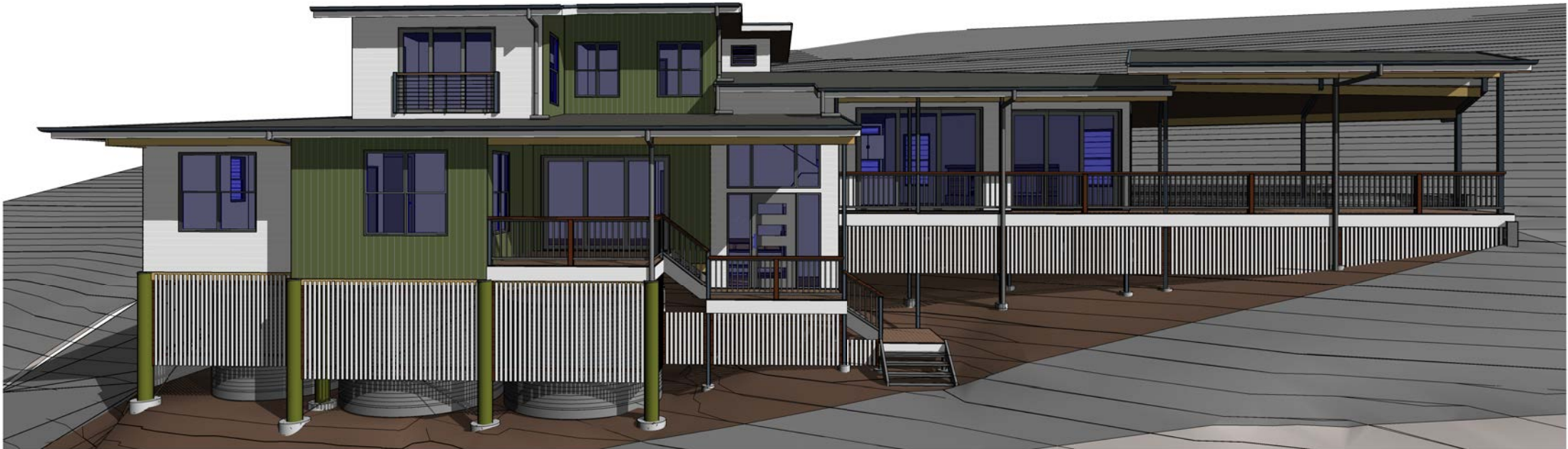


# New Residence

at  
**00 Long Rd**  
**Acreage Suburb 4000**  
 for  
**Fun Clients**



perspective from east

No	Sheet Name	Issue	No	Sheet Name	Issue	No	Sheet Name	Issue
041GC	Survey	WD1	202EL	Elevations 2 of 2	WD3	509SE	Portals Setout Extra	WD4
100SP	Overall Existing Site	WD2	301ST	Sections Cross 1 of 3	WD3	510FT	Ground Slab Layout	WD1
101SP	Overall Proposed Site	WD2	302ST	Sections Cross 2 of 3	WD3	601DG	Details - Stairs	WD1
102SP	Site Plan 1-500 (partial)	WD1	303ST	Sections Cross 3 of 3	WD3	602DG	Details - Waterproofing	WD1
103SP	Cut and Fill Plan	WD1	321ST	Sections Longitudinal	WD3	603DG	Details - Waterproofing Notes	WD1
104SP	Set out diagram	WD1	322ST	Sections Longitudinal	WD3	621DW	Details - Typical Wall	WD1
105SP	Set out Points	WD1	421PD	External 3D's	WD3	622DW	Details - Stacker Door/Garage Slab Retaining	WD1
110FP	Garage Floor Plan	WD3	422PD	External 3D's	WD3	623DW	Details - Timber Stump and Window Box Seat	WD1
111FP	1st & 2nd Floor Plan	WD3	423PD	External Perspectives	WD3	651DF	Details - Laundry Chute	WD1
113FP	3rd Floor Plan	WD3	424PD	External Perspectives	WD3	671DJ	Details - Handrails	WD1
131RP	Roof Plan	WD1	500SE	Sub-Floor Setout	WD3	672DC	Details - Wire Railing	WD1
132RP	Roof Drainage Diagrams	WD1	501SE	1st & 2nd Floor Setout	WD3	701SC	Window Schedule	WD1
150EP	Ground Electrical Plan	WD1	502SE	3rd Floor Setout	WD1	711SC	Door Schedule	WD1
151EP	Lower Floors Electrical Plan	WD1	503ST	Lower Floor Structure	WD3	731NT	General Notes	WD1
152EP	Lower Floors Lighting Plan	WD1	504ST	Upper Floor Structure	WD1	771NT	Sustainability Notes	WD1
153EP	3rd Electrical Plan	WD1	505ST	3D Structure	WD3	781SD	Safety in Design Notes	WD1
154EL	3rd Lighting Plan	WD1	506SE	Portals Setout 1 of 3	WD4			
171AP	Area Plans	WD1	507SE	Portals Setout 2 of 3	WD3			
201EL	Elevations 1 of 2	WD3	508SE	Portals Setout 3 of 3	WD3			

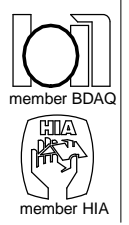
**Bushfire report and Appendix A of Bushfire Management Plan 11 Sept 2013 to be read in conjunction with these drawings**

WD3	10.03.14	Construction
WD1	06.02.14	Final Wking Drawings
PD1	13.12.13	Prelim Wkg Dwgs
DA1	11.12.13	D.A.
DD	15.10.13	Issue 01
SK1	13.09.13	Issue 01
Issue	Date	Issue Description

1	10.03.14	Eng+Owner revisions
Rev	Date	Revision Description



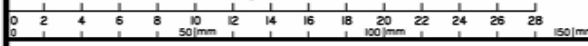
59 cherside st  
 grange qld 4051  
 p 07 3356 9051  
 f 07 3356 9071  
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 qbsa 1055247  
 abn 39 010 895 682  
 Latemore Design Pty Ltd



**Construction** XXXXyyy  
 Issue **WD3**  
 Issue Date 10.03.14  
 Job No



Scale 1:200 - Lengths are in Metres.



