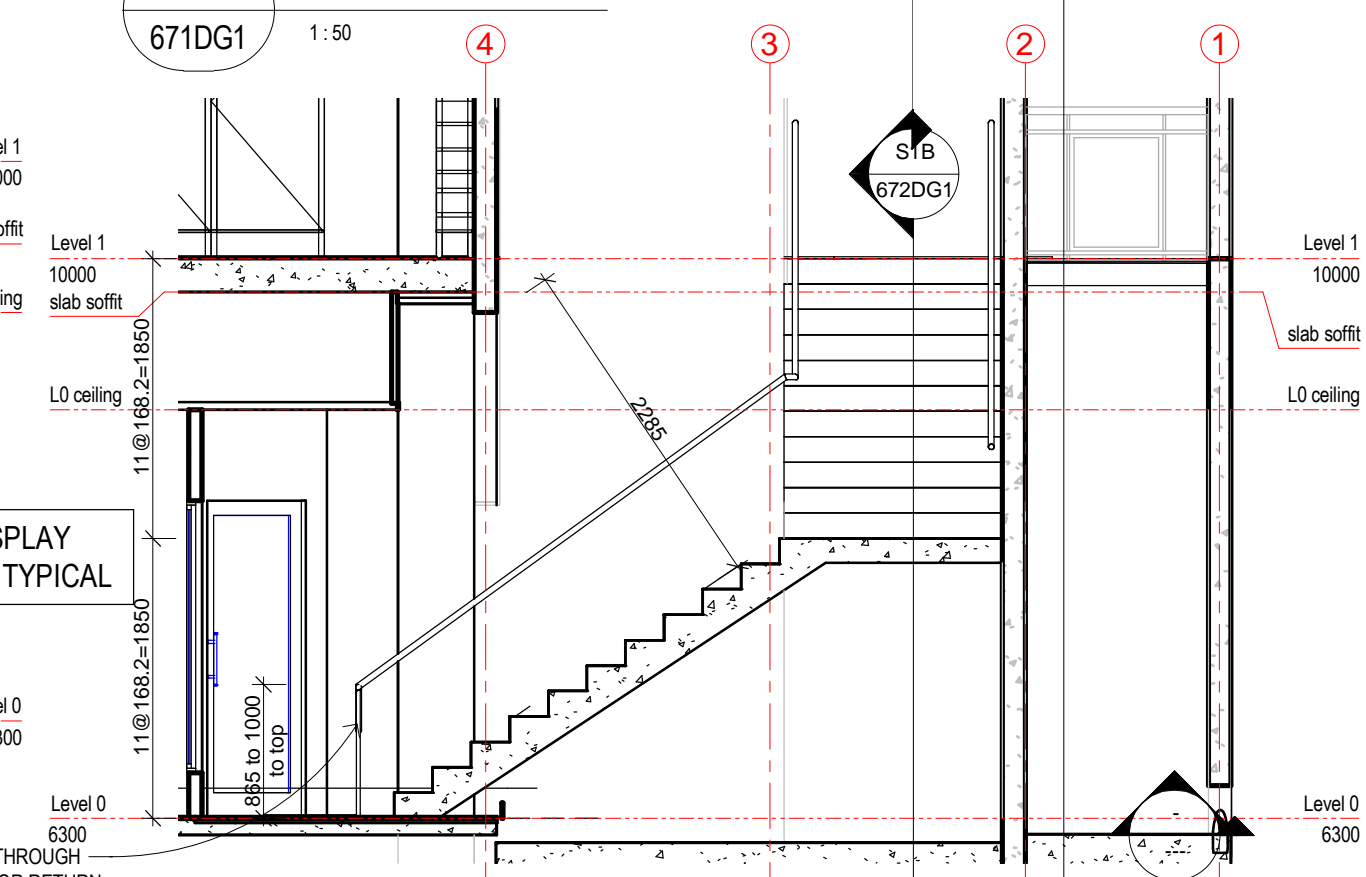
B1D
104SP1
Balustrade details
1:50



S1B
671DG1
Stair 1 - Section B
1:50



S2C
110FP1
Stair 2 Section C
1:50



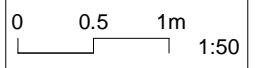
S1A
671DG1
Stair 1 Section A
1:50

FOR CONSTRUCTION

Issue	Date	Issue Description
WD05	22.02.18	ALTER END OF HANDRAIL
WD04	22.02.18	ADD HAND RAIL NOTE
WD03	21.02.18	ADD DIMENSIONS
WD02	07.02.18	ALTER BALUSTER HEIGHT

Rev	Date	Revision Description
A	07.02.18	alter balustrade height

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STAIRS - SECTION DETAILS
WORKING DRAWINGS

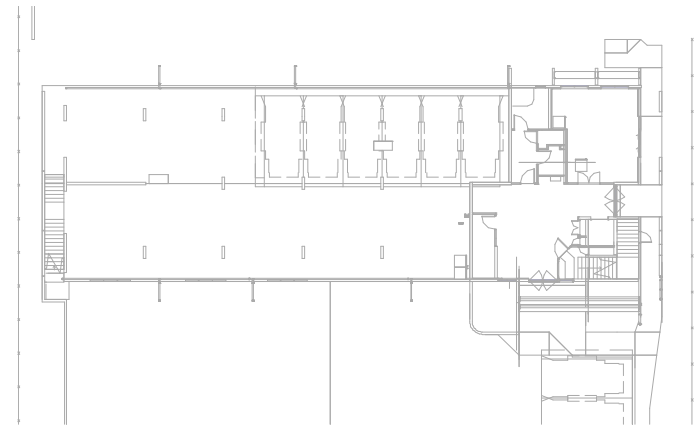
Scale at A3	Job No
1:50	#80211
Designed MDW	Dwg No 672DG1
Drawn MDW	Issue WD05-B
Checked MDW	SHEET 49 OF 53

window schedule new

Mark	Qty	Level	Head	Size		Frame Material	Window Style	Description	Glazing	Comments
				Height	Width					
02	1	Level 0	2400	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
03	1	Level 0	2600	2100	900	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
04	1	Level 0	2100	1800	1000	aluminium	Commercial fixed	Clear Glass		
05	1	Level 0	2400	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
06	1	Level 0	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass		
07	1	Level 0	2600	2100	1200	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
11	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
12	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		
13	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
14	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
15	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
16	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
17	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
18	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		with sub sill
19	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
20	1	Level 1	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass to fixed panel		with sub sill
21	1	Level 1	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass to fixed panel		with sub sill
22	1	Level 1	2200	1200	2410	aluminium	Commercial double outer slider	Viridian Comfortplus Neutral 59		with sub sill
23	1	Level 1	2100	2100	1500	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
24	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		one piece
25	1	Level 1	2700	1800	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
26	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
27	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
28	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
29	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
30	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
31	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Privacy Decal)		one piece
32	1	Level 1	2100	2100	1800	aluminium	Internal 64 series	Clear Glass (Privacy Decal)		one piece with decal applied
33	1	Level 1	2100	1000	1800	aluminium	Internal 64 series	Clear Glass (Logo Decal)		one piece
34	1	Level 1	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass to fixed panel		with sub sill
35	1	Level 1	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass to fixed panel		with sub sill
36	1	Level 1	2400	1200	610	aluminium	Commercial Awning over fixed	Obscure Glass to fixed panel		with sub sill
38	1	Level 1	2100	2100	1800	aluminium	Commercial fixed	Viridian Comfortplus Neutral 59		
39	1	Level 1	2700	1800	2700	aluminium	Commercial fixed 6 panel	Viridian Comfortplus Neutral 59		with sub sill
40	1	Level 1	2700	1800	2700	aluminium	Commercial fixed 6 panel	Viridian Comfortplus Neutral 59		with sub sill
41	1	Level 1	2700	1800	2700	aluminium	Commercial fixed 6 panel	Viridian Comfortplus Neutral 59		with sub sill
42	1	Level 1	2700	1800	1800	aluminium	Commercial fixed 4 panel	Viridian Comfortplus Neutral 59		with sub sill
43	1	Level 1	2500	1000	1800	aluminium	Internal 64 series	Clear Glass		note head height
44	1	Level 1	2500	1000	1800	aluminium	Internal 64 series	Clear Glass		note head and angled jamb
45	1	Level 1	2500	1000	1800	aluminium	Internal 64 series	Clear Glass		note head height
46	1	Level 1	2500	1000	1800	aluminium	Internal 64 series	Clear Glass		note head and angled jamb

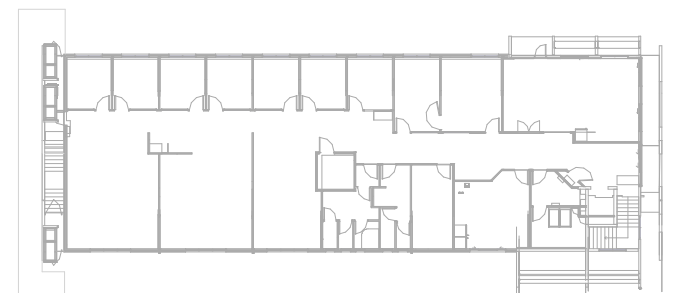
General Notes - Window Joinery

- 1 read schedules in conjunction with floor plans and elevations. all joinery viewed from outside, uno, but note that floor plans take precedence over legend views on this sheet, in regards to leaf swings or sliding direction.
- 2 this drawing to be read in conjunction with energy assessment.
- 3 clear glass internally uno.
- 4 where glazing is specified, also means "or similar".
- 5 refer Architect for frame colours on aluminium framed items.
- 6 assume flyscreens are required to openable windows.
- 7 all windows with sills below 900 above floor, and over 1000 above outside level, to have fixed lower panels opening 125 max.
- 8 all windows to bedrooms, with a fall distance over 2m, to have permanent barriers or with leaf openings with 125 max spaces, for a distance of 1700mm above floor.
- 9 all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from awa.org.au.



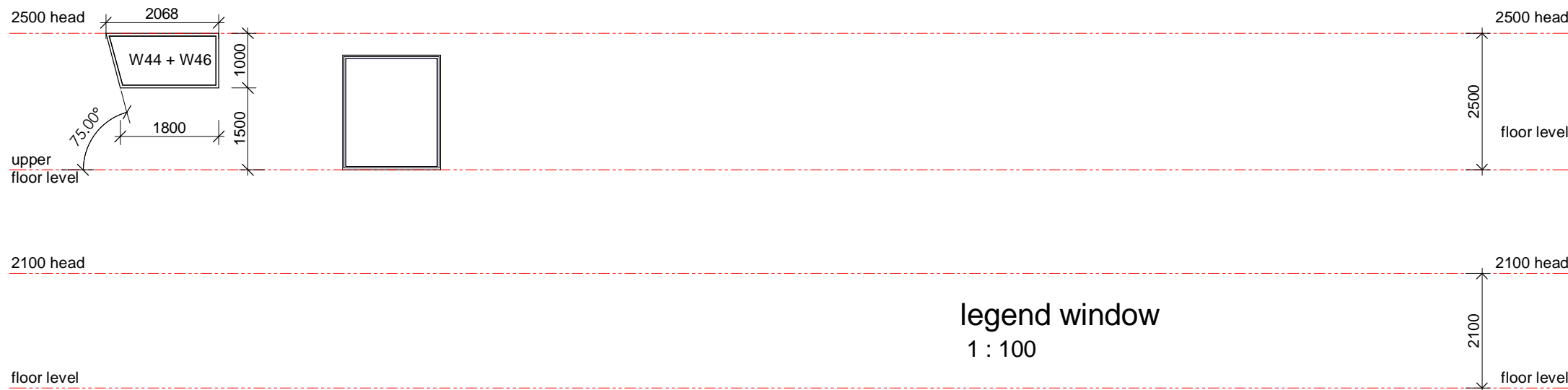
Keyplan L0 Windows

1 : 500



Keyplan L1 Windows

1 : 500



FOR CONSTRUCTION

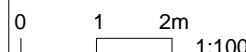
WD03 23.07.18 ADD DECALS
WD02 26.02.18 REMOVE W01

Issue	Date	Issue Description	Rev	Date	Revision Description
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WINDOW SCHEDULE

WORKING DRAWINGS

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW

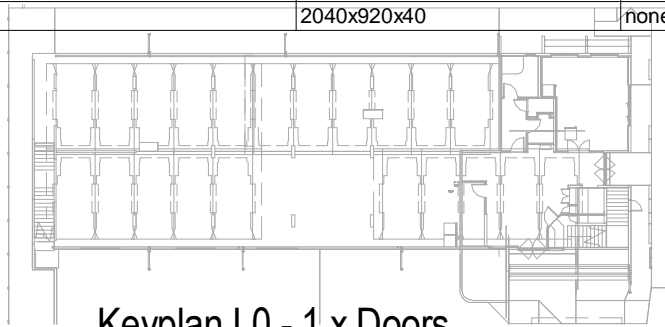
Job No #80211
Dwg No 1015C1
Issue WD03-B
SHEET 50 OF 53

door schedule new

Mark	Qty	Level	Nom Head	Size		Description				Comments
				Frame Height	Door Width	Frame Material	Door Style	Type	Comments	
1.01	1	Level 0	2100	2100	1500	aluminium	single light french pair		Clear glass (privacy decal)	Gymnasium refer Door Schedule
1.02	1	Level 0	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	U/A WC Push plate with UNISEX sign + male + female + disabled symbol with Braille to AS1428
1.03	1	Level 0	2100	2070	820	aluminium	Deco 2S	2040x820x40	none	UWC signage to AS1428
1.04	1	Level 0	2100	2070	870	aluminium	Deco 2S	2040x870x40	Return air grille	Utility
1.05	1	Level 0	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	Lockers
1.06	1	Level 0	2400	2400	2710	aluminium	3 Stacker Commercial		Viridian Comfortplus Neutral 59	Lockers
1.07	1	Level 0	2600	2600	1900	aluminium	single light french entry pair	850mm clear opening main door	Viridian Comfortplus Neutral 59	Entry leaf with escape lever to swing both ways with pull handles both sides other leaf fixed to open out only pull on outside
1.08	1	Level 0	2100	2100	920	aluminium	single light entry		Clear glass	Stairs to L1 - security swipe access
1.09	1	Level 0	2100	2070	870	aluminium	Deco 2S	2040x870x40	solid core	Storeroom
1.10	1	Level 0	2600	2600	1900	aluminium	single light french entry pair	850mm clear opening main door	Viridian Comfortplus Neutral 59	Entry leaf with escape lever to swing both ways with pull handles both sides other leaf fixed to open out only pull on outside
1.11	1	Level 0	2100	2070	720	steel	ply faced fire rated -/60/30	2040x720x40	solid core	External Store
1.12	1	Level 0	2100	2070	480	steel	non-combustible backing+smoke seals	2040x450x40	solid core	Duct
2.01	1	Level 1	2400	2400	1810	aluminium	Sliding Commercial		Viridian Comfortplus Neutral 59	Conference
2.02	1	Level 1	2400	2400	1810	aluminium	Sliding Commercial		Viridian Comfortplus Neutral 59	Conference
2.03	1	Level 1	2400	2400	2710	aluminium	3 Stacker Commercial		Viridian Comfortplus Neutral 59	Waiting Veranda
2.04	1	Level 1	2100	2100	1500	aluminium	single light french pair		Clear glass (privacy decal)	Conference
2.05	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	Archives
2.06	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	none	Server
2.07	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Trade Manager
2.08	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	MSB Room Kick Plate + Push plate with AUTHORIZED PERSONS ONLY sign
2.09	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	PA Office
2.10	1	Level 1	2100	2060	980	aluminium	Deco 2S	910mm clear opening, lockable	Return air grille	PWD Push plate Kick Plate + Push Plate with UNISEX sign + male + female + disabled symbol with Braille
2.13	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Male WC undercut 50mm with lift off hinges signage to AS1428
2.19	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (obscure decal)	GM Office
2.20	1	Level 1	2100	2070	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	GM to PA Office
2.21	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	MWC Push plate with MALE WC sign including braille
2.22	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Male WC undercut 50mm with lift off hinges signage to AS1428
2.23	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Female WC undercut 50mm with lift off hinges signage to AS1428
2.24	1	Level 1	2100	2100	870	aluminium	single light entry	2040x870x40	Viridian Comfortplus Neutral 59	Stairs/trading security swipe access
2.25	1	Level 1	2100	2100	920	aluminium	Deco 2S	2040x920x40	Return air grille	Kitchen
2.26	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Trade Office
2.27	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Operations Manager
2.28	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Accountant
2.29	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	SHEC manager
2.30	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Nat SHEC Manager
2.31	1	Level 1	2100	2100	920	aluminium	single light entry	2040x920x40	Clear glass (safety decal)	Meeting Room
2.32	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	Return air grille	FWC Push plate with FEMALE WC sign including braille signage to AS1428
2.33	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Male WC undercut 50mm with lift off hinges signage to AS1428
2.34	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Female WC undercut 50mm with lift off hinges
2.35	1	Level 1	2100	2070	820	aluminium	flush faced	2040x820x40	none	Female Shower undercut 50mm with lift off hinges
2.36	1	Level 1	2100	2070	720	steel	ply faced	2040x720x40	none	Conference veranda
2.37	1	Level 1	2400	2400	1810	aluminium	Sliding Commercial		Viridian Comfortplus Neutral 59	Conference
2.38	1	Level 1	900	830	480	aluminium	ply faced	800x480x40	none	Data Riser
2.39	1	Level 1	2000	2000	1070	aluminium	battened gate		none	AC Enclosure external latch/lock
2.40	1	Level 1	2000	2000	1070	aluminium	battened gate		none	AC Enclosure external latch/lock
2.41	1	Level 1	2000	2000	1070	aluminium	battened gate		none	AC Enclosure external latch/lock
2.42	1	Level 0	2100	2050	920	aluminium	non-combustible backing+smoke seals	2040x920x40	none	Riser cupboard - size altered R1
2.43	1	Level 0	2100	2070	450	aluminium	non-combustible backing+smoke seals	2040x450x40	none	Cupboard
2.44	1	Level 1	2100	2070	450	aluminium	ply faced	2040x450x40	none	Extra door R1
2.45	1	Level 1	2100	2070	920	aluminium	Deco 2S	2040x920x40	none	FHR sign to code

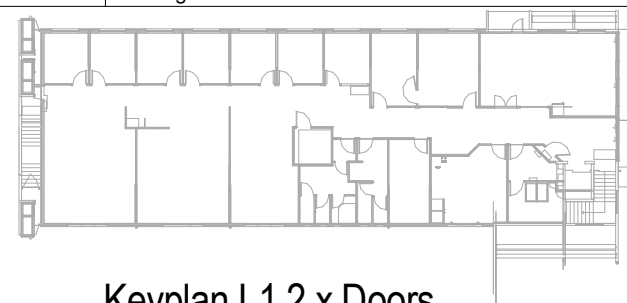
General Notes - DOOR HARDWARE

- 1 Refer to Hardware Door by Door Schedule Prepared by Allegion for all hardware
- 2 Seek clarification for any difference between Door Schedule and hardware Schedule



Keyplan L0 - 1.x Doors

1 : 500



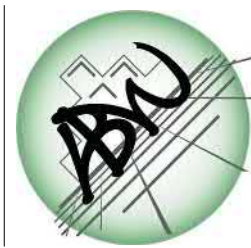
Keyplan L1 2.x Doors

1 : 500

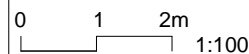
FOR CONSTRUCTION

WD01	01.08.18	ALTER ENTRY DOORS
WD06	14.07.18	ALTER DOOR SCHEDULE
WD05	05.07.18	ALTER GM OFFICE
WD04	06.03.18	ALTER FIRE DOORS
WD03	16.02.18	ALTER DOORS
WD02	18.12.17	MATCH HARDWARE SCHED
Issue	Date	Issue Description

Rev	Date	Revision Description
A	18.12.17	Enlarge server room



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OFFICE BUILDING

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DOOR SCHEDULE


WORKING DRAWINGS

Scale at A3
AS
INDICATED
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211
 Dwg No
1115C1
 Issue
WD01-F
 SHEET 51 OF 53

<p>Sustainability Notes</p> <p>as extracted from QDC MP4.1 - SUSTAINABLE BUILDINGS, & MP4.2 - RAINWATER TANKS ETC Update Feb 2013 - (Builder to obtain latest copies)</p>	<p>Water Supply: In a service area for retail water service under the Water Act 2000, the water supplied to a new Class 1 building does not exceed pressure levels set out in AS/NZ 3550.1:2003 and If the main water pressure exceeds or could exceed 500 Kpa, a water pressure limiting device is installed to ensure that the maximum operating pressure at the outlet within the boundaries of the property does not exceed 500 Kpa.</p>
<p>MP4.1 - Acceptable Solutions for Sustainable Buildings For new Class 1 & 2 buildings, and renovated Class 1 buildings & sole-occupancy Class 2 units.</p> <p>Energy Efficiency P1-Thermal Performance - Class 1 Buildings: P2-Thermal Performance - Class 2 Buildings: <i>Refer Energy Efficiency Assessment by others.</i></p> <p>Energy Efficient Services P3-Lighting - Class 1 Buildings: P4-Lighting - Class 2 Buildings: 80% of total fixed artificial lighting to be energy efficient (including verandahs & balconies). P5-Hot Water Systems - Class 1 Buildings: HWS to comply with Qld Plumbing & Wastewater Code. A water heater in a hot water supply system can be an electrical resistance heater or any other type of heater. HWS to be located as close as practicable to common bathroom (most frequently used). P6-Shower Roses: Shower Roses to be minimum 3 star rated under the Water Efficiency Labelling Standards (WELS). P7-Toilets: Toilet cisterns to have dual flush function and minimum 4 star rated under the Water Efficiency Labelling Standards (WELS), and be compatible size for toilet bowl. P8-Tapware: Tapware for laundry tubs, kitchen sinks and basins, to be minimum 3 star rated under the Water Efficiency Labelling Standards (WELS).</p> <p>Electricity Sub-metering - (Class 2 Buildings only) P9/10/11-Meterable & Installation: Each premises to have individual electricity sub-meter. Sub-meters to be in common area, easily accessible for reading or maintenance. Sub-meters to be labelled as per premises.</p> <p>End of Trip Facilities - (Class 5, 6, 7 or 8 Buildings only) Refer separate summary details.</p>	<p>MP4.2 - Acceptable Solutions for Rainwater Tanks etc For installation of any tank.</p> <p>P6-Rainwater Tanks: Tank to be provided with 1mm screen mesh, or flap valve; a vermin trap; screening for any wet supply system. (all as per MP4.2). P7-Tanks Contaminants: If tank connected to potable use fittings, provide diverter for first 20 litres min of roof catchment prior to entering tank. Screened downpipe rainhead for all that connect to tank(s). Screen mesh 4-6mm and designed to shed leaves. P8-Backflow: A suitable backflow device must be installed to protect potable water within the reticulated supply in accordance with AS/NZS 3500:2003 Plumbing and Drainage. P9-Materials: Materials as per A9 of code - refer manufacturer. P10-Signage: Signage as per A10 of code - refer manufacturer. P11-Support Structure: Tank stand or other supporting structure must comply with AS/NZS1170.1:2002 permanent, imposed and other actions and AS/NZS1170.2:2002 wind actions. P12-Openings: Openings sealed or positioned as per A12 of code - refer manufacturer. P13-Overflow: Overflow into legal point of discharge, as defined by local authority, via air break or non-return valve.</p> <p>MP4.2 - Acceptable Solutions for Rainwater Tanks etc For installation of a tank, only if mandatory by Local Authority, Class 1 only.</p> <p>P1-Tank Required: Tank to be provided in addition to reticulated water supply, or greywater treatment plant, or supplementary water supply system. P2-Tank Installation & Size: Min tank size: 5000 litres, for detached Class 1 building. 3000 litres for other Class 1 building. Min roof catchment: 50% total roof area or 100sqm, whichever is lesser. Tank connected to building's toilet cisterns & washing machine cold tap, and an external fixture. P3-Continuous Supply: If tank supplies water to internal fixture, automatic switching device to provide potable water from reticulated water supply. P4&P5-Greywater: If Greywater treatment plant is installed, refer A4&A5 of code for full details.</p>

FOR CONSTRUCTION

<p>AA0 00.00.12 ISSUE 01</p> <p>Issue Date Issue Description</p>	<p>Rev Date Revision Description</p>	 <p>ARCHITECTS BLACK & WILSON Pty. Ltd. A.B.N. 28 069 941 868 PH: (07) 3300 6610 8 DESBET STREET, THE GAP, 4061 www.architectsblackandwilson.com.au</p>	<p>OFFICE BUILDING</p> <p>at 120 FLOOD PLAINS ROAD BRISBANE</p> <p>for MANAGEMENT + CO</p>	<p>SUSTAINABILITY NOTES</p> <p>WORKING DRAWINGS</p>	<p>Scale at A3 1 : 1</p> <p>Designed MDW</p> <p>Drawn MDW</p> <p>Checked MDW</p>	<p>Job No #80211</p> <p>Dwg No 11INT1</p> <p>Issue WDO1</p> <p>SHEET 52 OF 53</p>
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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

source: BDAQ Mar 2012

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

Safety Report in compliance with Work Health and Safety Act 2011

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*.

All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

FOR CONSTRUCTION



OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

SAFETY IN DESIGN NOTES

WORKING DRAWINGS

Scale at A3
1 : 1
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211
Dwg No
7819DI
Issue
WDO1
SHEET 53 OF 53

No	#	of	Sheet Name	Issue	Rev	Σ
900	1	17	Project Specific	WD15-A		1
920CP1	2	17	Conference Plan L1	WD11-H		1
921CE1	3	17	Conference Elevation	WD09-G		1
925PD1	4	17	Conference Axonometric L1	WD05-C		1
930KP1	5	17	Kitchen Plan	WD10-G		1
931KE1	6	17	Kitchen Elevations	WD07-E		1
935PD1	7	17	Kitchen Axonometric	WD05-C		1
940WP1	8	17	Wet Amenities Plan L1	WD08-H		1
941WE1	9	17	Wet Elevations L1 - W1,W2,W5,W6,W8	WD07-E		1
942WE1	10	17	Wet Elevations L1 - W3,W9,W7,W4	WD08-E		1
945PD1	11	17	Wet Amenities Axonometric L1	WD05-D		1
950WP1	12	17	Wet Amenities Plan L0	WD09-I		1
951WE1	13	17	Wet Elevations L0 - W11,W12,W13,W14,W16,W17,W15	WD09-G		1
955PD1	14	17	Wet Amenities Axonometric L0	WD06-E		1
960PD1	15	17	Entry Reception Area	WD10-G		1
961PE1	16	17	Entry shelving	WD03-B		1
970JD1	17	17	Joinery Details	WD01-A		1
Grand total						17

FOR CONSTRUCTION

WD10	05.04.18	UPDATE COVER
WD09	22.03.18	UPDATE COVER
WD16	19.10.18	AS BUILTS
WD15	19.07.18	UPDATE COVER
WD14	08.05.18	UPDATE COVER
WD13	01.05.18	UPDATE COVER
WD12	01.05.18	UPDATE COVER
WD11	18.04.18	UPDATE COVER
Issue	Date	Issue Description

Rev	Date	Revision Description



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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
BRISBANE

for MANAGEMENT + CO

PROJECT SPECIFIC

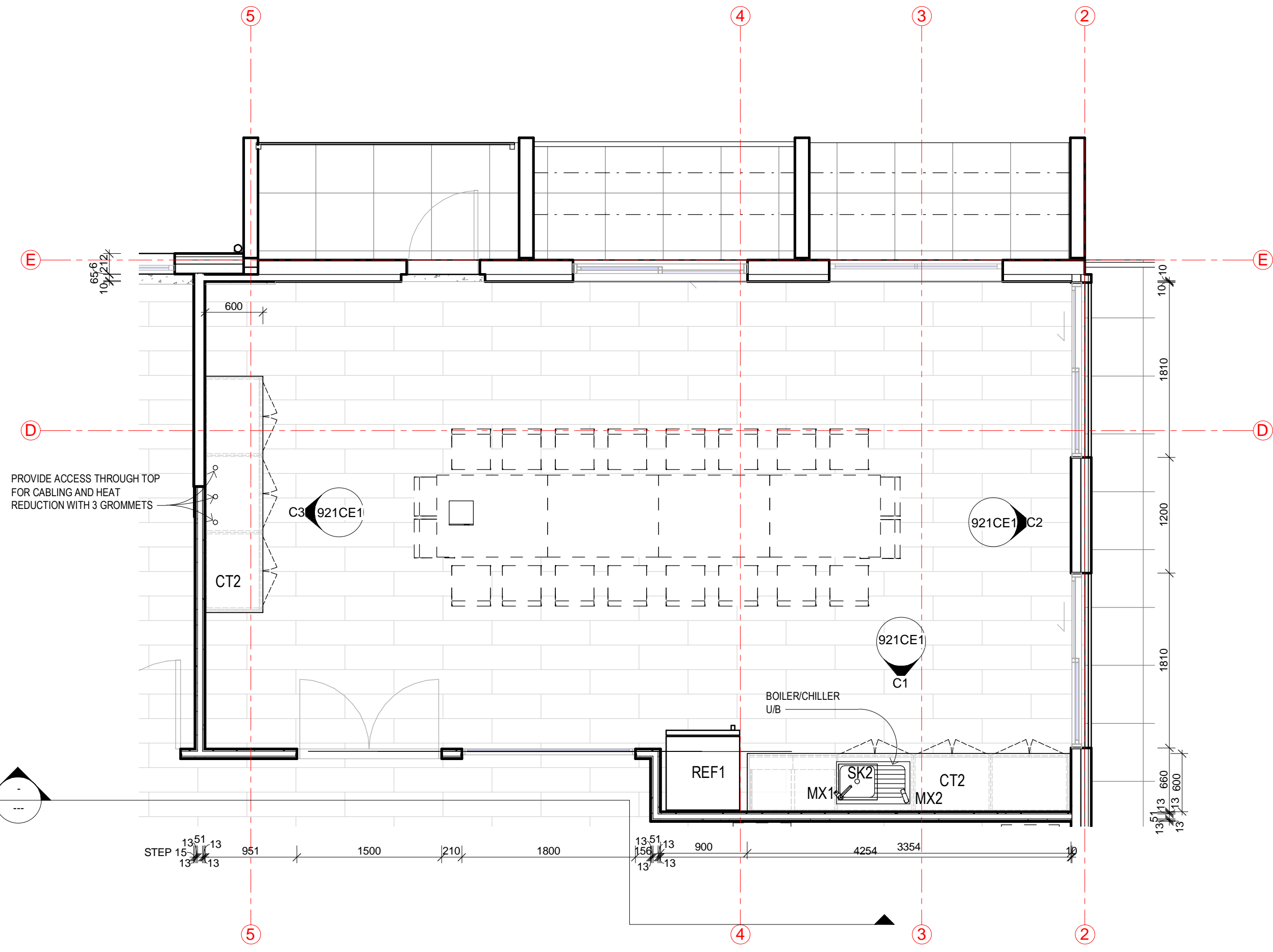
WORKING DRAWINGS

Job No
#80211

Dwg No
900

Issue
WD15-A

SHEET 1 OF 17

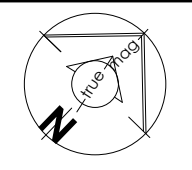


LEGEND A (JOINERY)	
BENCHTOP:	CT1 = 20MM 'ESSASTONE ELEMENTAL' 'ZINC' - (4mm RADIUS PENCIL ROUND) CT2 = 20MM 'SMARTSTONE' 'CARRARA' - (4mm RADIUS PENCIL ROUND) CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH CT4 = 20MM 'ESSASTONE ELEMENTAL' 'NICKEL' - (4mm RADIUS PENCIL ROUND)
WALL:	F1 = SELECTED WALL COLOUR
DOOR/	F2 = LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
DRAWER:	F3 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
FRONTS:	F4 = CEILING COLOUR
KICKER:	K1 = KICKER TO MATCH CABINETS F2 K2 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL K3 = SELECTED BLACK FINISH
SPLASH:	S1= TMW 2871
BACK HANDLES:	H1= REVERSE BEVEL PROFILE H2= to be selected H3= provide extra over for PUSH TO OPEN TOUCH CATCHES H4= bottom overhang
HINGES:	P1 = SOFT CLOSE
DRAWER BOXES:	D1 = SOFT CLOSE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD10	20.07.18	ADD GROMMETS			
WD09	20.07.18	ALTER CT2			
WD08	16.07.18	ADD EXTRA CABINET			
WD07	03.05.18	ALTER CT1			
WD06	02.05.18	CLARIFY FINISHES + DIMS			
WD05	01.05.18	ALTER FINISHES			
WD04	18.04.18	ALTER FINISHES			
WD03	13.10.18	AS BUILT			

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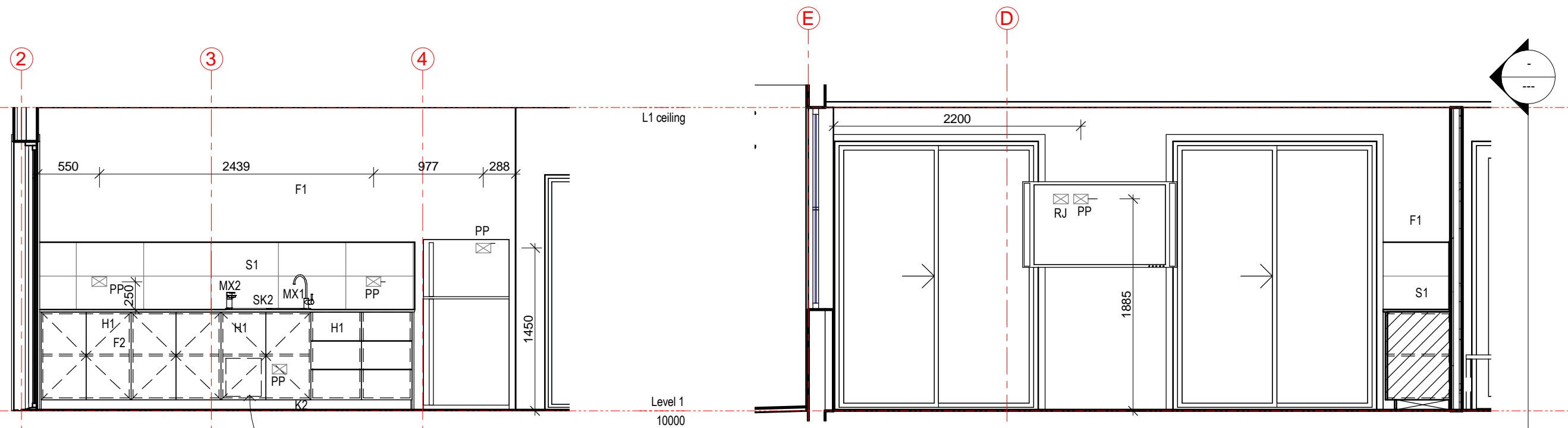
OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

CONFERENCE PLAN LI

Scale at A3 AS INDICATED
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #80211
 Dwg No 920CP1
 Issue WD11-H