**Survey**  
 note: this drawing has different north orientation to all floor plans + others in this set  
 Job No XXXXyyy Dwg No **041GC**

**GATEWAY SURVEY & PLANNING**  
 2221 WYNUM ROAD  
 (PO BOX 597)  
 WYNUM QLD 4178  
 PH: 07 3893 0557  
 FAX: 07 3893 2899  
 Email: mail@gsp-land.com.au

LAND SURVEYORS  
 PLANNING CONSULTANTS  
 PROPERTY CONSULTANTS  
 GPS SURVEYS  
 MINING SURVEYS

BEJOULEE  
 TOWN PLAN ASSISTANT  
 PH: 07 3482 4307  
 FAX: 07 3481 7932

No	Revision Amendments	Date	Init

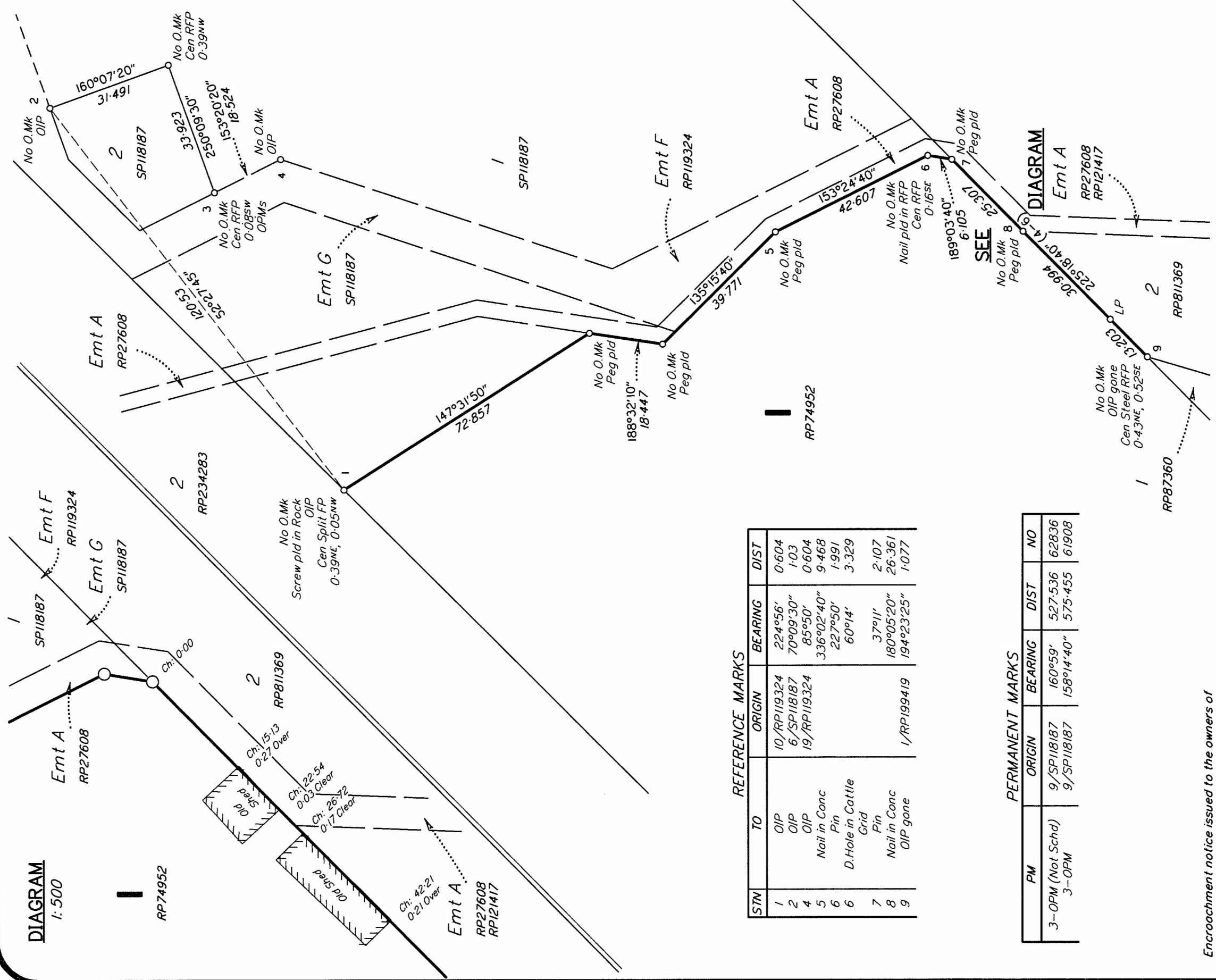
**IMPORTANT NOTE**  
 This plan is prepared for S & A RICHARDS from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose. The title boundaries shown herein were not marked by the author at the time of survey and have been determined by plan dimensions only and not by field measurement.

Underground services have not been located. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of underground services and detailed locations of all services. This note is an integral part of this plan.

TITLE  
**CONTOUR SURVEY**  
 Part of  
**Lot 1 on RP74952**  
 561 Upper Brookfield Road, Upper Brookfield

PURCHASER: **MOGGILL** COUNTY: **Stanley**

LOCAL AUTH	VERTICAL DATUM	HORIZONTAL DATUM
Brisbane City Council	AMSD	RP74952
SURVEYED BY MCH/SM	GRID: PA1858 RL: 70.218 m	FIELD BOOK
DRAWN BY MCH	CONTOUR INTERVAL 0.25m	DIGITAL FORMAT 12d/ACAD
LOCALITY Upper Brookfield	DATE OF SURVEY 07/08/2013	DATE OF PLAN 28/08/2013
MAP REF 9443-23221	SCALE @ A1 1:200	JOB NO 5756
		DRAWING NO 5756-01B



**DIAGRAM**  
1:500

**REFERENCE MARKS**

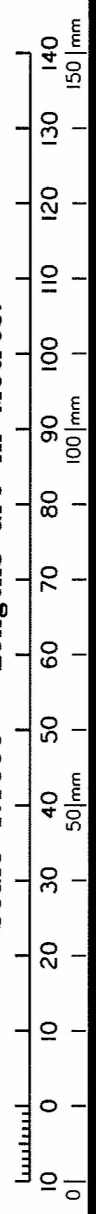
STN	TO	ORIGIN	BEARING	DIST
1	OIP	10/RP119324	224°56'	0-604
2	OIP	6/SPI18187	70°09'30"	1-03
4	OIP	19/RP119324	85°50'	0-604
5	Nail in Conc		336°02'40"	9-468
6	Pin		227°50'	1-991
6	D.Hole in Cattle Grid		60°14'	3-329
7	Pin		37°11'	2-107
8	Nail in Conc	1/RP199419	180°05'20"	26-361
9	OIP gone		194°23'25"	1-077

**PERMANENT MARKS**

PM	ORIGIN	BEARING	DIST	NO
3-OPM (Not Sched)	9/SPI18187	160°59'	527-536	62836
3-OPM	9/SPI18187	158°14'40"	575-455	61908

*Encroachment notice issued to the owners of Lot 1 on RP74952 and Lot 2 on RP811369 on 11 September 2013 in accordance with Sect 19 of the Survey and Mapping Infrastructure Regulation 2004.*

Scale 1:1000 - Lengths are in Metres.