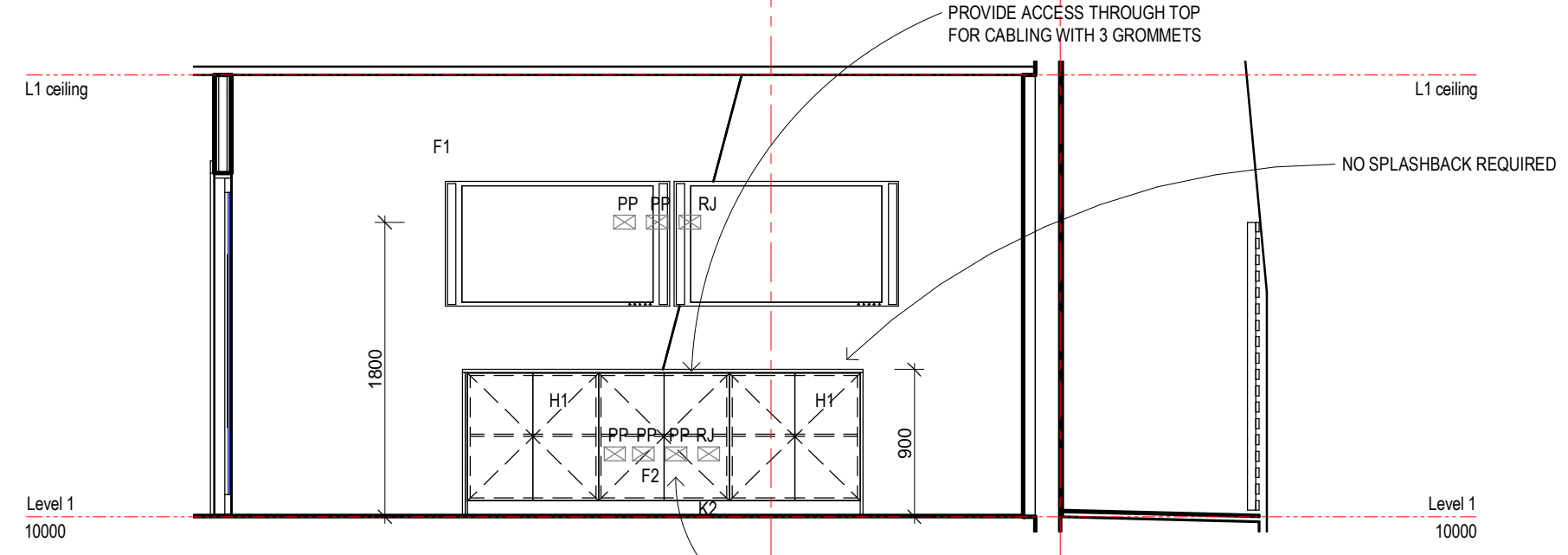
SHEET 2 OF 17



C1
920CP1
Conference Elevation C1
1:40

MAKE SPACE FOR WATER
BOLER/CHILLER UNIT UNDER
SINK PROVIDE WATER AND
POWER

C2
104SP1
Conference Elevation C2
1:40



C3
104SP1
Conference Elevation C3
1:40

NO SHELF REQUIRED TO MIDDLE
CUPBOARD

FOR CONSTRUCTION

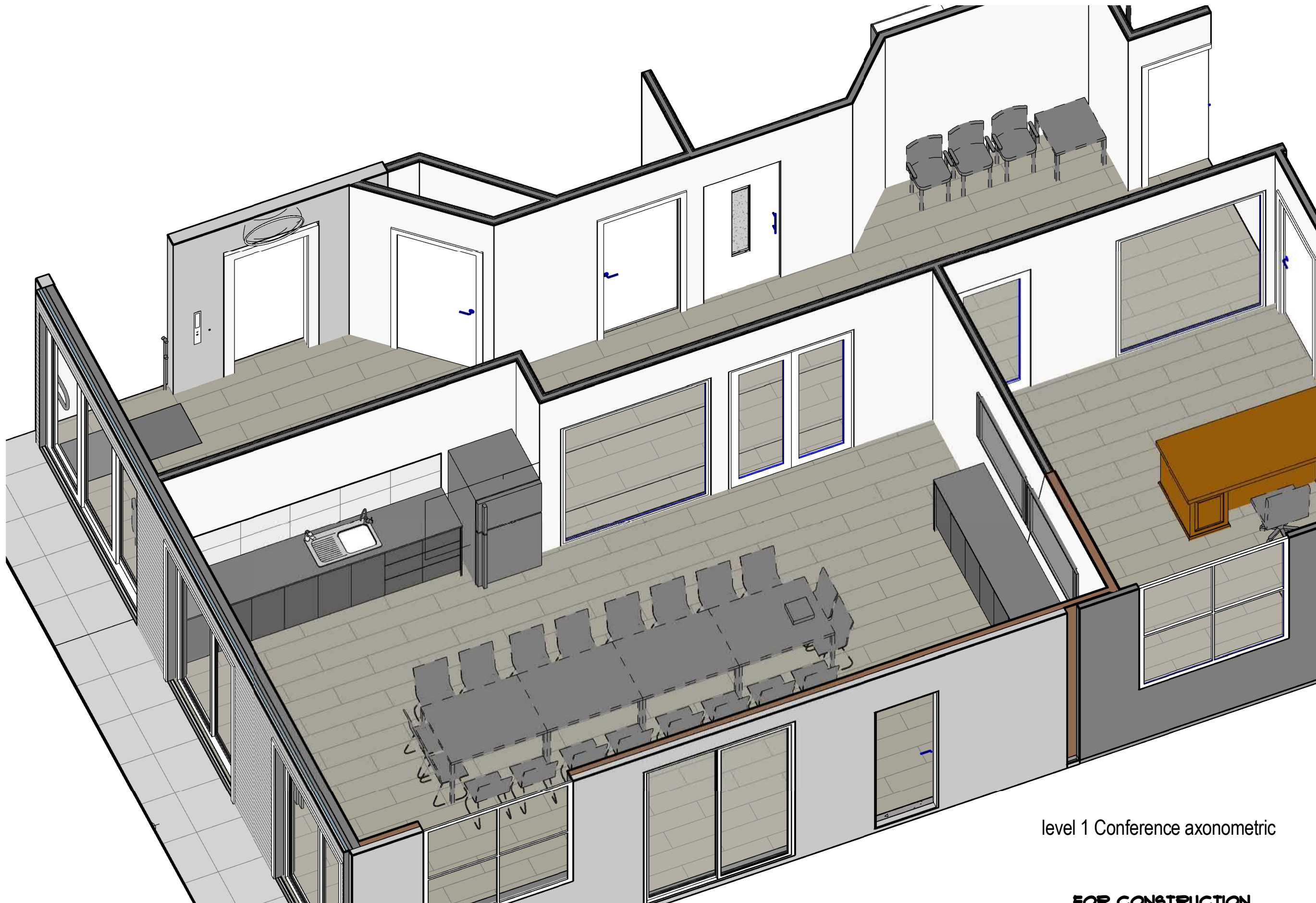
Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	30.08.18	DELETE SPLASHBACK			
WD08	20.08.18	ADD BOLER			
WD01	16.07.18	ADD EXTRA CABINET			
WD06	23.05.18	ADD PP DIMS			
WD05	01.05.18	ALTER FINISHES			
WD04	18.04.18	ALTER FINISHES			
WD03	20.03.18	ALTER FIXTURES+FITTINGS			

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OFFICE BUILDING
at 120 FLOOD PLAINS ROAD
BRISBANE
for MANAGEMENT + CO

CONFERENCE ELEVATION
Scale at A3
1:40
Designed MDW
Drawn MDW
Checked MDW
WORKING DRAWINGS

Job No
#80211
Dwg No
921CEI
Issue
WD09-G
SHEET 3 OF 17



level 1 Conference axonometric

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD05	20.08.18	ADD BOILER+CABINETS			
WD04	18.04.18	ADD RETURN SPLASH			
WD03	22.03.18	ALTER FIXTURES+FITTINGS			

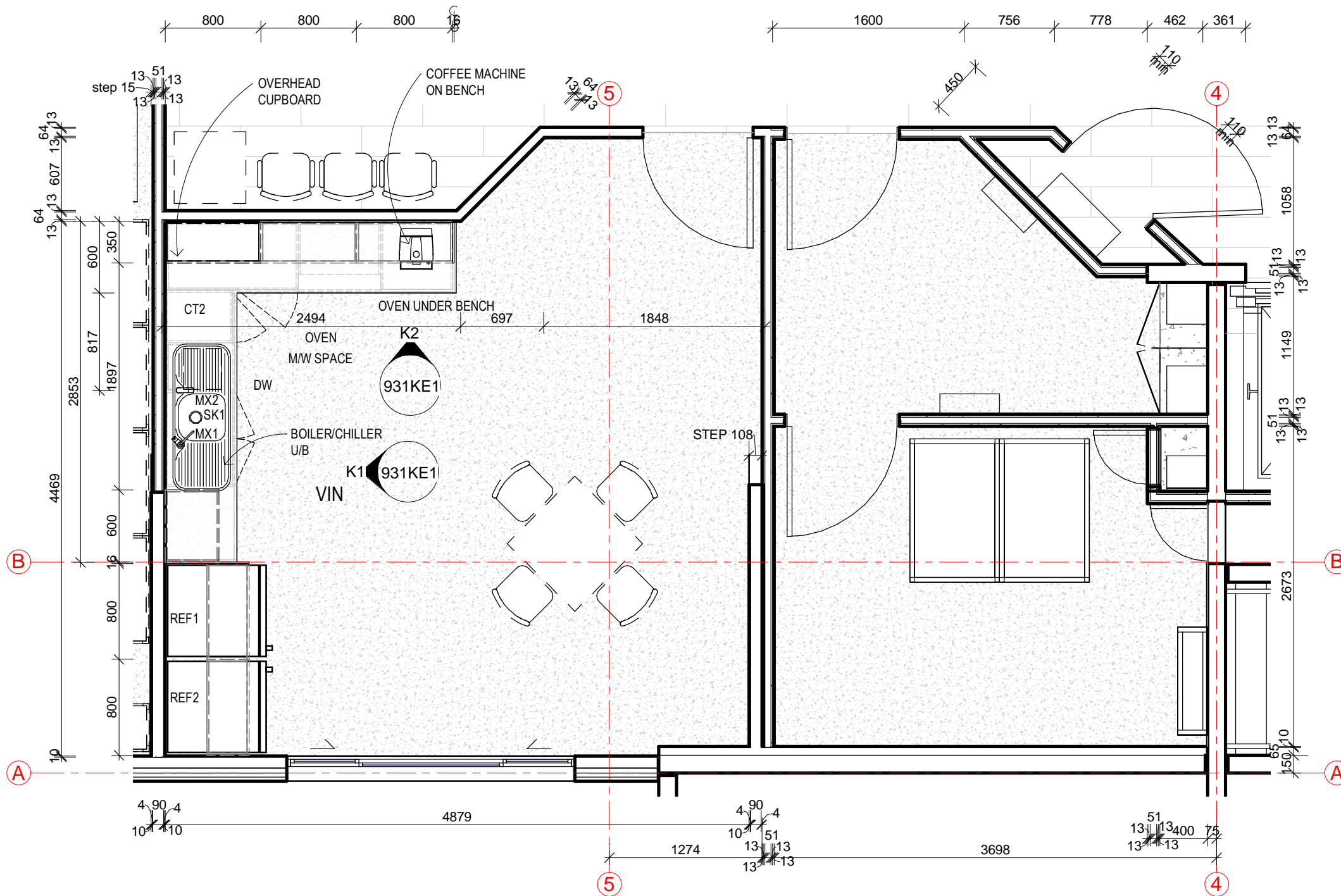


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OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
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CONFERENCE AXONOMETRIC LI
 WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW
 Job No #80211
 Dwg No 925PDI
 Issue WD05-C
 SHEET 4 OF 17



LEGENDA (JOINERY)

BENCHTOP: CT1 = 20MM 'ESSASTONE ELEMENTAL' "ZINC" - (4mm RADIUS PENCIL ROUND)
 CT2 = 20MM 'SMARTSTONE' "CARRARA - (4mm RADIUS PENCIL ROUND)
 CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
 CT4 = 20MM 'ESSASTONE ELEMENTAL' "NICKEL" - (4mm RADIUS PENCIL ROUND)

WALL F1 = SELECTED WALL COLOUR
 DOOR/ F2 = LAMINEX "CONCRETE FORMWOOD"
 DRAWER: RIVEN FINISH
 FRONTS F3 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
 F4 = CEILING COLOUR

KICKER: K1 = KICKER TO MATCH CABINETS F2
 K2 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
 K3 = SELECTED BLACK FINISH

SPLASH: S1= TMW 2871

BACK HANDLES: H1= REVERSE BEVEL PROFILE
 H2= to be selected
 H3= provide extra over for PUSH TO OPEN TOUCH CATCHES
 H4= bottom overhang

HINGES: P1 = SOFT CLOSE
 DRAWER D1 = SOFT CLOSE
 BOXES:

FITTINGS (KITCHEN)

SINK SK1: 'CLARK' "ADVANCE" single centre bowl with tap to LHS
 TAP MX1: 'CAROMA' "FLARE" sink mixer CHROME
 HW TAP MX2: 'BILLI' lever
 SINK SK2: 'STYLUS' R110 single bowl
 TAP MX1: 'CAROMA' "FLARE" sink mixer
 MAIN OV1: to be selected
 OVEN OV2: MICROWAVE BY OWNER leave space
 OTHER OV2: MICROWAVE BY OWNER leave space

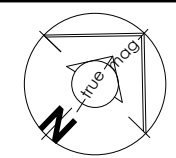
HOT PLATE CT1: NA
 RANGE RH1 N/A
 HOOD :
 DISH WASH DW1: dishwasher supplied by owner
 FRIDGE REF1: supplied by owner
 PARTICLEBOARD TO BE WATERPROOF

JOINERY KITCHEN
1:40

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD10	19.10.18	AS BUILTS			
WD09	20.07.18	ALTER CT2			
WD08	26.06.18	ALTER FHR LI			
WD07	03.05.18	ALTER CT1			
WD06	02.05.18	CLARIFY FINISHES + DIMS			
WD05	01.05.18	ALTER FINISHES			
WD04	18.04.18	ALTER FINISHES			
WD03	20.03.18	ALTER FIXTURES+FITTINGS			

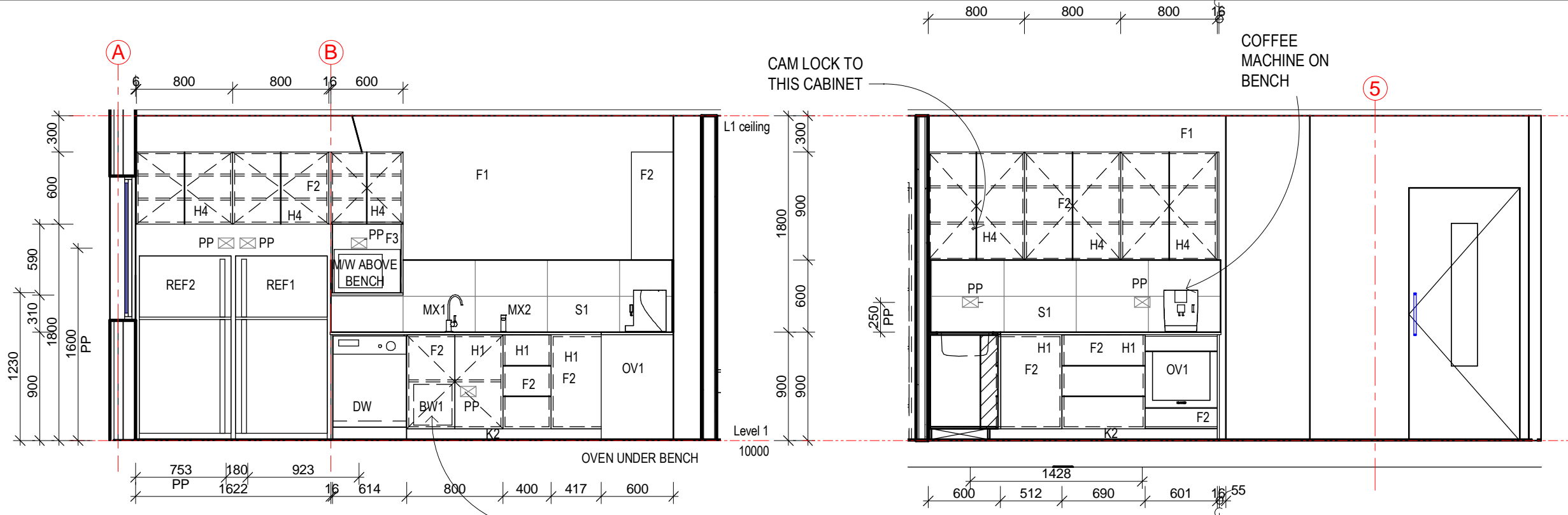
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OFFICE BUILDING
 at 120 FLOOD PLAINS ROAD
 BRISBANE
 for MANAGEMENT + CO

KITCHEN PLAN
 WORKING DRAWINGS

Scale at A3 AS INDICATED	Job No #80211
Designed MDW	Dwg No 930KPI
Drawn MDW	Issue WDI0-G
Checked MDW	SHEET 5 OF 17



K1 Kitchen Elevation 1
930KP1 1:40

MAKE SPACE FOR WATER
BOILER/CHILLER UNIT UNDER
SINK PROVIDE WATER AND
POWER

K2 Kitchen Elevation 2
930KP1 1:40

Issue	Date	Issue Description	Rev	Date	Revision Description
WD01	20.08.18	ADD BOILER			
WD06	23.05.18	ADD PP DIMS			
WD05	01.05.18	ALTER FINISHES			
WD04	18.04.18	ALTER FINISHES			
WD03	20.03.18	ALTER FIXTURES+FITTINGS			