This plan is of an Identification Survey and, as such, should be used only for the purpose for which it was prepared. Owners or purchasers should be aware that if utilising or building to the boundary, the author of the plan or consulting surveyor of choice should be first contacted in case boundary locations on this or adjoining Lots carries higher than normal risk. Gateway Survey & Planning Pty Ltd therefore can accept no responsibility for failure to use this plan within the limitations intended.

GATEWAY SURVEY & PLANNING PTY LTD (ACN 088 656 071) hereby certifies that the land comprised in this plan was surveyed by the corporation, by Mark Geoffrey HOONHOUT, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Gregory John HOONHOUT, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 07/08/2013.

*Mark Geoffrey Hoonhout*  
12.09.2013  
Date

Director

ORIGINAL Por. 194

MERIDIAN  
SPI18187

MAP REF  
9443-23221

SCALE  
1:1000

ENDORSED

**Plan of Identification Survey  
of Part of Lot 1 on RP74952**

**PARISH** MOGGILL  
**COUNTY** Stanley  
**LOCALITY** Upper Brookfield  
**LOCAL GOVERNMENT** BRISBANE CITY



IS250302



LAND SURVEYORS  
PLANNING CONSULTANTS  
PROPERTY CONSULTANTS  
GPS SURVEYS  
MINING SURVEYS

WYNUM  
2321 WYNUM ROAD  
(PO BOX 697)  
WYNUM QLD 4178  
PH: 07 3893 0557  
FAX: 07 3893 2699  
Email: mail@gsp-land.com.au

BRISBANE  
70 WYNUM AVENUE  
PH: 07 3482 4307  
FAX: 07 3481 7932

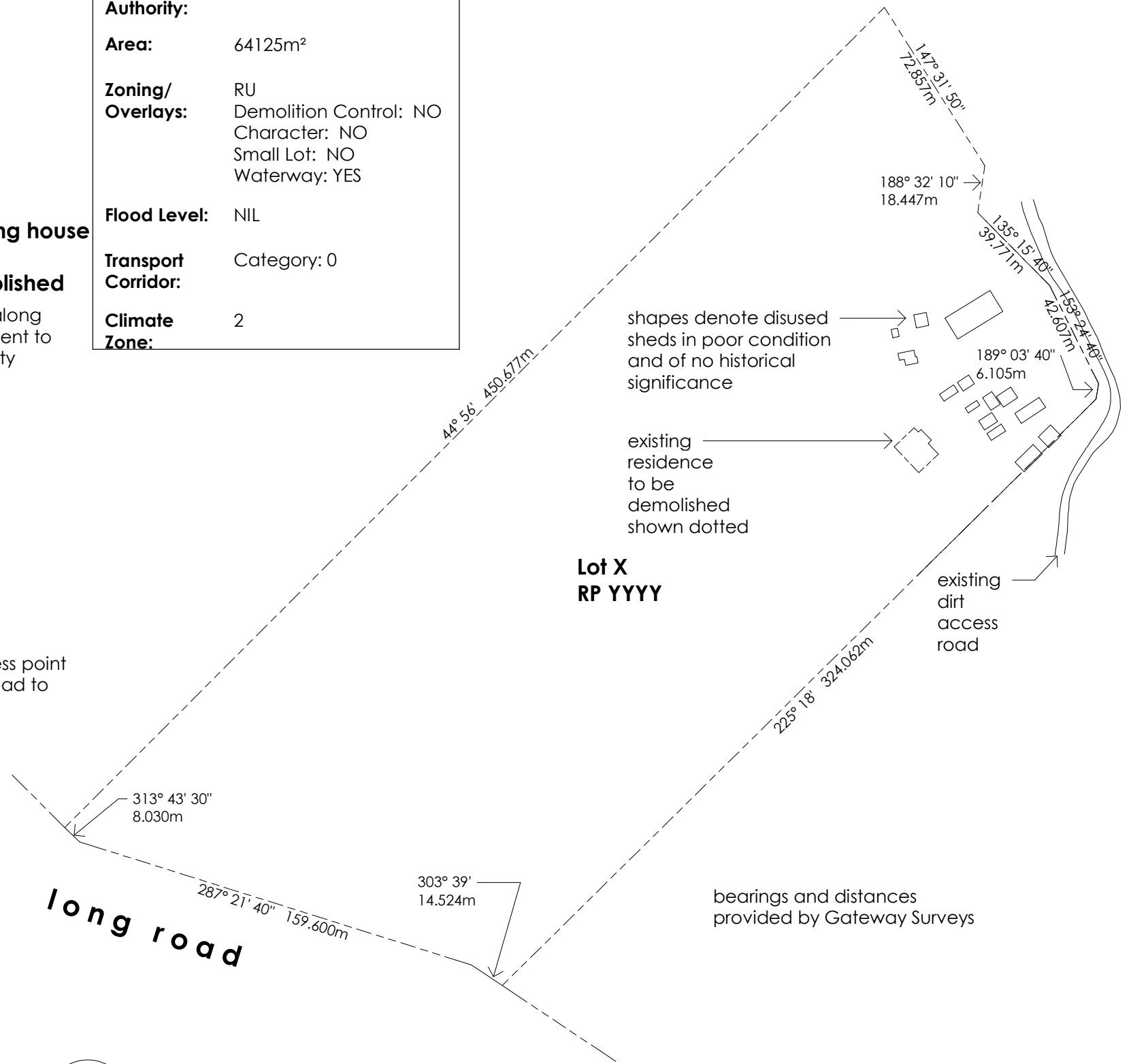


existing house to be demolished

track along easement to property

access point off road to track

<b>R.P.D.:</b>	Lot X RP YYYY Par OutThere County Stanley
<b>Local Authority:</b>	Large City Council
<b>Area:</b>	64125m <sup>2</sup>
<b>Zoning/Overlays:</b>	RU Demolition Control: NO Character: NO Small Lot: NO Waterway: YES
<b>Flood Level:</b>	NIL
<b>Transport Corridor:</b>	Category: 0
<b>Climate Zone:</b>	2



Lot X  
RP YYYY

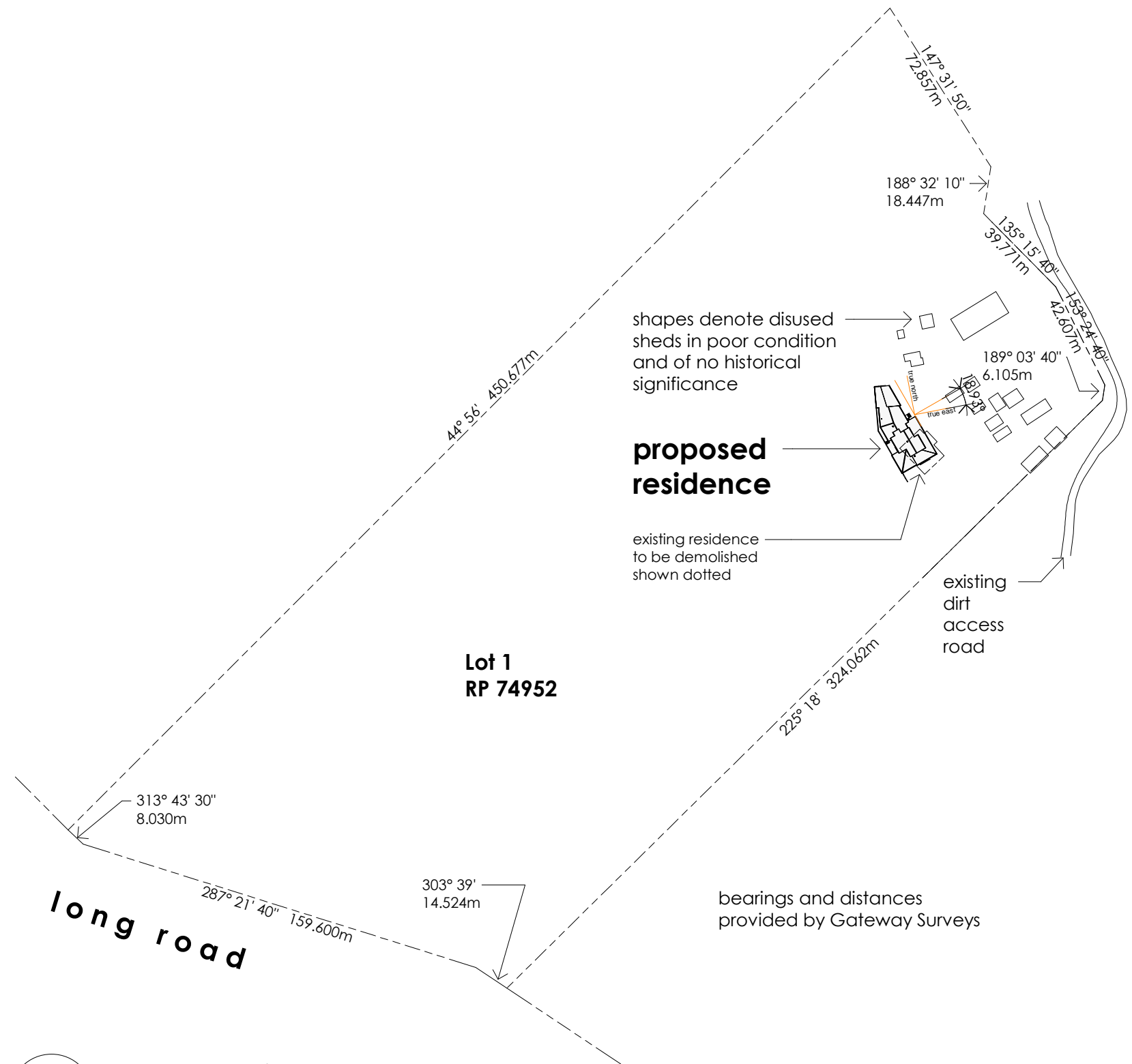
Ae1 existing site aerial 2012

1 : 3000

this drawing has a different north orientation to all other plans  
buildings roughly located in relation to site boundaries  
vegetation not shown for clarity  
see 102SP for proposed site plan at 1:500

St1 existing site overall

1 : 2000



<b>R.P.D.:</b>	Lot X RP YYYY Par OutThere County Stanley
<b>Local Authority:</b>	Large City Council
<b>Area:</b>	64125m <sup>2</sup>
<b>Zoning/Overlays:</b>	RU Demolition Control: NO Character: NO Small Lot: NO Waterway: YES
<b>Flood Level:</b>	NIL
<b>Transport Corridor:</b>	Category: 0
<b>Climate Zone:</b>	2

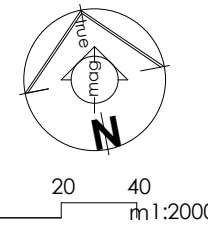
1 proposed site overall  
1 : 2000

this drawing has a different north orientation to all other plans  
buildings roughly located in relation to site boundaries  
vegetation not shown for clarity  
see 102SP for proposed site plan at 1:500