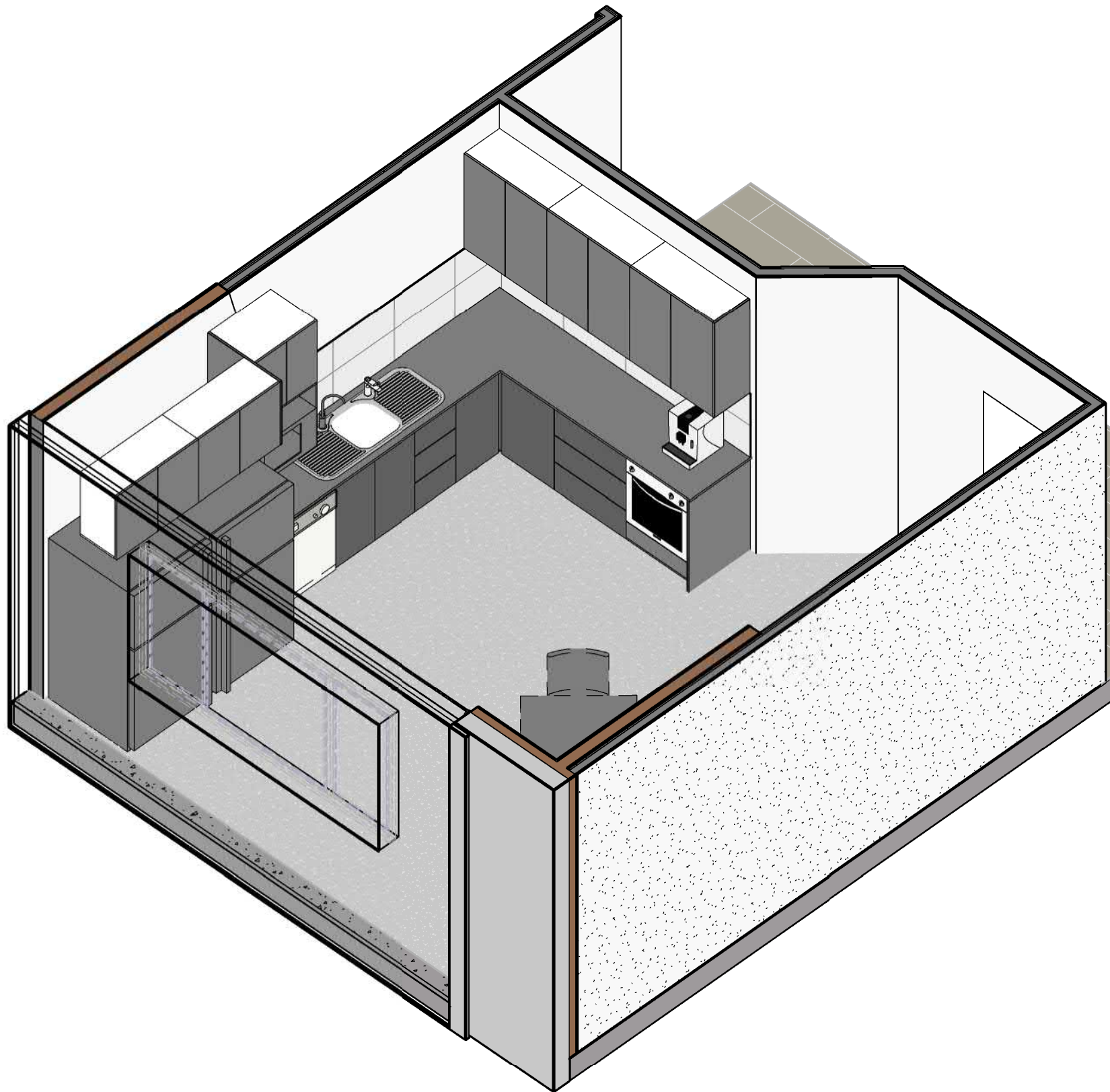
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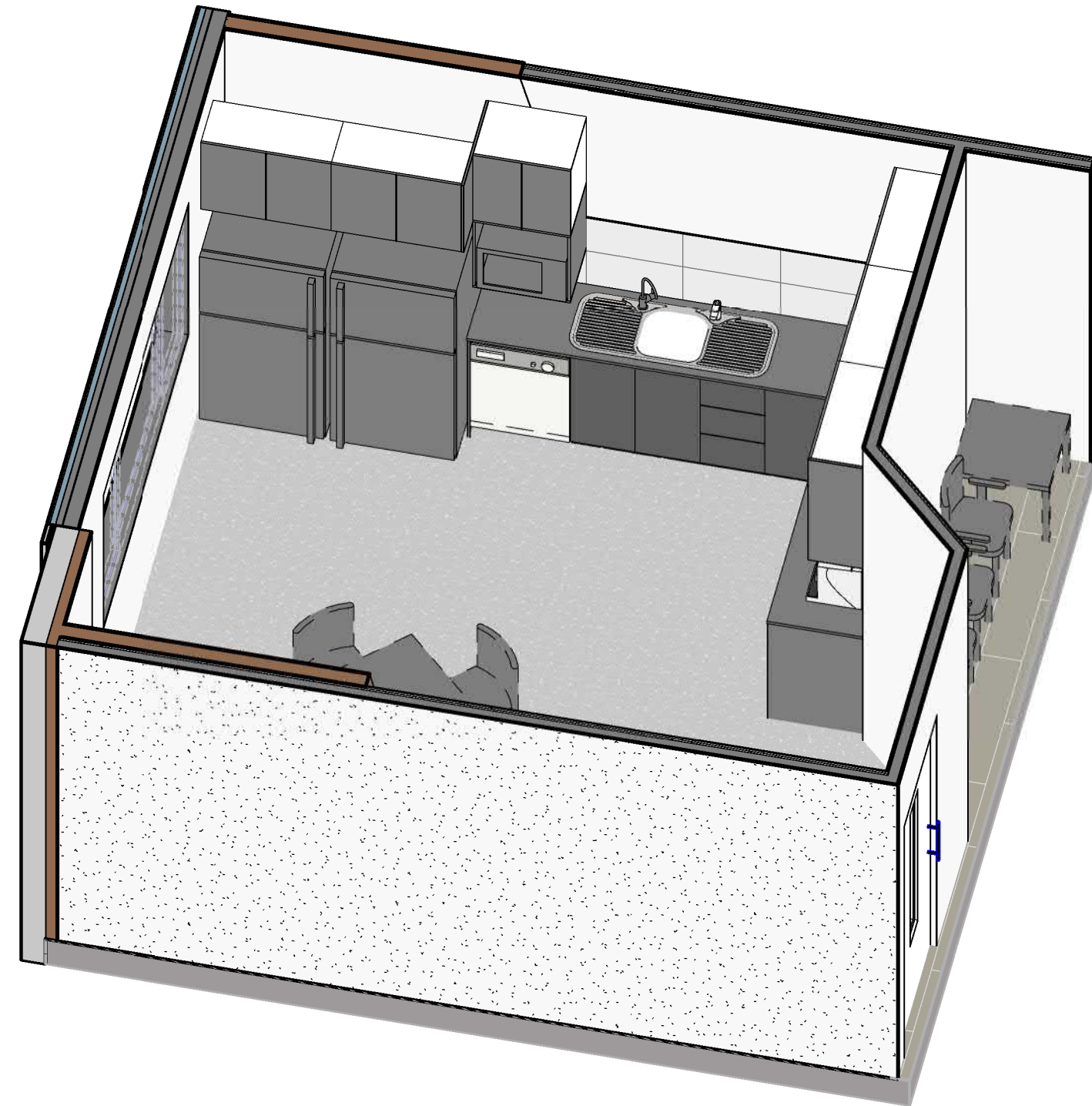
FOR CONSTRUCTION
KITCHEN ELEVATIONS
WORKING DRAWINGS

Scale at A3
1 : 40
Designed
MDW
Drawn
MDW
Checked
MDW

Job No
#80211
Dwg No
931KE1
Issue
WD01-E
SHEET 6 OF 17



Level 1 Kitchen axonometric SE



Level 1 Kitchen axonometric NW

FOR CONSTRUCTION

WD05 20.02.18 ADD BOILER
 WD04 18.04.18 ALTER HANDLES
 WD03 20.03.18 ALTER FIXTURES+FITTINGS

Issue	Date	Issue Description	Rev	Date	Revision Description



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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
 BRISBANE

for MANAGEMENT + CO

KITCHEN AXONOMETRIC

WORKING DRAWINGS

Scale at A3

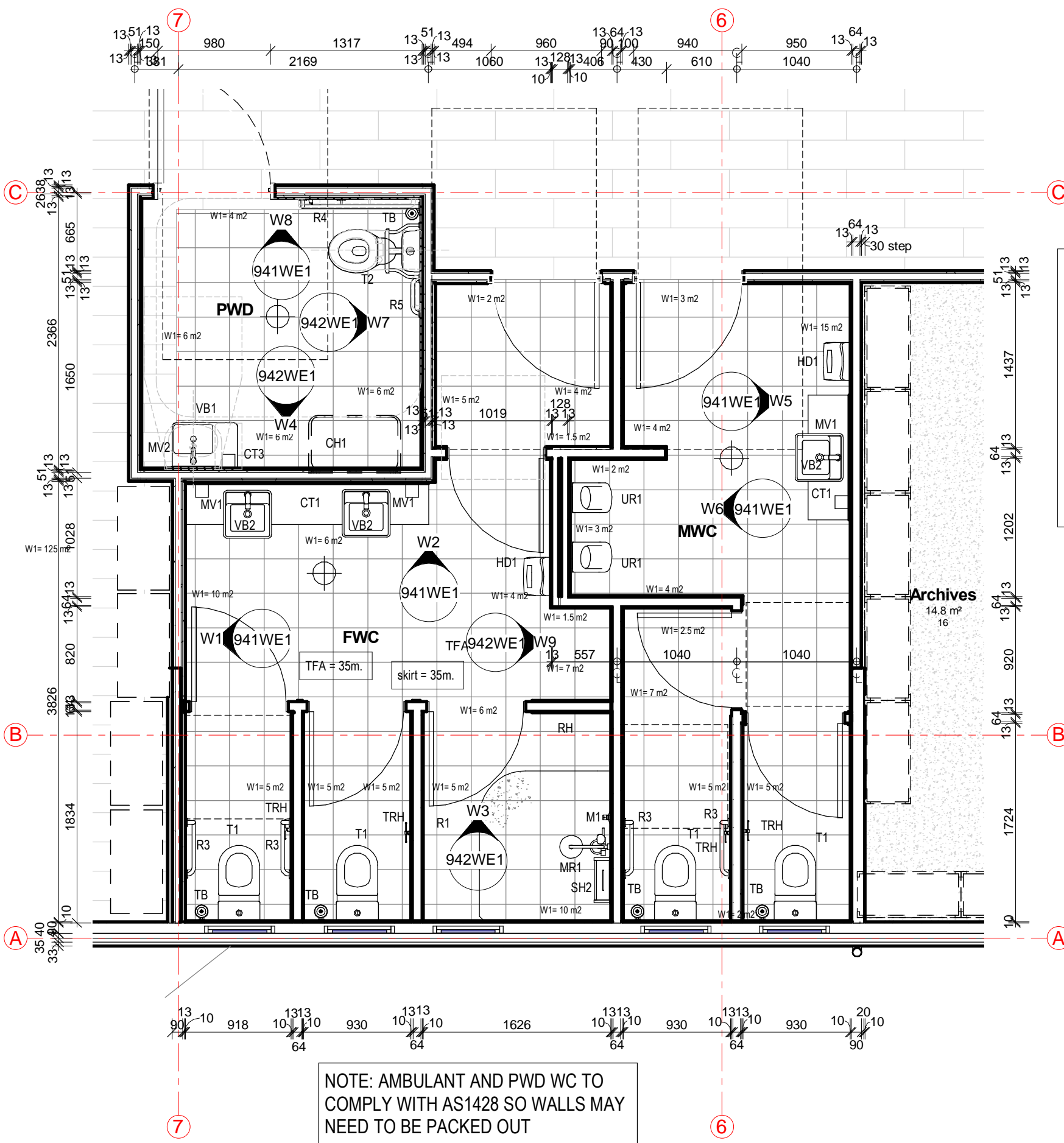
Designed MDW
 Drawn MDW
 Checked MDW

Job No #80211

Dwg No 935PDI

Issue WD05-C

SHEET 1 OF 17



NOTE: AMBULANT AND PWD WC TO COMPLY WITH AS1428 SO WALLS MAY NEED TO BE PACKED OUT

- FINISHES (WET ROOMS)**
- BENCHTOP CT1 = 20MM 'ESSASTONE ELEMENTAL' "ZINC" - (4mm RADIUS PENCIL ROUND)
 - CT2 = 20MM 'SMARTSTONE' "CARRARA - (4mm RADIUS PENCIL ROUND)
 - CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
 - CT4 = 20MM 'ESSASTONE ELEMENTAL' "NICKEL" - (4mm RADIUS PENCIL ROUND)
 - SHOWER SCREENS: G1 = SEMI-FRAMELESS CHROME - CLEAR GLASS
 - WALL BODY TILES W1 = TMW2871 600Wx300H WALL TILE - from Tile Mob - WHITE GROUT
 - SKIRTING W4 = TMX1667 200WX100H COVE
 - FLOOR TILES TFA = TMF3071 300x300 - DARK GREY GROUT - from Tile Mob
 - FLOOR WASTE P1 = SELECTED SQUARE - STAINLESS STEEL
 - MIRROR MIR = 1200 HIGH FULLY SEALED IN FRAME

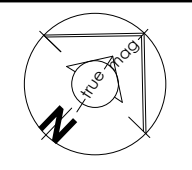
- FITTINGS (WET ROOMS)**
- SHOWER ROSES M1 = 'DORF' "KIP" SHOWER MIXER - CHROME
 - M2 =
 - SHOWER RAILS MR1 = 'URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME
 - MR2 = VITRU PLUS STARSAFE II ACCESSABLE SHOWER SET
 - VANITY BASIN VB1 = 'CAROMA' "CUBE" LEFT HAND SHELF WALL BASIN - with chrome bottle trap
 - VB2 = 'CAROMA' "CARBONI ii" SEMI RECESSED BASIN - WHITE
 - VB3 = 'CAROMA' "LIANO" WALL BASIN - WHITE
 - VANITY BASIN MIXER MV1 = 'CAROMA' "FLARE" sink mixer - CHROME
 - TAPWARE MV2 = 'DORF' "KIP" CARE BASIN MIXER - CHROME
 - TOILET T1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP
 - T2 = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
 - URINAL UR1 = 'CAROMA' "CUBE" 0.8L ELECTRONOC URINAL SERIES ii FIT OUT KIT
 - TOWEL RAILS R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome
 - GRAB RAILS R2 = VIRTU COMFORT GRAB RAIL 870X700mm 90°
 - R3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM
 - R4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL
 - R5 = VIRTU COMFORT GRAB RAIL 300mm
 - R6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL
 - R7 = VIRTU COMFORT GRAB 800mm
 - ROBE HOOKS RH = NAPOLEON ROBE HOOK - chrome
 - TOILET ROLL HOLDER TRH = NAPOLEON TOILET ROLL HOLDER - chrome
 - TOILET BRUSH TB = CAROMA COSMO TOILET BRUSH + HOLDER
 - HAND DRYER HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
 - SOAP DISPENSER SD = SOAP DISPENSER BY OWNER
 - LAUNDRY TUB LT1 = CLARK SINGLE 70 LITRE FLUSHLINE TUB WITH BYPASS KIT
 - TUB TAP ML1 = 'DORF' "VIRIDIAN SINK MIXER" - CHROME
 - TAP W.M. WT1 = 'CAROMA' "TASMAN ii" WASHING MACHINE SET
 - WASHING MACHINE WM1 = CLIENTS OWN
 - DRYER DR1 = CLIENTS OWN
 - DISH WASH DW2 = dishwasher supplied by owner
 - NOTES ALL PARTICLEBOARD TO BE WATERPROOF

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD08	19.10.18	AS BUILTS			
WD07	20.08.18	ADD DOOR TO FWC			
WD06	03.05.18	ALTER CT1			
WD05	01.05.18	ALTER FINISHES			
WD04	18.04.18	ALTER FINISHES			
WD03	20.03.18	ALTER FIXTURES+FITTINGS			
WD02	07.02.18	+ AMBULANT TO AS1428			
WD01	07.02.18	+ AMBULANT TO AS1428			

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WET AMENITIES PLAN LI

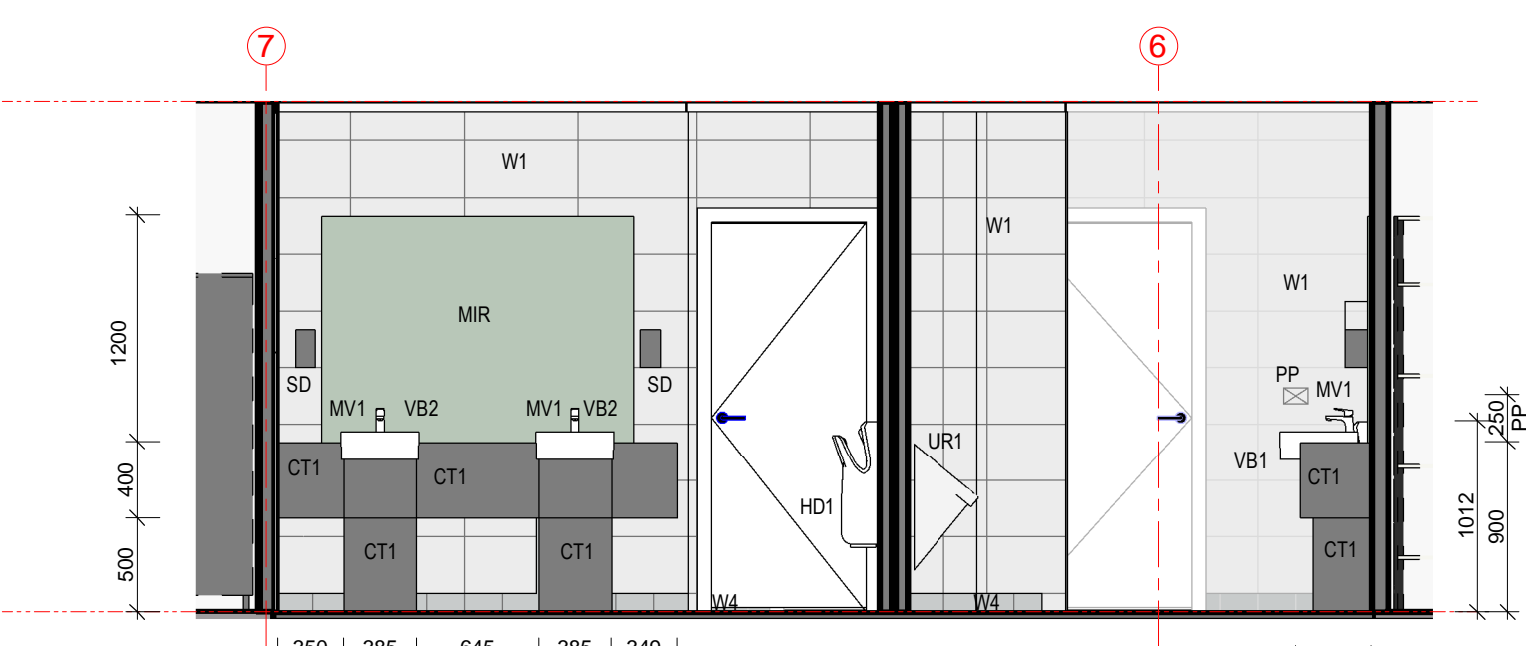
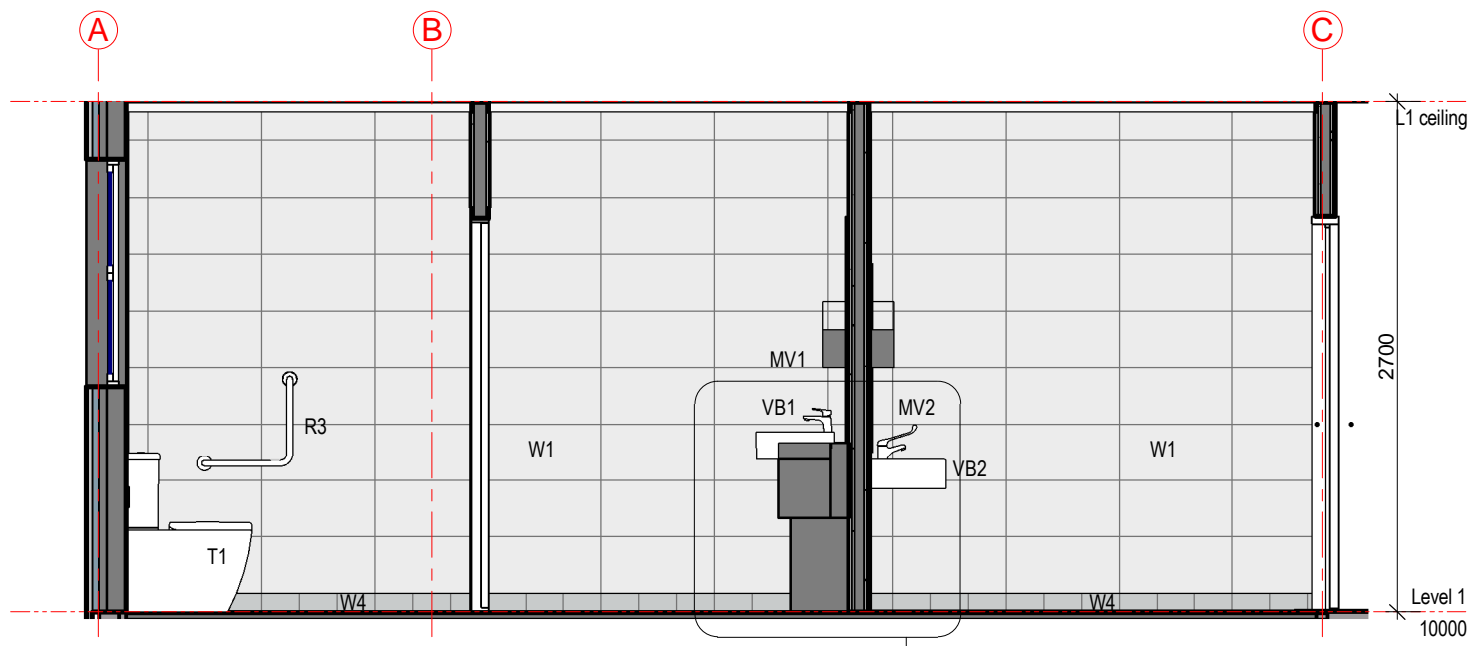
Scale at A3 AS INDICATED