**N2/W33N**

WD2 26.02.14 BA  
WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

Rev Date Revision Description

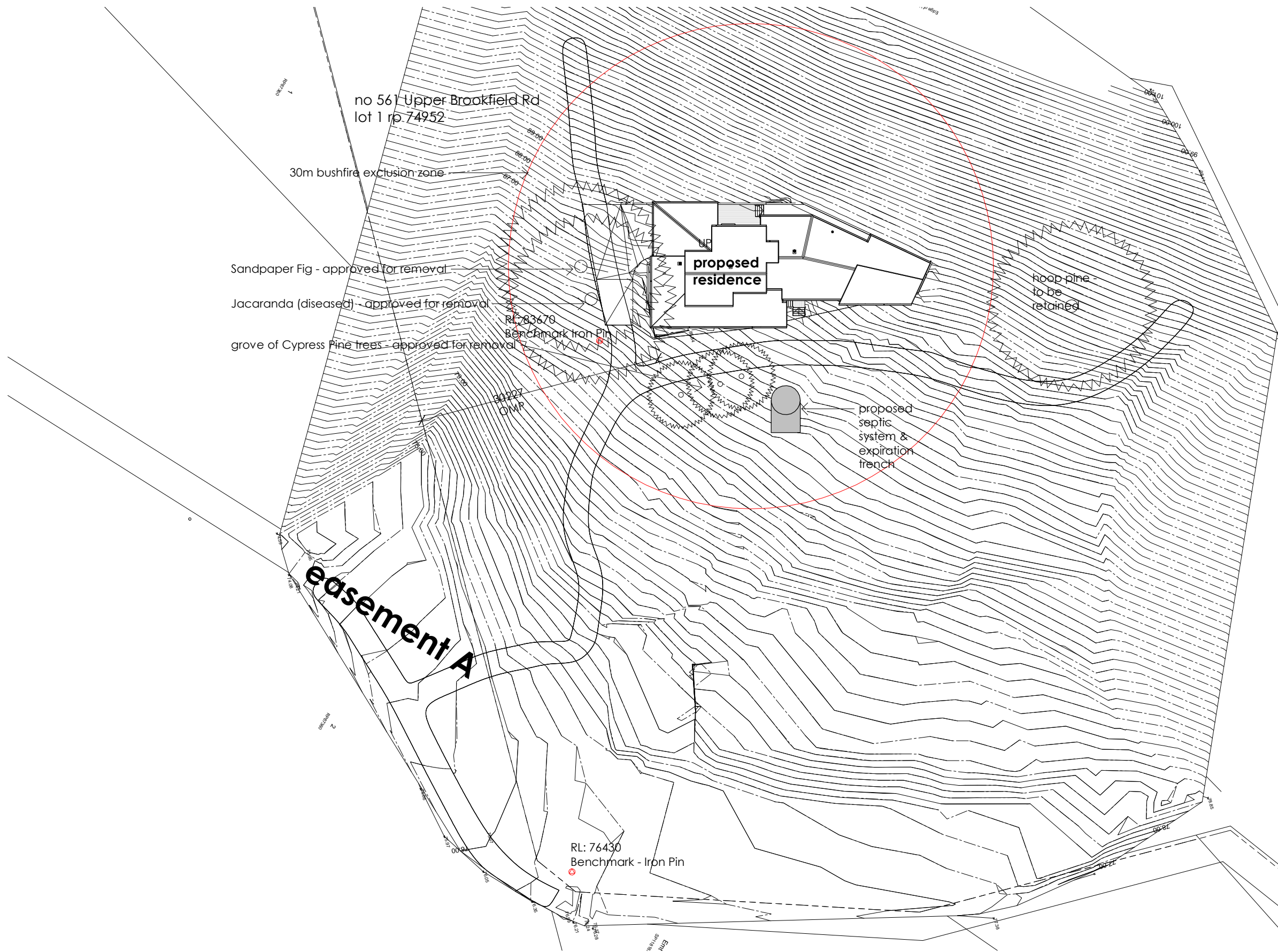


**New Residence**  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Overall Proposed Site**  
Construction

Scale at A3  
1 : 2000  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

Job No  
**XXXXyyy**  
Dwg No  
**101SP**  
Issue  
**WD2**



**Stormwater note:**  
Stormwater runs to tanks with overflow to run downhill to natural creek

- Bushfire note:**
- All construction methods to meet BAL 19
  - 30m bushfire exclusion zone to be maintained by owner
  - 20,000L of tank water to be maintained for fire fighting
  - refer Bushfire Schedule
  - Bushfire report and Appendix A of Bushfire Management Plan 11 Sept 2013 to be read in conjunction with these drawings
  - Property access must be made available to emergency services vehicles
  - Specified cladding meets BAL 19

site cover 0.5%

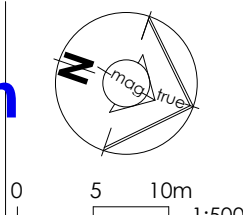
Area Schedule (Site Cover)		
name	area	% site
site covered	296.6 m <sup>2</sup>	0.5%
site open	63828.6 m <sup>2</sup>	99.5%
	64125.2 m <sup>2</sup>	100.0%

<b>R.P.D.:</b>	Lot X RP YYYY Par OutThere County Stanley
<b>Local Authority:</b>	Large City Council
<b>Area:</b>	64125m <sup>2</sup>
<b>Zoning/ Overlays:</b>	RU Demolition Control: NO Character: NO Small Lot: NO Waterway: YES
<b>Flood Level:</b>	NIL
<b>Transport Corridor:</b>	Category: 0
<b>Climate Zone:</b>	2