Designed MDW
Drawn MDW
Checked MDW

Job No #80211
Dwg No 940WPI
Issue WD08-H

WORKING DRAWINGS

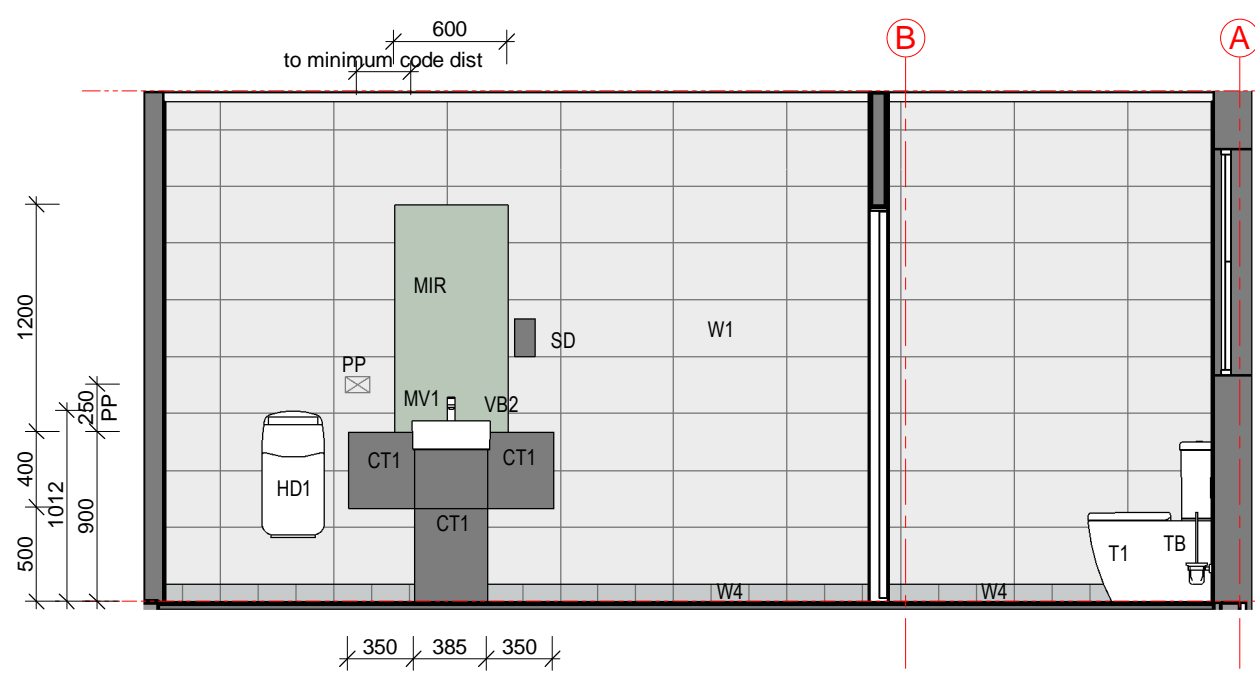
SHEET 8 OF 17



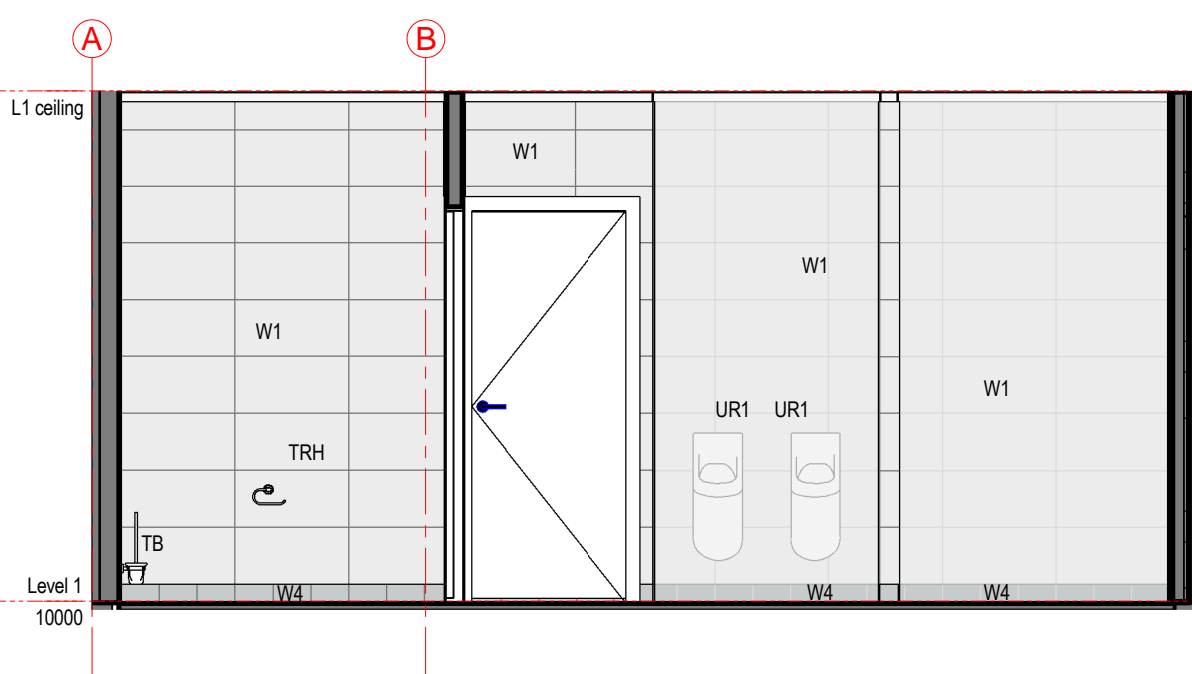
W1 Wet Area Elevation W1
940WP1 1:40

JD1
970JD1

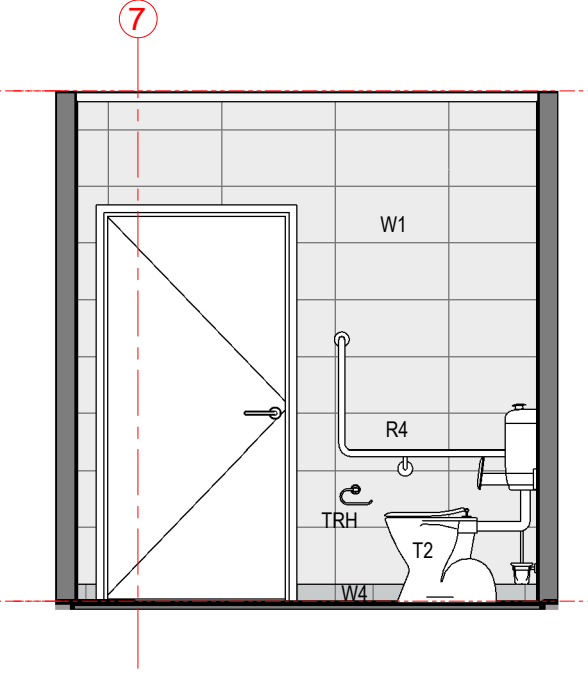
W2 Wet Area Elevation W2
940WP1 1:40



W5 Wet Area Elevation W5
940WP1 1:40



W6 Wet Area Elevation W6
940WP1 1:40



W8 Wet Area Elevation W8
940WP1 1:40

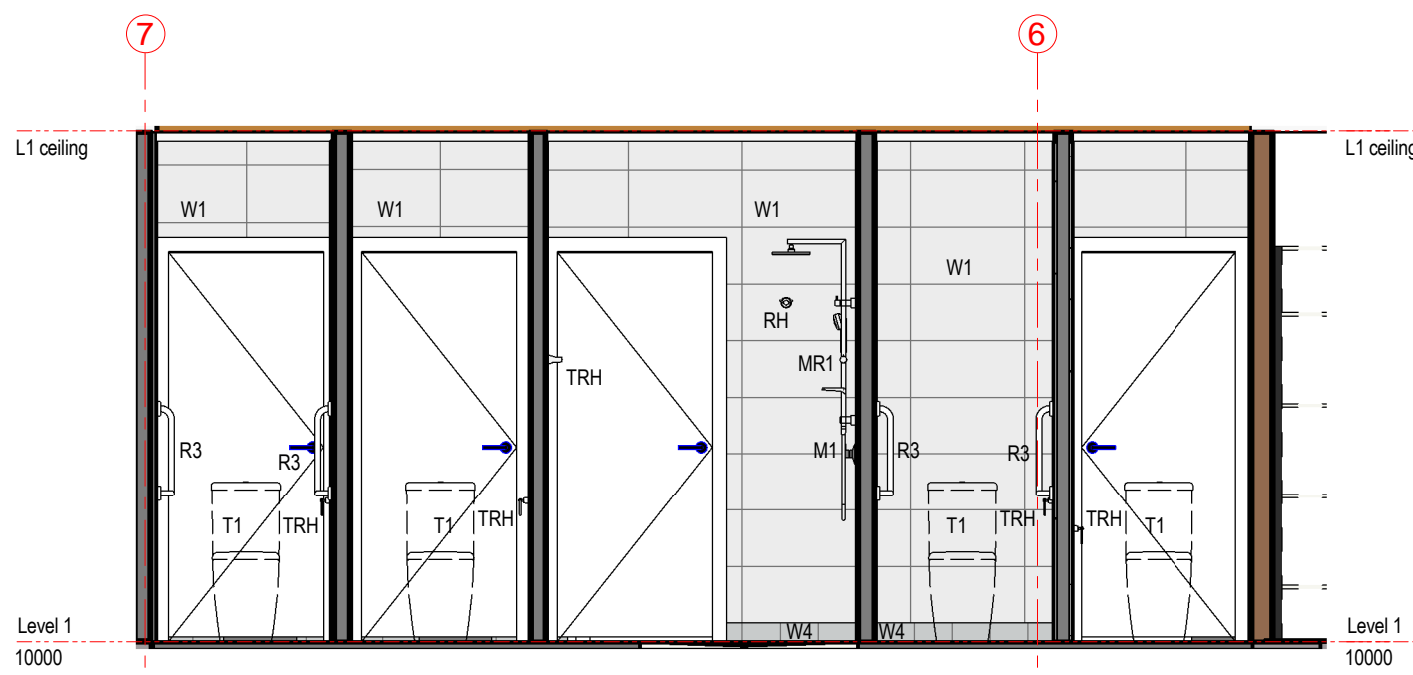
Issue	Date	Issue Description	Rev	Date	Revision Description
WD06	30.05.18	ADD PP DIMS			
WD06	29.05.18	ADD PP TO WC			
WD05	01.05.18	ADD MIRRORS			
WD04	18.04.18	ALTER FINISHES			
WD03	22.03.18	ALTER FIXTURES+FITTINGS			
WD02	07.02.18	+ AMBULANT TO A5142B			

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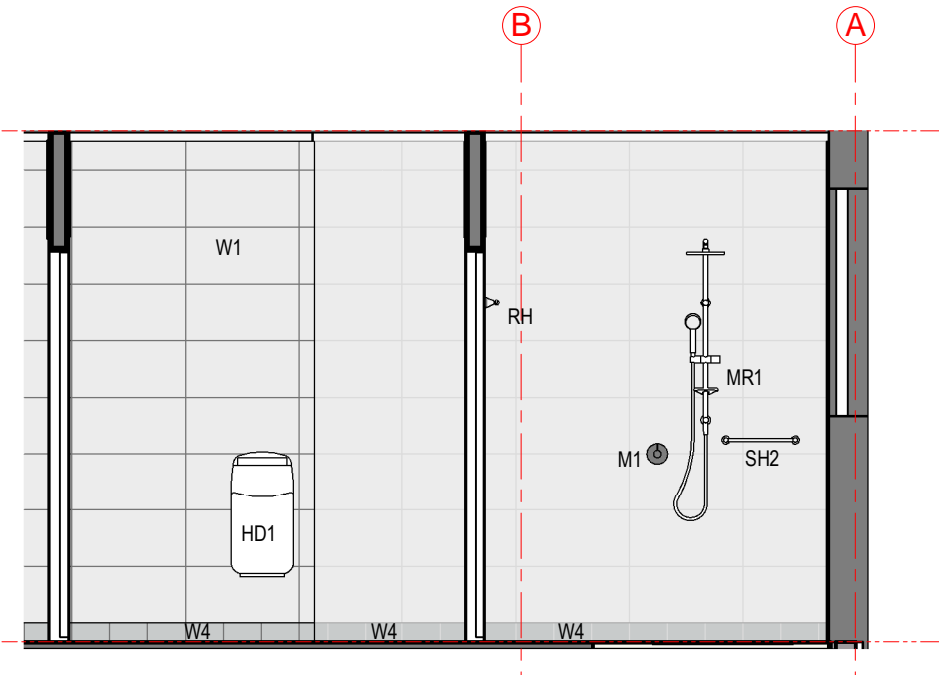
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BRISBANE
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FOR CONSTRUCTION
WET ELEVATIONS LI - W1,W2,W5,W6,W8
WORKING DRAWINGS

Scale at A3
1 : 40
Designed MDW
Drawn MDW
Checked MDW
Job No #80211
Dwg No 941WEI
Issue W001-E
SHEET 9 OF 17



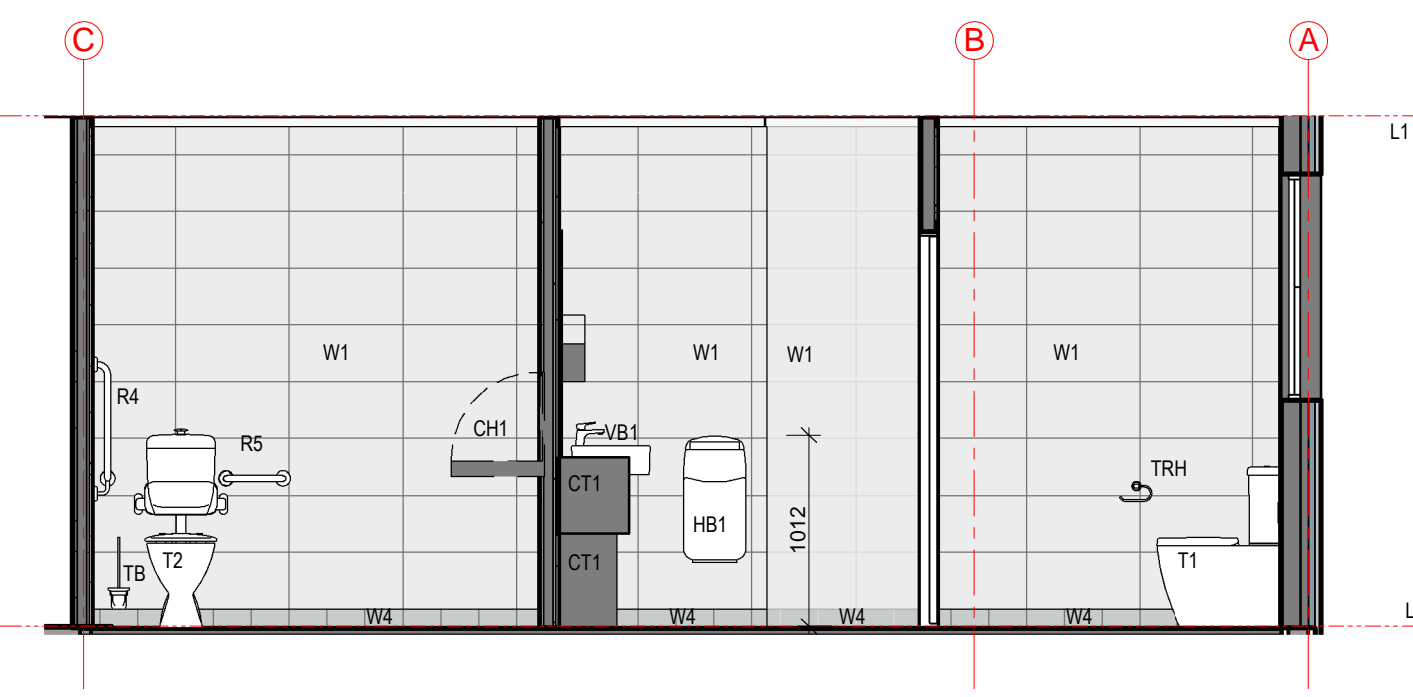
W3 Wet Area Elevation W3
940WP1 1:40



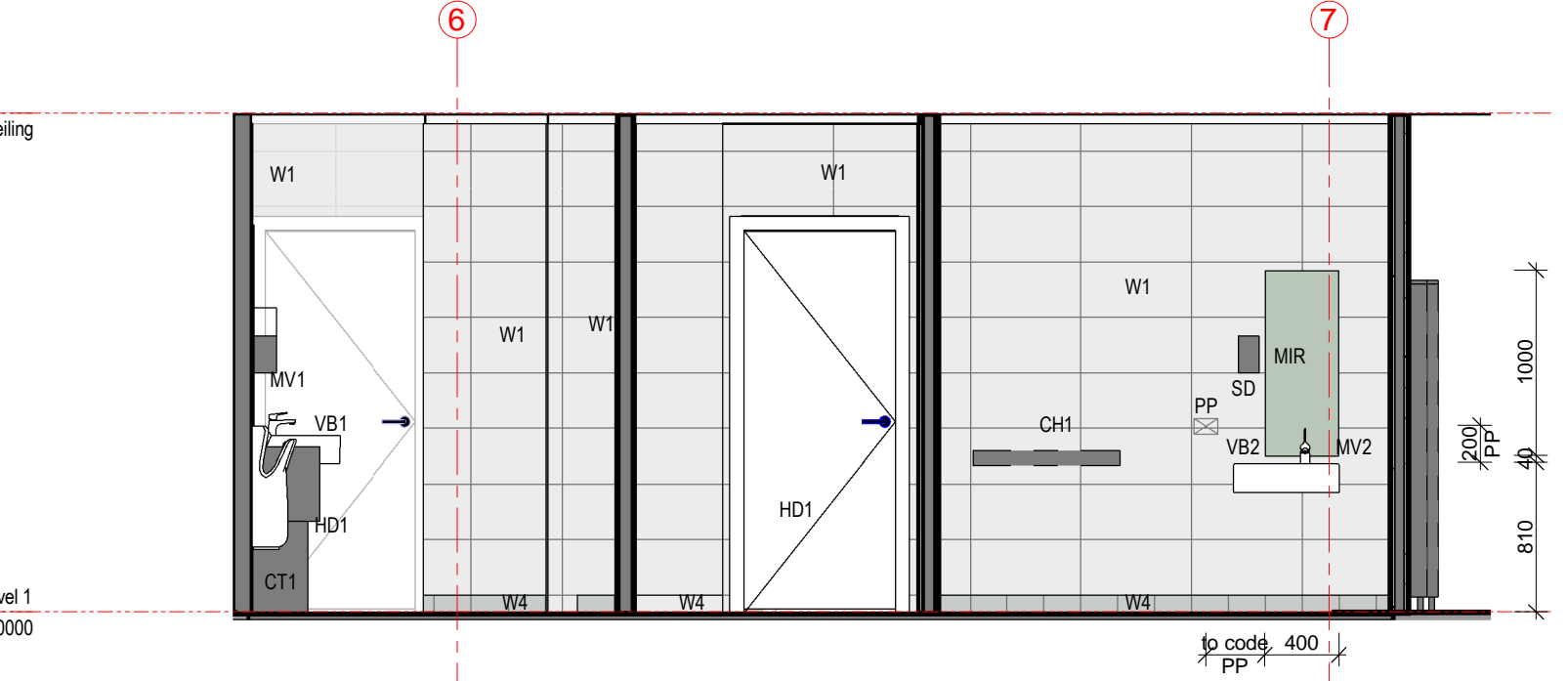
W9 Wet Area Elevation W9
940WP1 1:40

FINISHES (WET ROOMS)

BENCHTOP	CT1 = 20MM 'ESSASTONE ELEMENTAL' "ZINC" - (4mm RADIUS PENCIL ROUND)
	CT2 = 20MM 'SMARTSTONE' "CARRARA" - (4mm RADIUS PENCIL ROUND)
	CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
	CT4 = 20MM 'ESSASTONE ELEMENTAL' "NICKEL" - (4mm RADIUS PENCIL ROUND)
SHOWER SCREENS:	G1 = SEMI-FRAMELESS CHROME - CLEAR GLASS
WALL BODY TILES	W1 = TMW2871 600Wx300H WALL TILE - from Tile Mob - WHITE GROUT
SKIRTING	W4 = TMX1667 200WX100H COVE
FLOOR TILES	TFA = TMF3071 300x300 - DARK GREY GROUT - from Tile Mob
FLOOR WASTE	P1 = SELECTED SQUARE - STAINLESS STEEL
MIRROR	MIR = 1200 HIGH FULLY SEALED IN FRAME



W7 Wet Area Elevation W7
940WP1 1:40



W4 Wet Area Elevation W4
940WP1 1:40

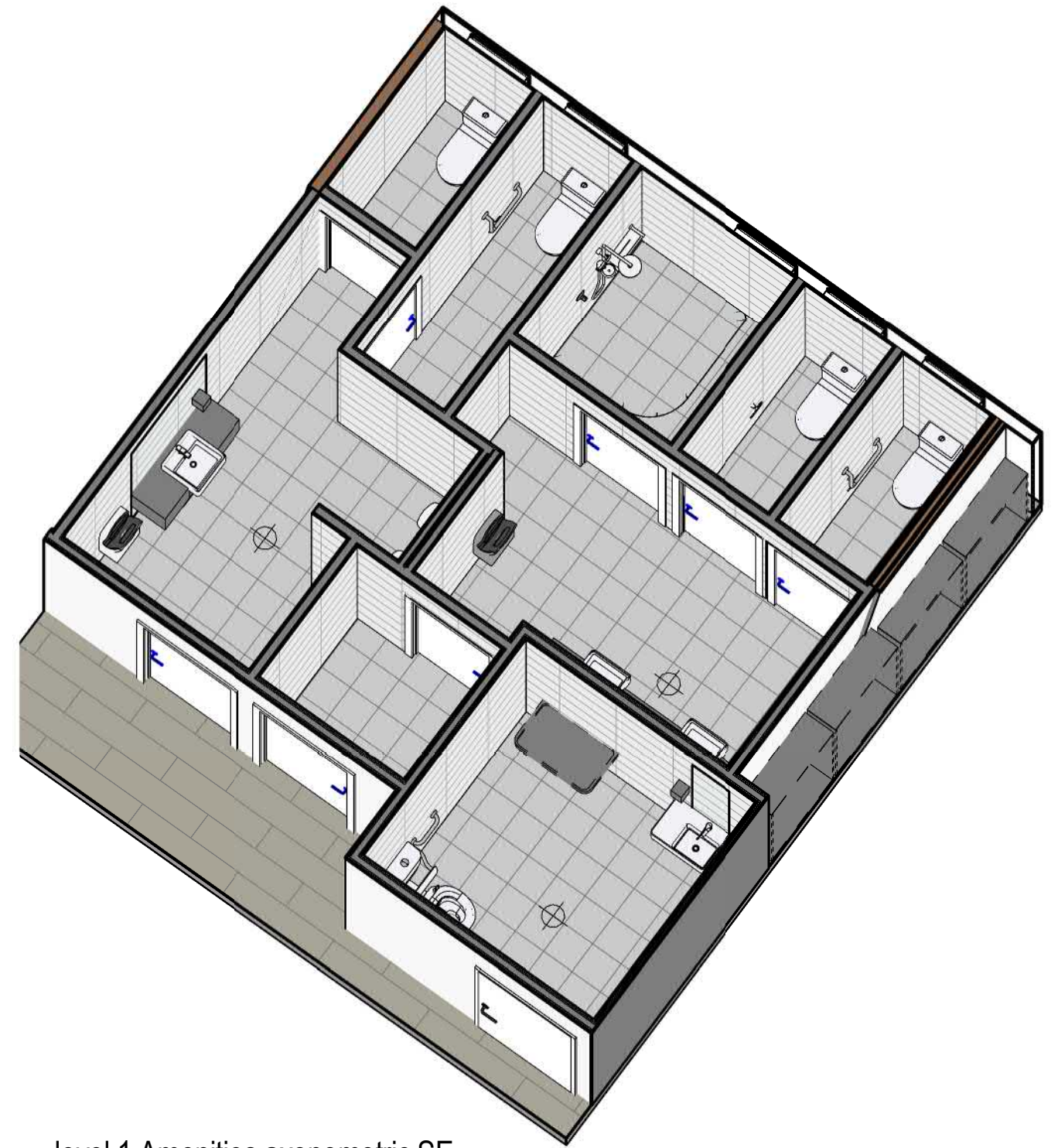
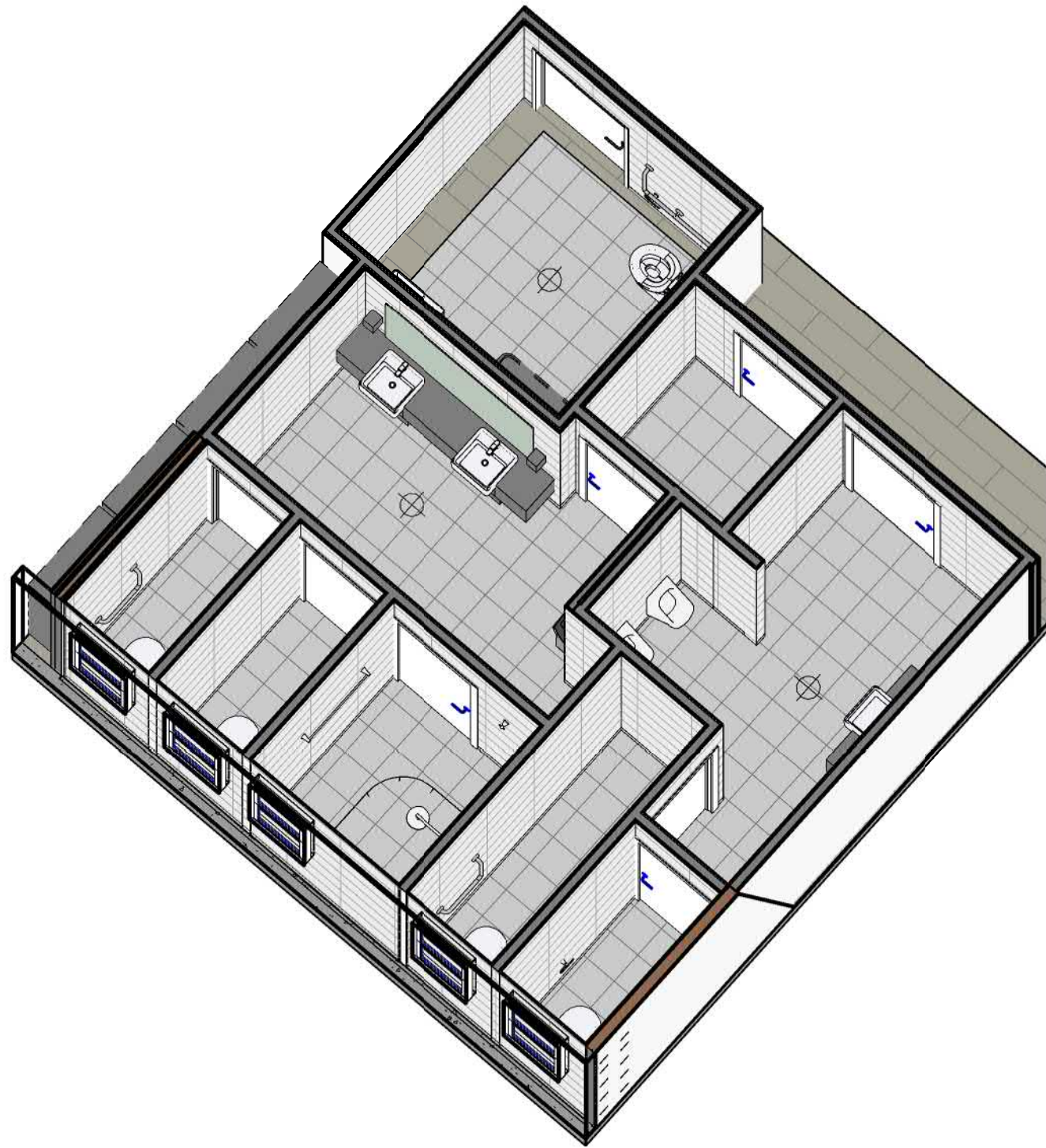
Issue	Date	Issue Description	Rev	Date	Revision Description
WD08	30.05.18	ADD PP DIMS			
WD01	29.05.18	ADD PP TO WC			
WD06	03.05.18	ALTER CT1			
WD05	01.05.18	ADD MIRRORS			
WD04	18.04.18	ALTER FINISHES			
WD03	22.03.18	ALTER FIXTURES+FITTINGS			
WD02	07.02.18	+ AMBULANT TO A51428			

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FOR CONSTRUCTION
WET ELEVATIONS LI - W3,W9,W7,W4
WORKING DRAWINGS

Scale at A3 AS INDICATED	Job No #80211
Designed MDW	Dwg No 942WE1
Drawn MDW	Issue W08-E
Checked MDW	SHEET 10 OF 17



level 1 Amenities axonometric SE

level 1 Amenities axonometric

Issue	Date	Issue Description	Rev	Date	Revision Description
WD05	01.05.18	ADD MIRRORS			
WD04	18.04.18	ALTER FINISHES			
WD03	22.03.18	ALTER FIXTURES+FITTINGS			
WD02	07.02.18	+ AMBULANT TO A5142B			



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**WET AMENITIES
 AXONOMETRIC LI**

WORKING DRAWINGS

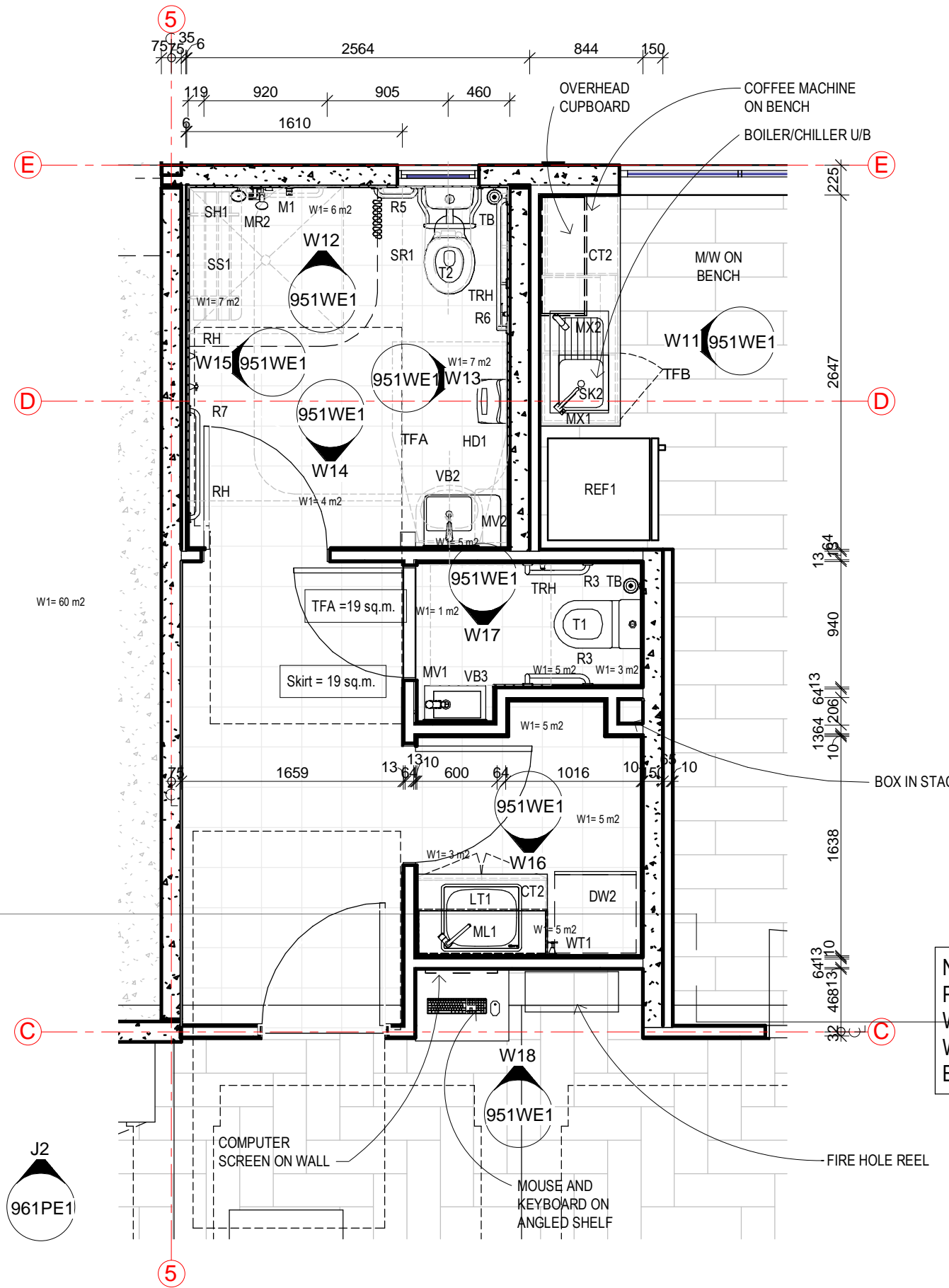
Scale at A3

Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

Job No
#80211

Dwg No
945PDI

Issue
WD05-D



FINISHES (WET ROOMS)

BENCHTOP	CT1 = 20MM 'ESSASTONE ELEMENTAL' "ZINC" - (4mm RADIUS PENCIL ROUND) CT2 = 20MM 'SMARTSTONE' "CARRARA - (4mm RADIUS PENCIL ROUND) CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH CT4 = 20MM 'ESSASTONE ELEMENTAL' "NICKEL" - (4mm RADIUS PENCIL ROUND)
SHOWER SCREENS:	G1 = SEMI-FRAMELESS CHROME - CLEAR GLASS
WALL BODY TILES	W1 = TMW2871 600Wx300H WALL TILE - from Tile Mob - WHITE GROUT
SKIRTING	W4 = TMX1667 200WX100H COVE
FLOOR TILES	TFA = TMF3071 300x300 - DARK GREY GROUT - from Tile Mob
FLOOR WASTE	P1 = SELECTED SQUARE - STAINLESS STEEL
MIRROR	MIR = 1200 HIGH FULLY SEALED IN FRAME

FITTINGS (WET ROOMS)

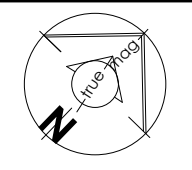
SHOWER ROSES	M1 = 'DORF' "KIP" SHOWER MIXER - CHROME M2 =
SHOWER RAILS	MR1 = 'URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME MR2 = 'VITRU PLUS STARSAFE II' ACCESSABLE SHOWER SET
VANITY BASIN	VB1 = 'CAROMA' "CUBE" LEFT HAND SHELF WALL BASIN - with chrome bottle trap VB2 = 'CAROMA' "CARBONI ii" SEMI RECESSED BASIN - WHITE VB3 = 'CAROMA' "LIANO" WALL BASIN - WHITE
VANITY BASIN TAPWARE	MV1 = 'CAROMA' "FLARE" sink mixer - CHROME MV2 = 'DORF' "KIP" CARE BASIN MIXER - CHROME
TOILET	T1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP T2 = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
URINAL	UR1 = 'CAROMA' "CUBE" 0.8L ELECTRONOC URINAL SERIES ii FIT OUT KIT
TOWEL RAILS	R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome
GRAB RAILS	R2 = VIRTU COMFORT GRAB RAIL 870X700mm 90° R3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM R4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL R5 = VIRTU COMFORT GRAB RAIL 300mm R6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL R7 = VIRTU COMFORT GRAB 800mm
ROBE HOOKS	RH = NAPOLEON ROBE HOOK - chrome
TOILET ROLL HOLDER	TRH = NAPOLEON TOILET ROLL HOLDER - chrome
TOILET BRUSH HOLDER	TB = CAROMA COSMO TOILET BRUSH + HOLDER
HAND DRYER	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
SOAP DISPENSER	SD = SOAP DISPENSER BY OWNER
LAUNDRY TUB	LT1 = CLARK SINGLE 70 LITRE FLUSHLINE TUB WITH BYPASS KIT
TUB TAP	ML1: 'DORF' "VIRIDIAN SINK MIXER" - CHROME
TAP W.M.	WT1: 'CAROMA' "TASMAN ii" WASHING MACHINE SET
WASHING MACHINE	WM1: CLIENTS OWN
DRYER	DR1: CLIENTS OWN
DISH WASH	DW2: dishwasher supplied by owner
NOTES	ALL PARTICLEBOARD TO BE WATERPROOF