N2/W33N

WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

Rev Date Revision Description



**New Residence**

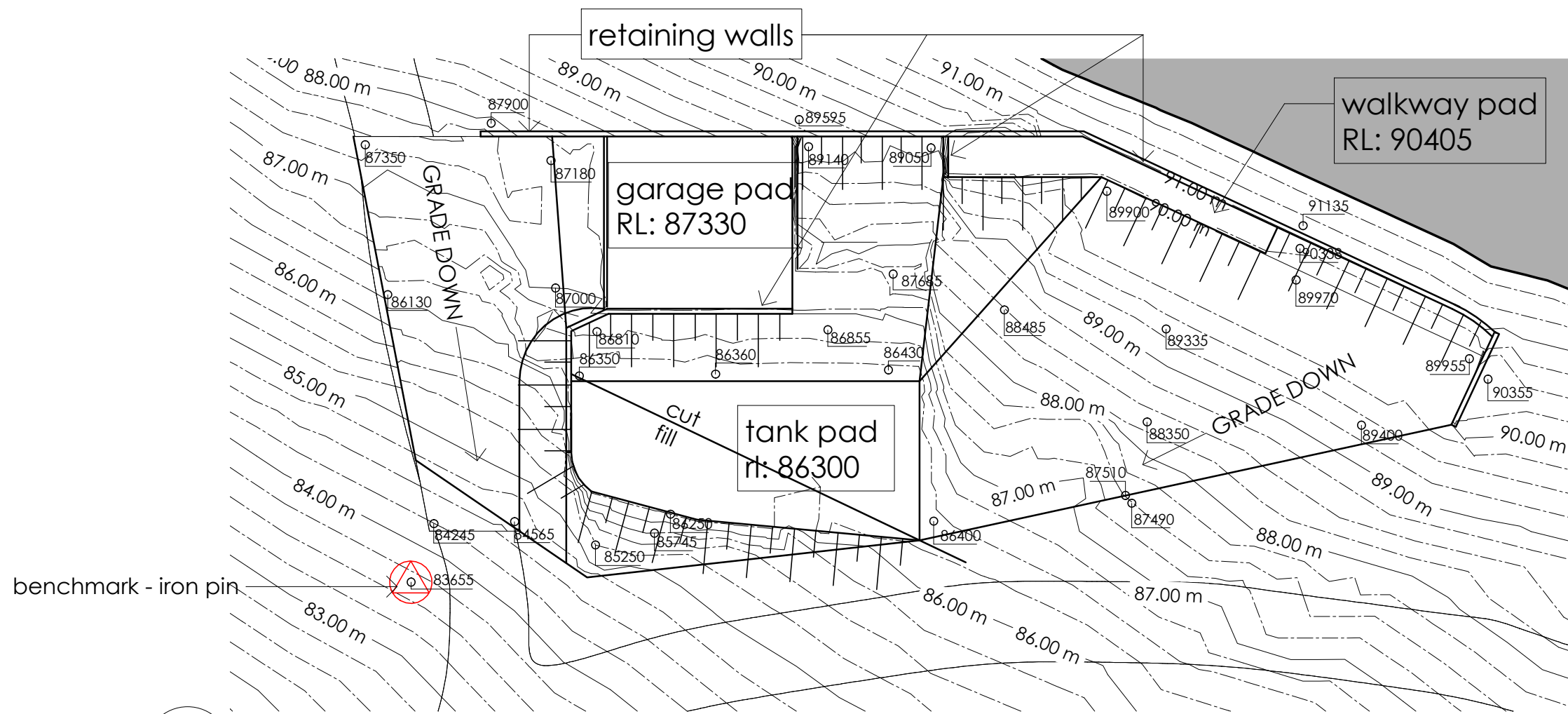
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Site Plan 1-500  
(partial)**

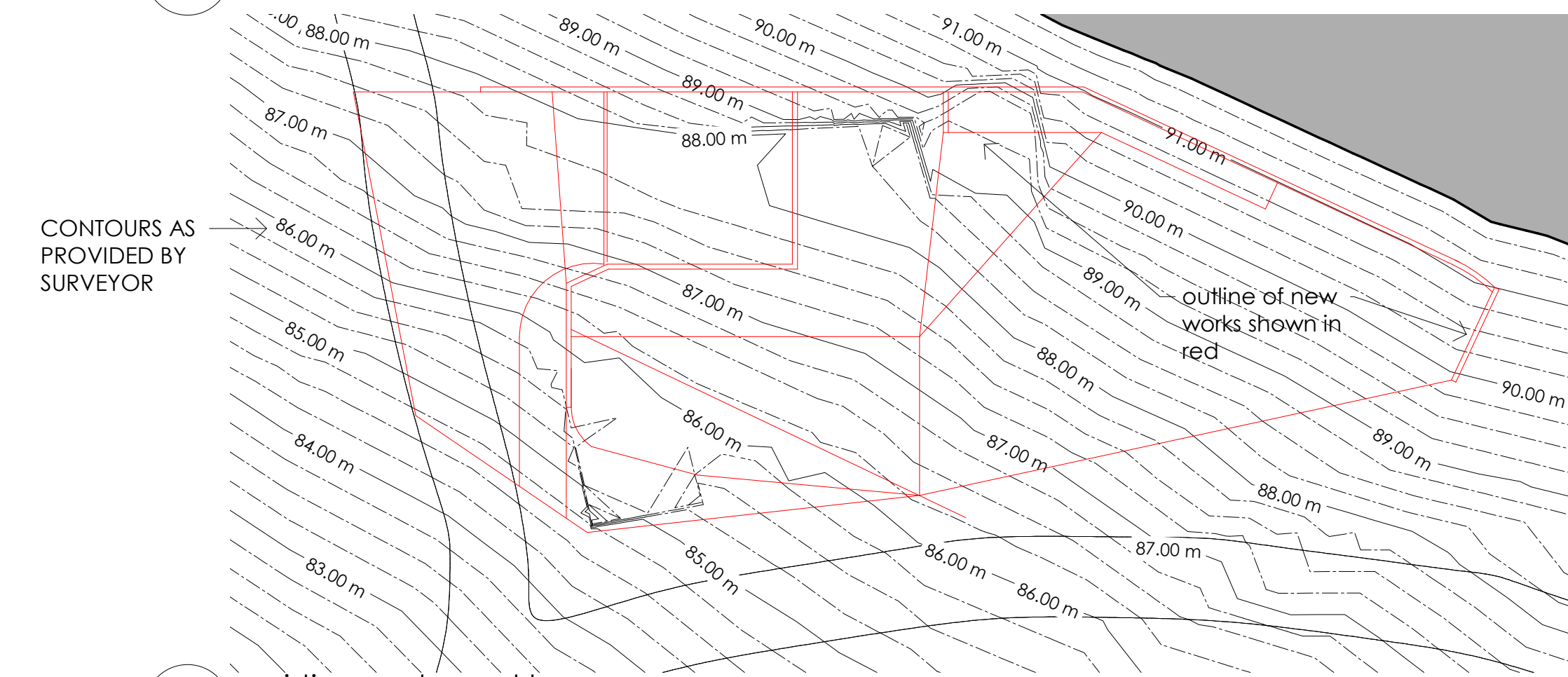
Construction

Scale at A3  
1 : 500  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

Job No  
XXXXyy  
Dwg No  
**102SP**  
Issue  
**WD1**



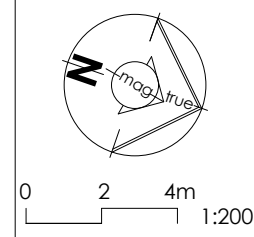
1 cut fill diagram  
1 : 200



2 existing contours at house  
1 : 200

Builder to prepare earthworks plan as per BCC Approval package

WD1 06.02.14 Final Wkg Dwgs  
PL2 17.12.13 Extra for Eng  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design



Rev	Date	Revision Description

Scale at A3  
1 : 200  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

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QBSA 1055247

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**New Residence**  
  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