NOTE: AMBULANT AND PWD WC TO COMPLY WITH AS1428 SO WALLS MAY NEED TO BE PACKED OUT

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD08	14.07.18	+DW - WM DR+ DUCT			
WD07	03.05.18	ALTER CT1			
WD06	01.05.18	ALTER FINISHES			
WD05	18.04.18	ALTER FINISHES			
WD04	20.03.18	ALTER FIXTURES+FITTINGS			
WD03	21.02.18	REMOVE FOLD DOWN RAIL			
WD10	19.10.18	A6 BULTS			
WD09	20.07.18	ALTER CT2			

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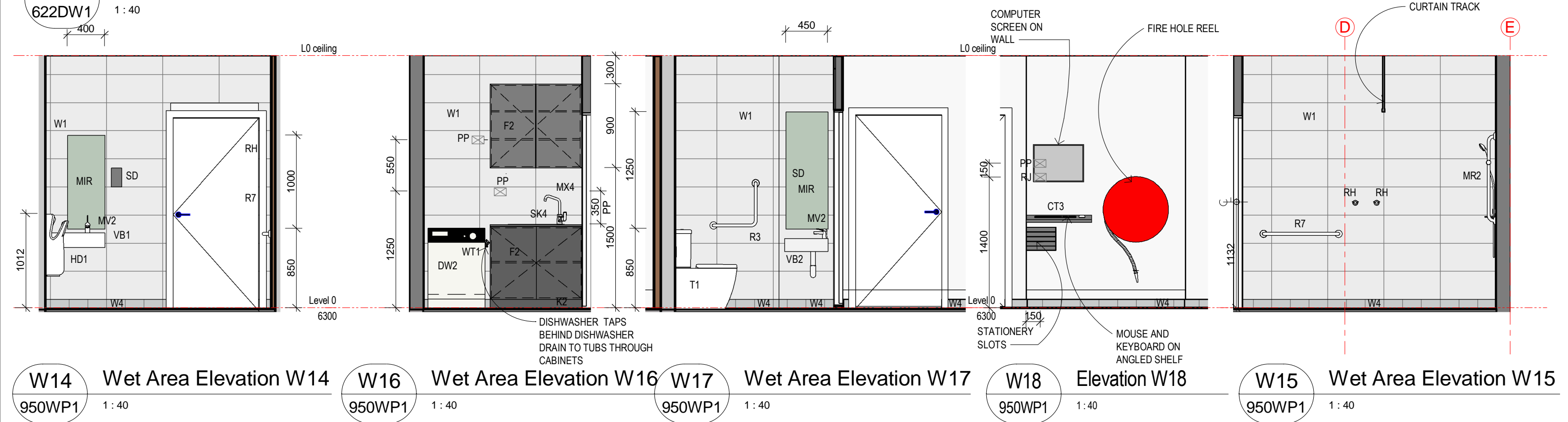
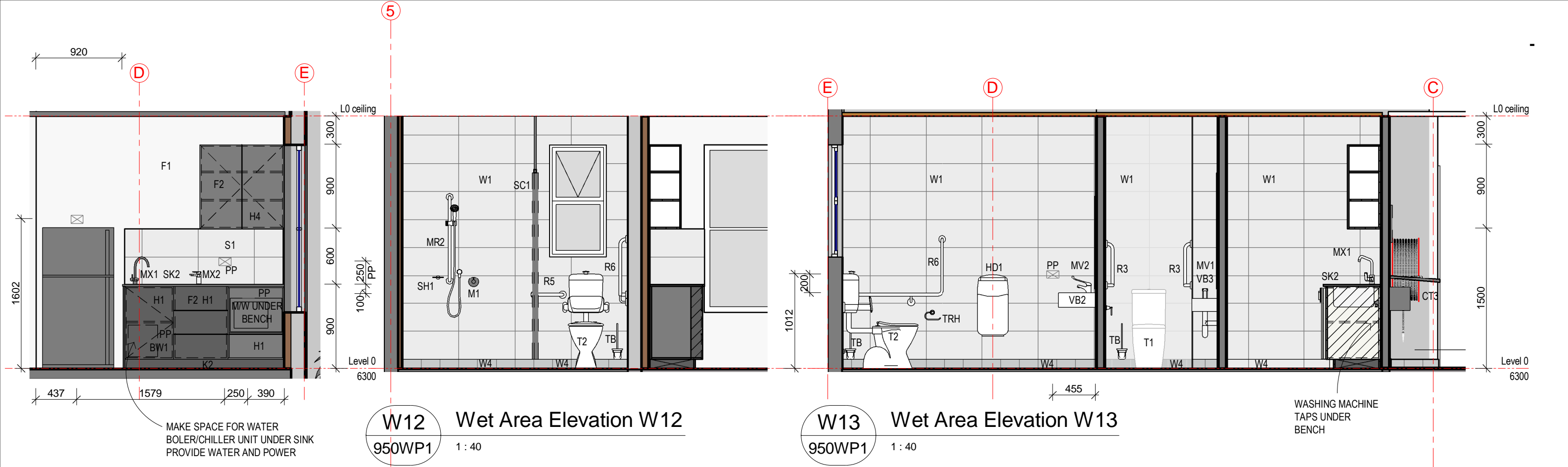
OFFICE BUILDING
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WET AMENITIES PLAN L0

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW

Job No #80211
Dwg No 950WPI
Issue WD09-1
SHEET 12 OF 17

WORKING DRAWINGS



FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD09	20.07.18	ADD UB BOLIER			
WD08	14.07.18	+DW - WM DR			
WD07	30.05.18	ADD PP DIMS			
WD06	29.05.18	ADD PP TO WC			
WD05	01.05.18	ADD MIRRORS			
WD04	18.04.18	ALTER FINISHES			
WD03	22.03.18	ALTER FIXTURES+FITTINGS			
WD02	07.02.18	+ AMBULANT TO A5142B			

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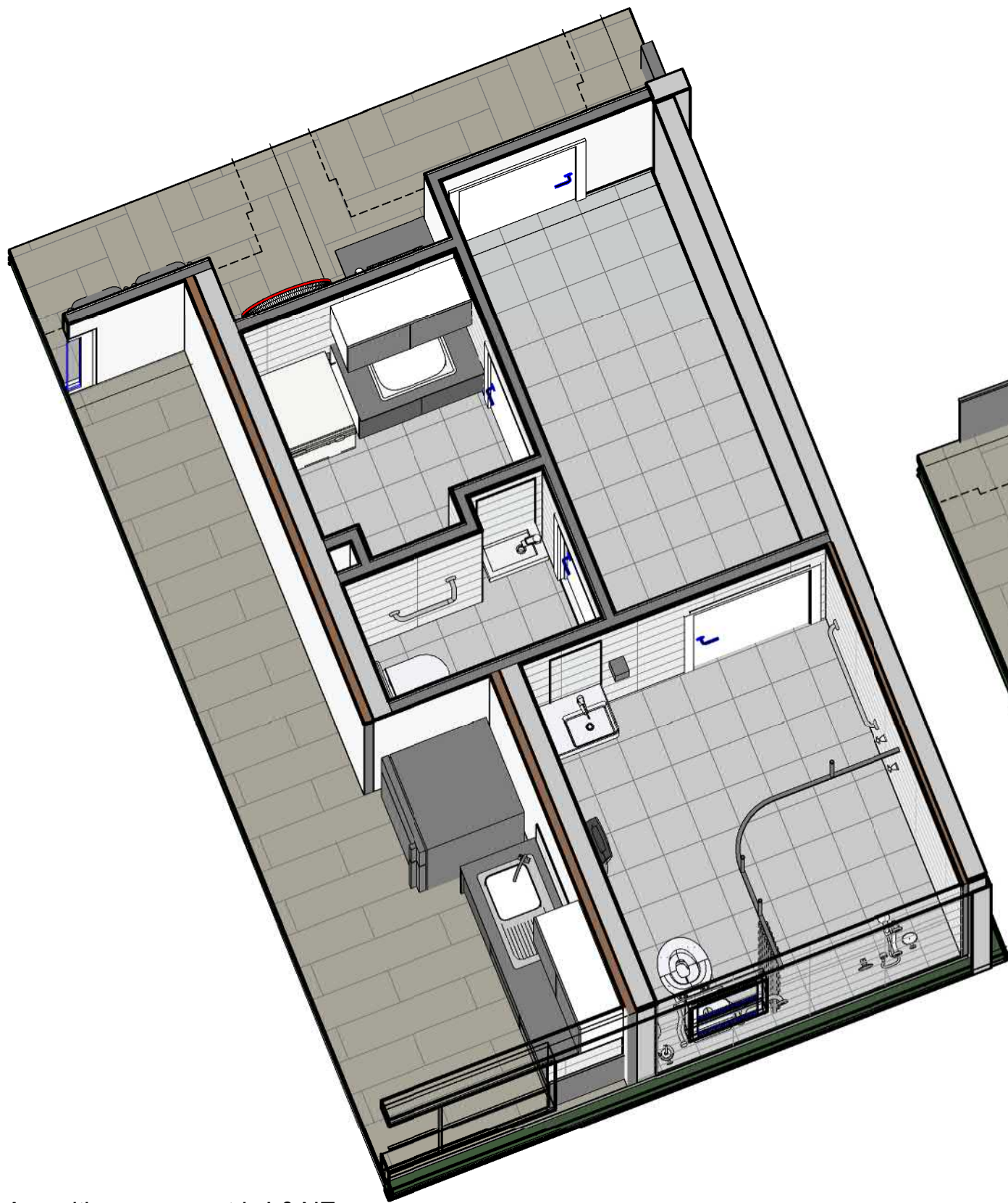
WET ELEVATIONS L0 - W11, W12, W13, W14, W16, W17, W15

Scale at A3 1:40

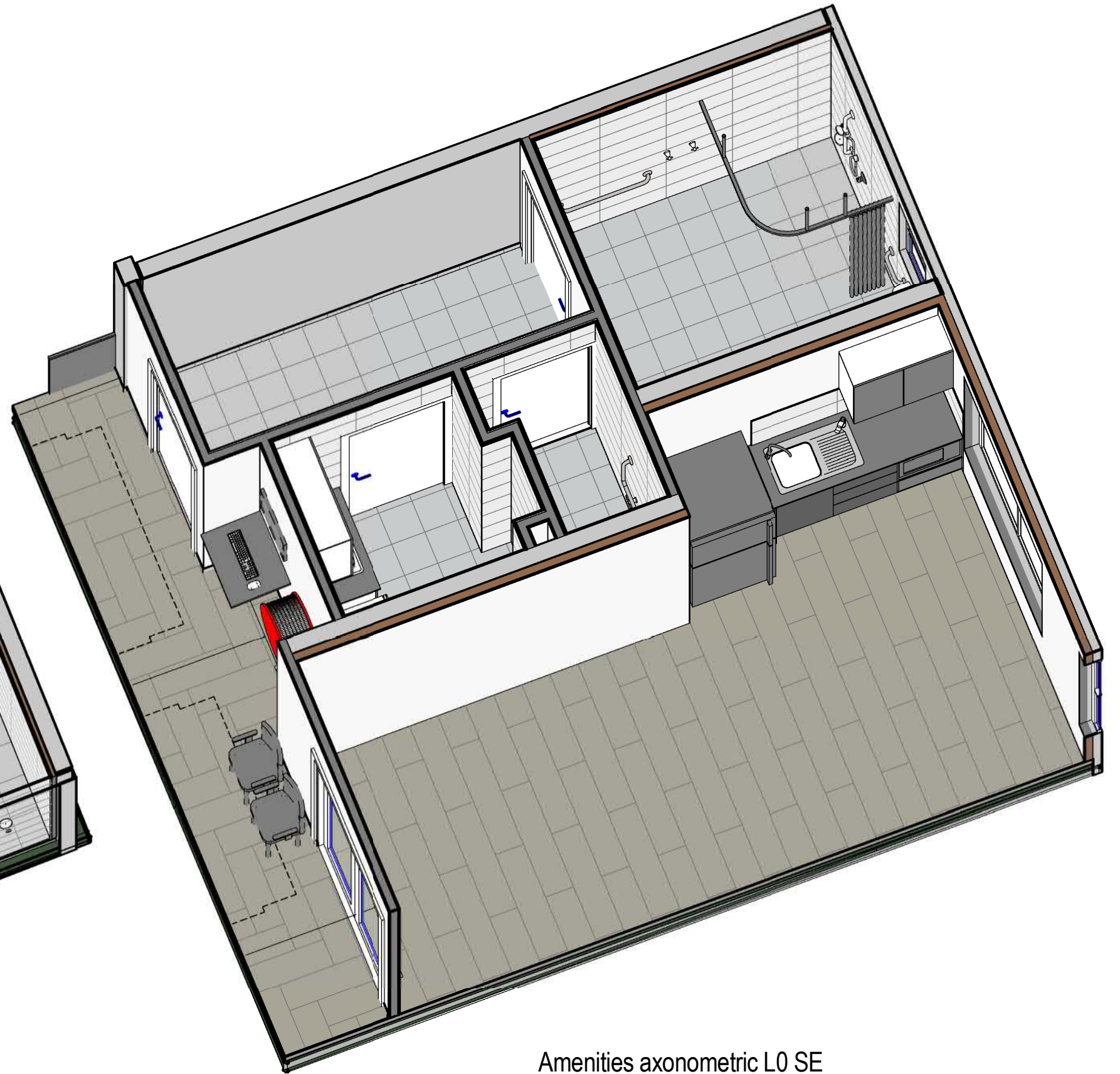
Designed MDW
Drawn MDW
Checked MDW

Job No #80211
Dwg No 951WE1
Issue WD09-G
SHEET 13 OF 17

WORKING DRAWINGS



Amenities axonometric L0 NE



Amenities axonometric L0 SE

FOR CONSTRUCTION

WD06 20.07.18 ADD DISHWASHER
 WD05 01.05.18 ADD MIRRORS
 WD04 18.04.18 ALTER FINISHES
 WD03 22.03.18 ALTER FIXTURES+FITTINGS
 WD02 07.02.18 + AMBULANT TO A5142B

Issue	Date	Issue Description	Rev	Date	Revision Description



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**WET AMENITIES
 AXONOMETRIC L0**

WORKING DRAWINGS

Scale at A3

Designed
 MDW
 Drawn
 MDW
 Checked
 MDW

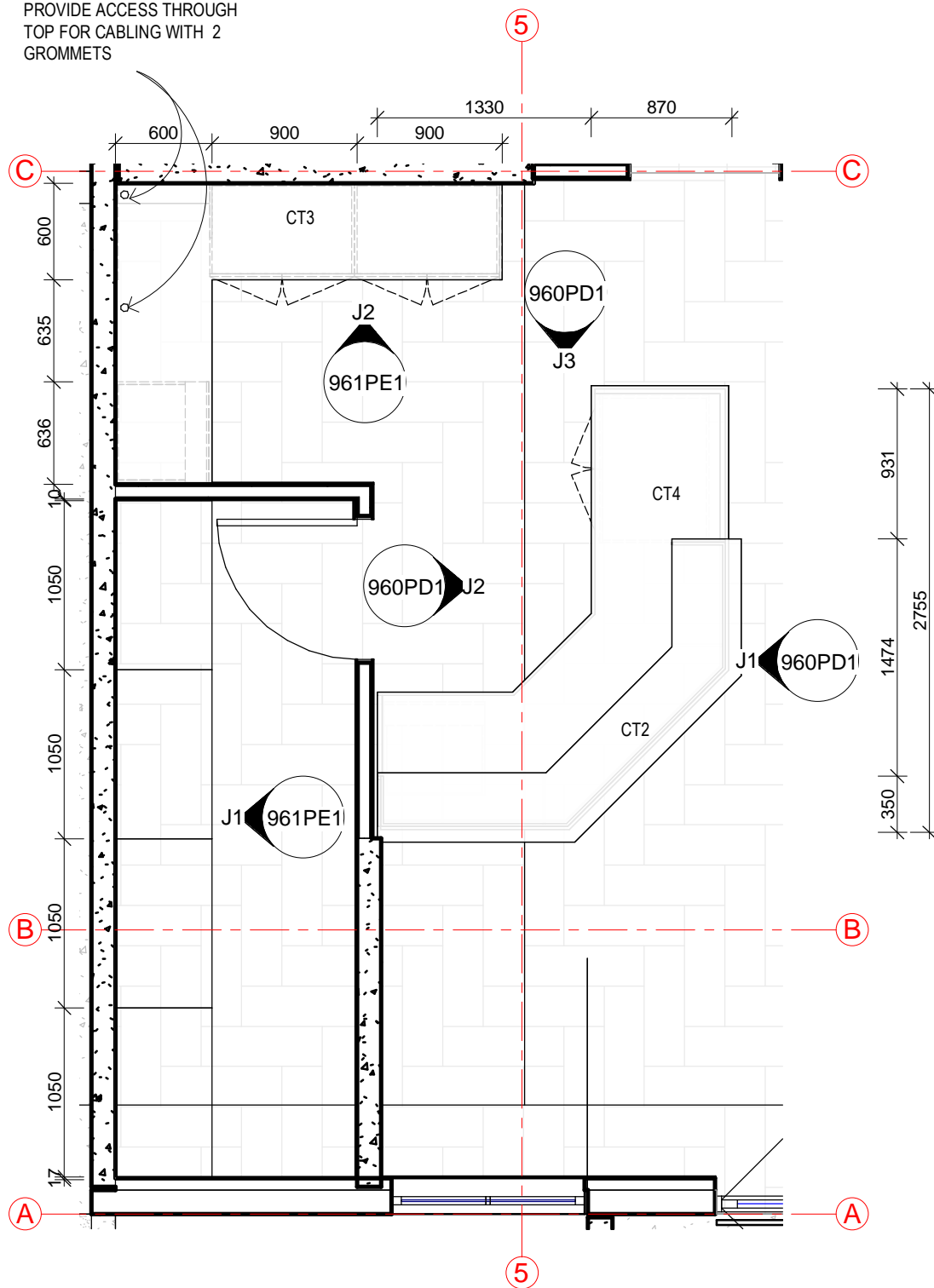
Job No
#80211

Dwg No
955PDI

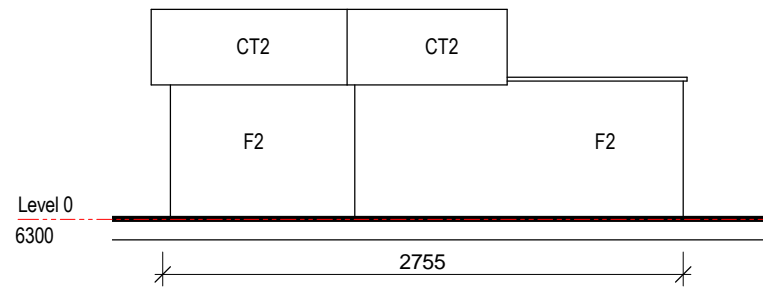
Issue
WD06-E

SHEET 14 OF 17

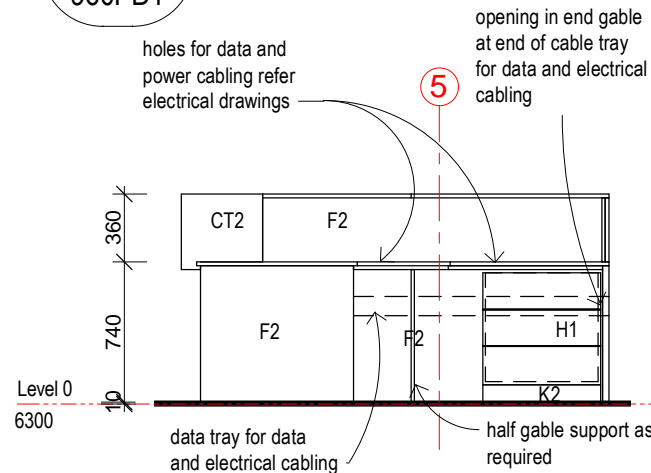
PROVIDE ACCESS THROUGH TOP FOR CABLING WITH 2 GROMMETS



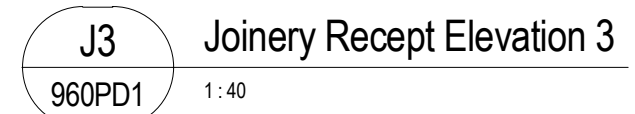
JR JOINERY RECEPTION DESK PLAN
201EL1 1:40



J1 Joinery Recept Elevation 1
960PD1 1:40

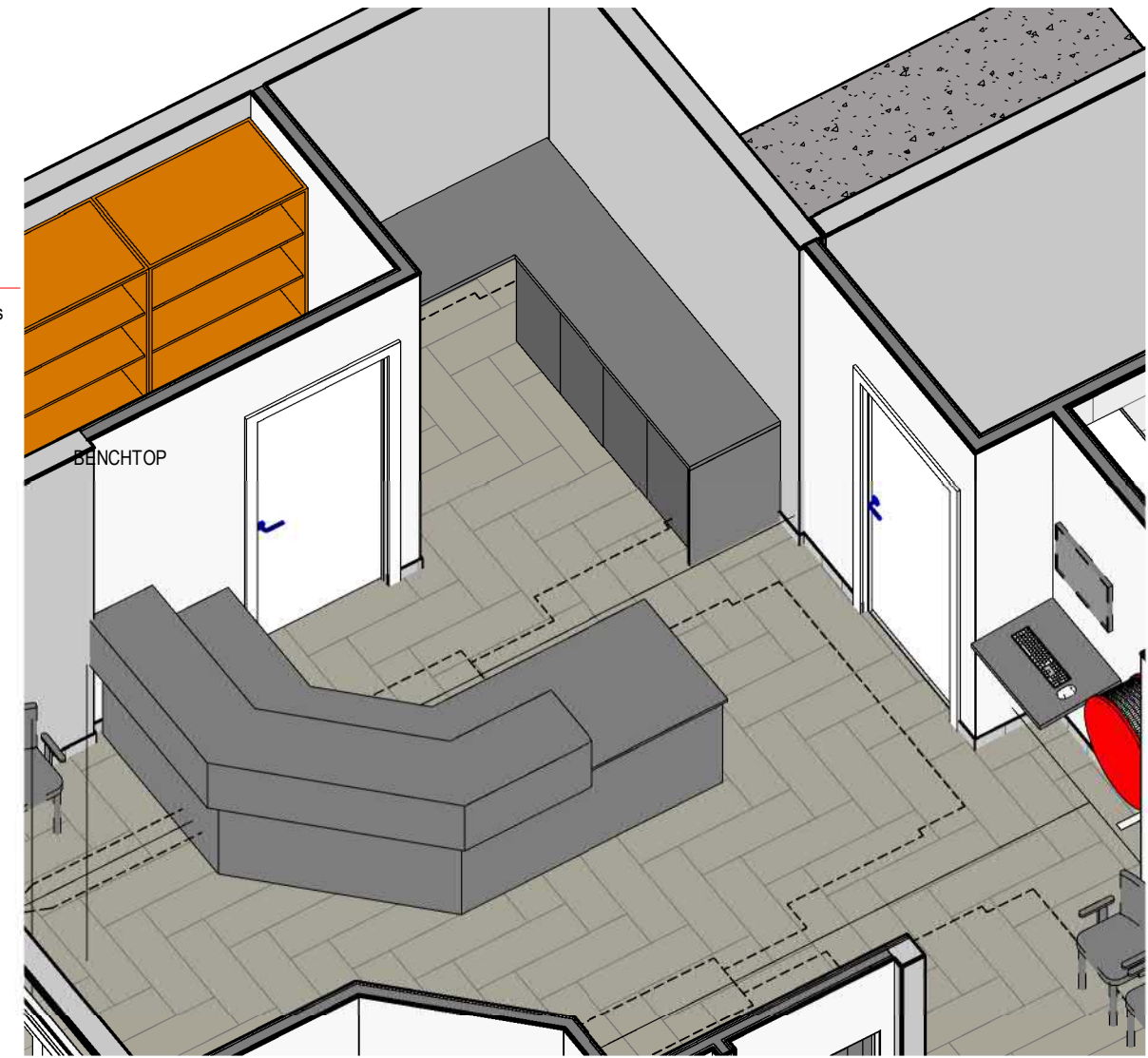
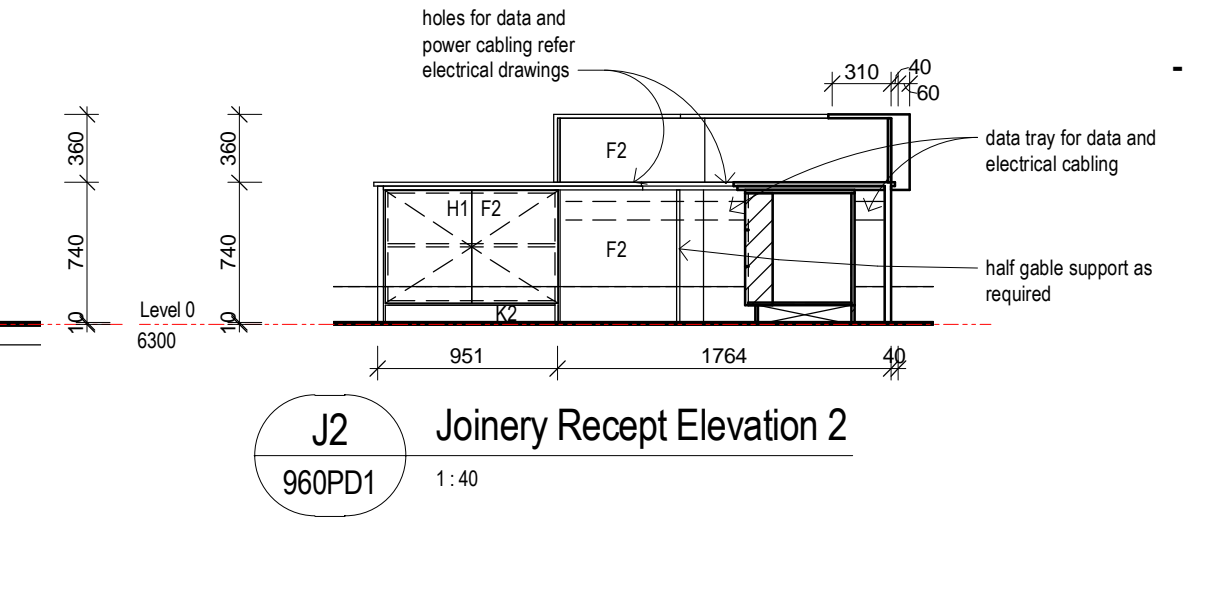


J2 Joinery Recept Elevation 2
960PD1 1:40



J3 Joinery Recept Elevation 3
960PD1 1:40

- LEGEND A (JOINERY)**
- BENCHTOP: CT1 = 20MM 'ESSASTONE ELEMENTAL' 'ZINC' - (4mm RADIUS PENCIL ROUND)
 CT2 = 20MM 'SMARTSTONE' 'CARRARA' - (4mm RADIUS PENCIL ROUND)
 CT3 = 33mm LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
 CT4 = 20MM 'ESSASTONE ELEMENTAL' 'NICKEL' - (4mm RADIUS PENCIL ROUND)
- WALL: F1 = SELECTED WALL COLOUR
 DOOR/DRAWER: F2 = LAMINEX "CONCRETE FORMWOOD" RIVEN FINISH
 FRONTS: F3 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
 F4 = CEILING COLOUR
- KICKER: K1 = KICKER TO MATCH CABINETS F2
 K2 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
 K3 = SELECTED BLACK FINISH
- SPLASH: S1 = TMW 2871
- BACK HANDLES: H1 = REVERSE BEVEL PROFILE
 H2 = to be selected
 H3 = provide extra over for PUSH TO OPEN TOUCH CATCHES
 H4 = bottom overhang
- HINGES: P1 = SOFT CLOSE
 DRAWER: D1 = SOFT CLOSE
- BOXES:

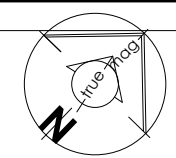


Reception axonometric L0 NE

FOR CONSTRUCTION

Issue	Date	Issue Description	Rev	Date	Revision Description
WD08	24.07.18	ALT RECN MATERIALS			
WD07	23.07.18	ALT RECN MATERIALS			
WD06	20.07.18	ALT CT2+ADD CUP RECN			
WD05	16.07.18	ALTER JOINERY			
WD04	12.07.18	ADD SHELIVING			
WD03	03.05.18	ALTER CT1			
WD10	19.10.18	A6 BULTS			
WD09	31.07.18	ADD GROMMETS			

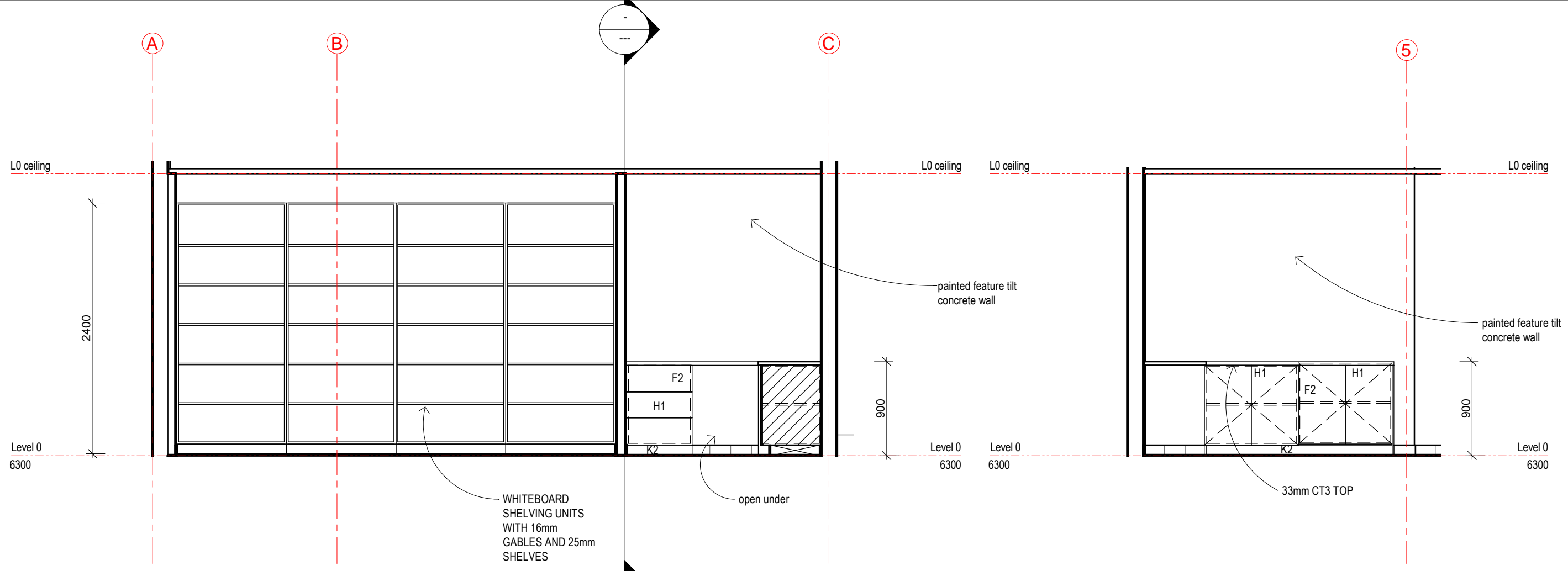
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ENTRY RECEPTION AREA
 WORKING DRAWINGS

Scale at A3 AS INDICATED	Job No #80211
Designed MDW	Dwg No 960PDI
Drawn MDW	Issue WDI0-G
Checked MDW	SHEET 15 OF 17



J1 Shelving Elevation J1
110FP1 1:40

J2 Shelving Elevation J2
110FP1 1:40

Issue	Date	Issue Description	Rev	Date	Revision Description
WD03	20.01.18	ALTER CT3			
WD02	16.01.18	ALTER JOINERY			

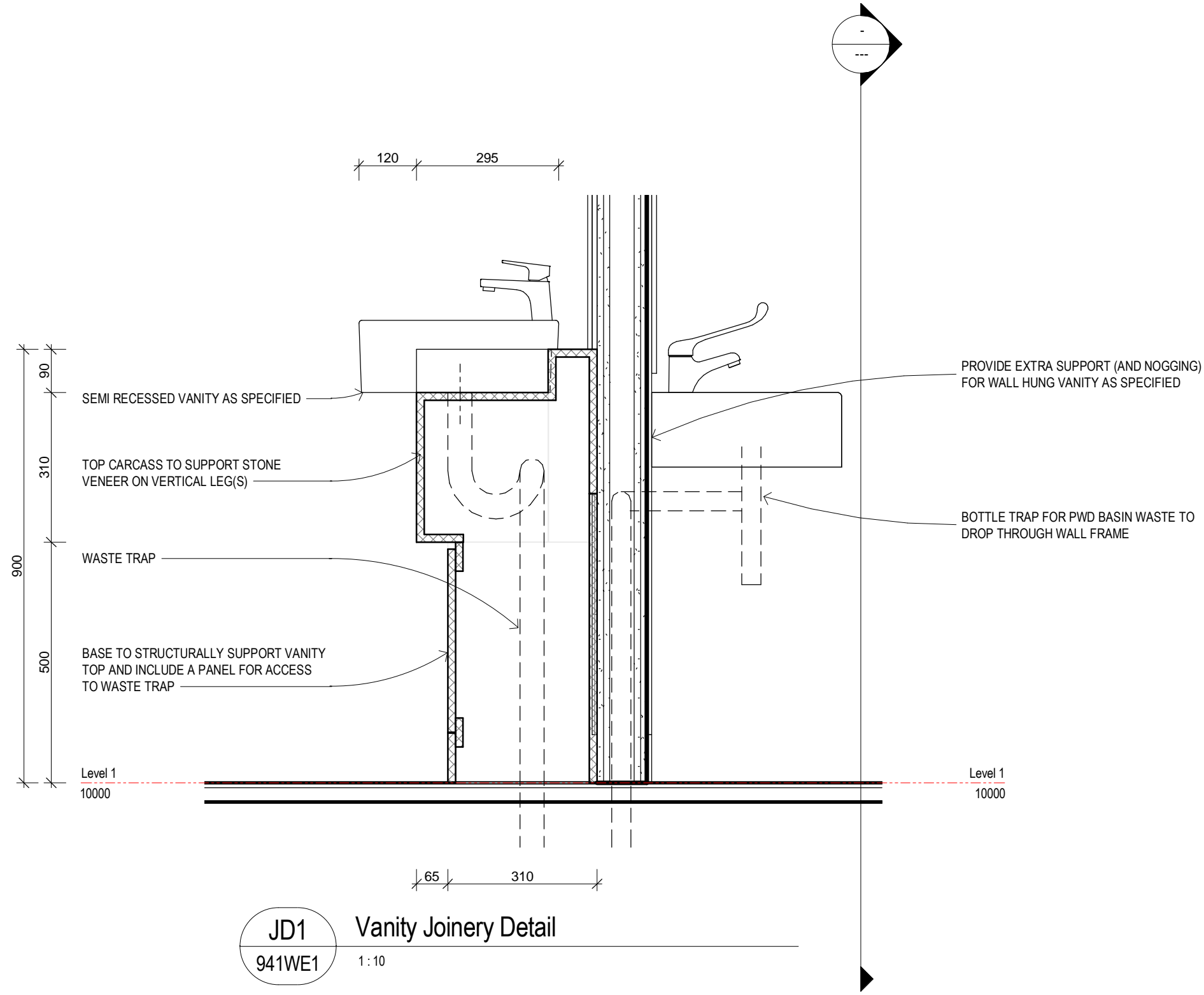
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FOR CONSTRUCTION
ENTRY SHELVING
 WORKING DRAWINGS

Scale at A3
1 : 40
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #80211
 Dwg No 961PEI
 Issue WD03-B



JD1 Vanity Joinery Detail
 941WE1 1:10

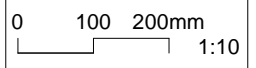
FOR CONSTRUCTION

WD04 18.04.18 FIRST ISSUE

Issue	Date	Issue Description	Rev	Date	Revision Description



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OFFICE BUILDING

at 120 FLOOD PLAINS ROAD
 BRISBANE

for MANAGEMENT + CO

JOINERY DETAILS

WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#80211
 Dwg No
910JDI
 Issue
WD01-A

SHEET 17 OF 17