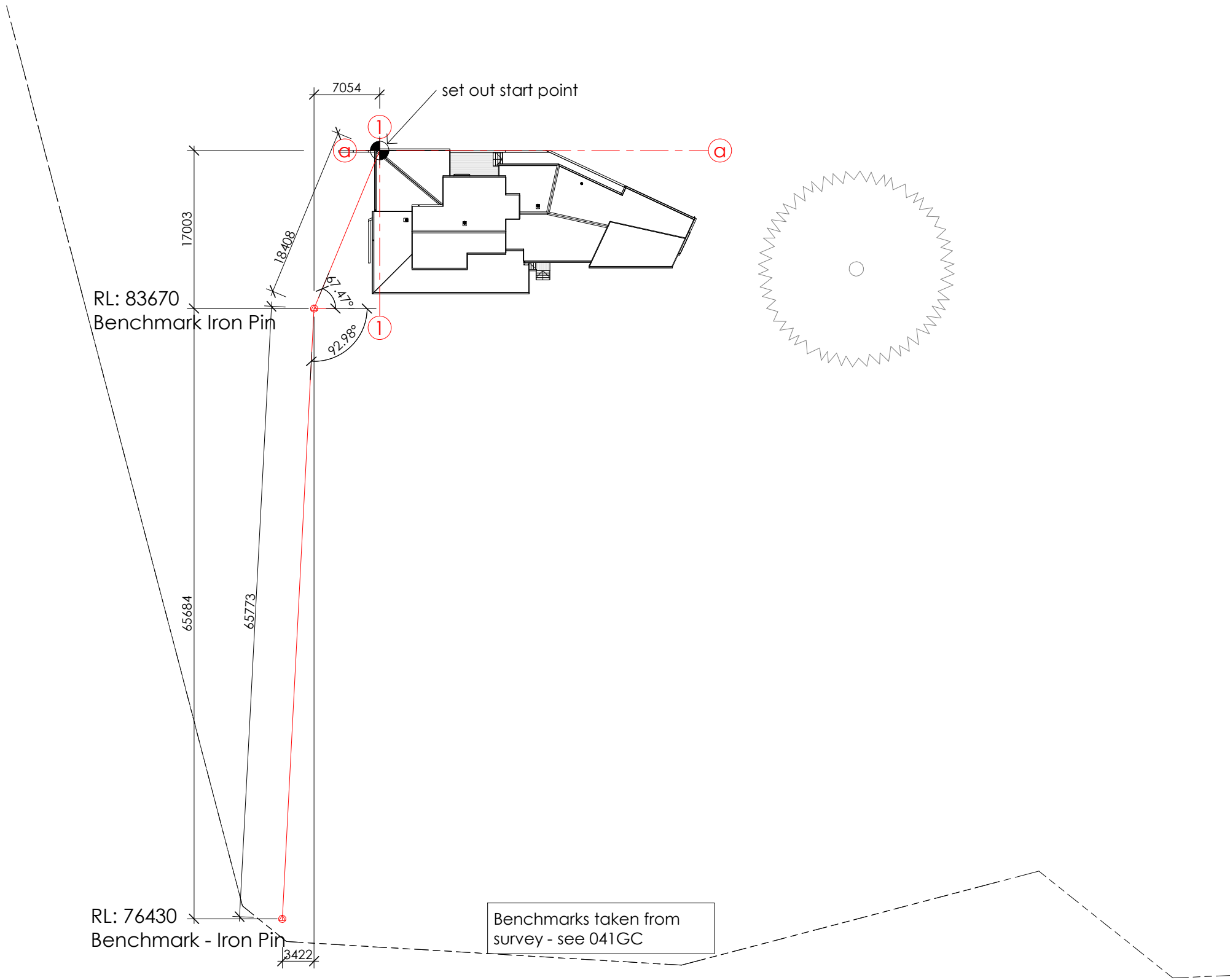
**Cut and Fill Plan**

Job No  
**XXXXyyy**

Dwg No  
**103SP**

Issue  
**WD1**

Construction



N2/W33N

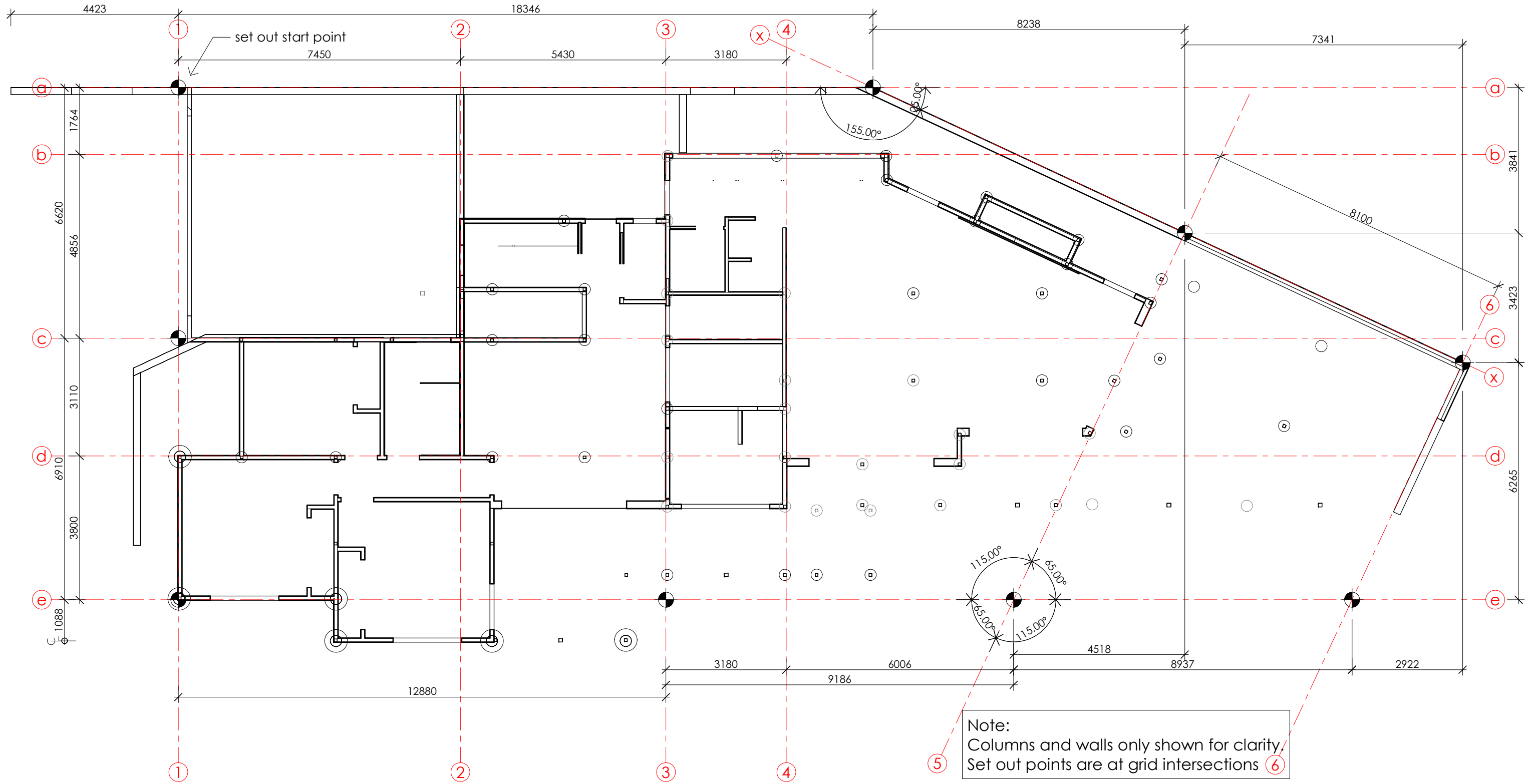
**New Residence**

at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

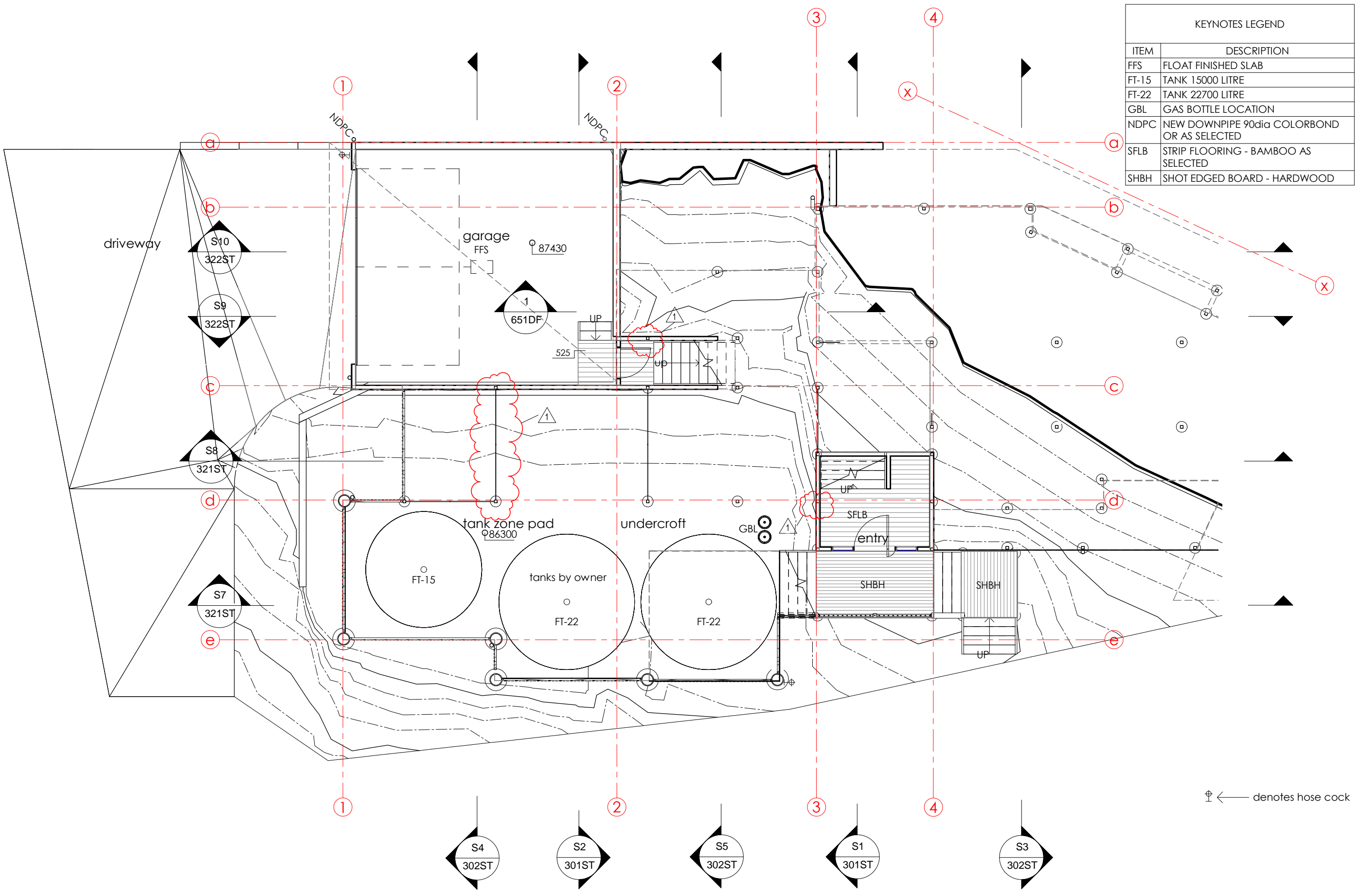
**Set out diagram**

Construction





KEYNOTES LEGEND	
ITEM	DESCRIPTION
FFS	FLOAT FINISHED SLAB
FT-15	TANK 15000 LITRE
FT-22	TANK 22700 LITRE
GBL	GAS BOTTLE LOCATION
NDPC	NEW DOWNPIPE 90dia COLORBOND OR AS SELECTED
SFLB	STRIP FLOORING - BAMBOO AS SELECTED
SHBH	SHOT EDGED BOARD - HARDWOOD

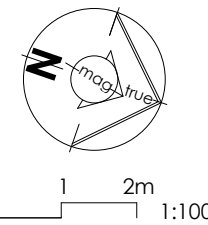


WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev	Date	Revision Description
1	10.03.14	Eng+Owner revisions

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**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Garage Floor Plan**  
 Construction

Scale at A3  
 1 : 100

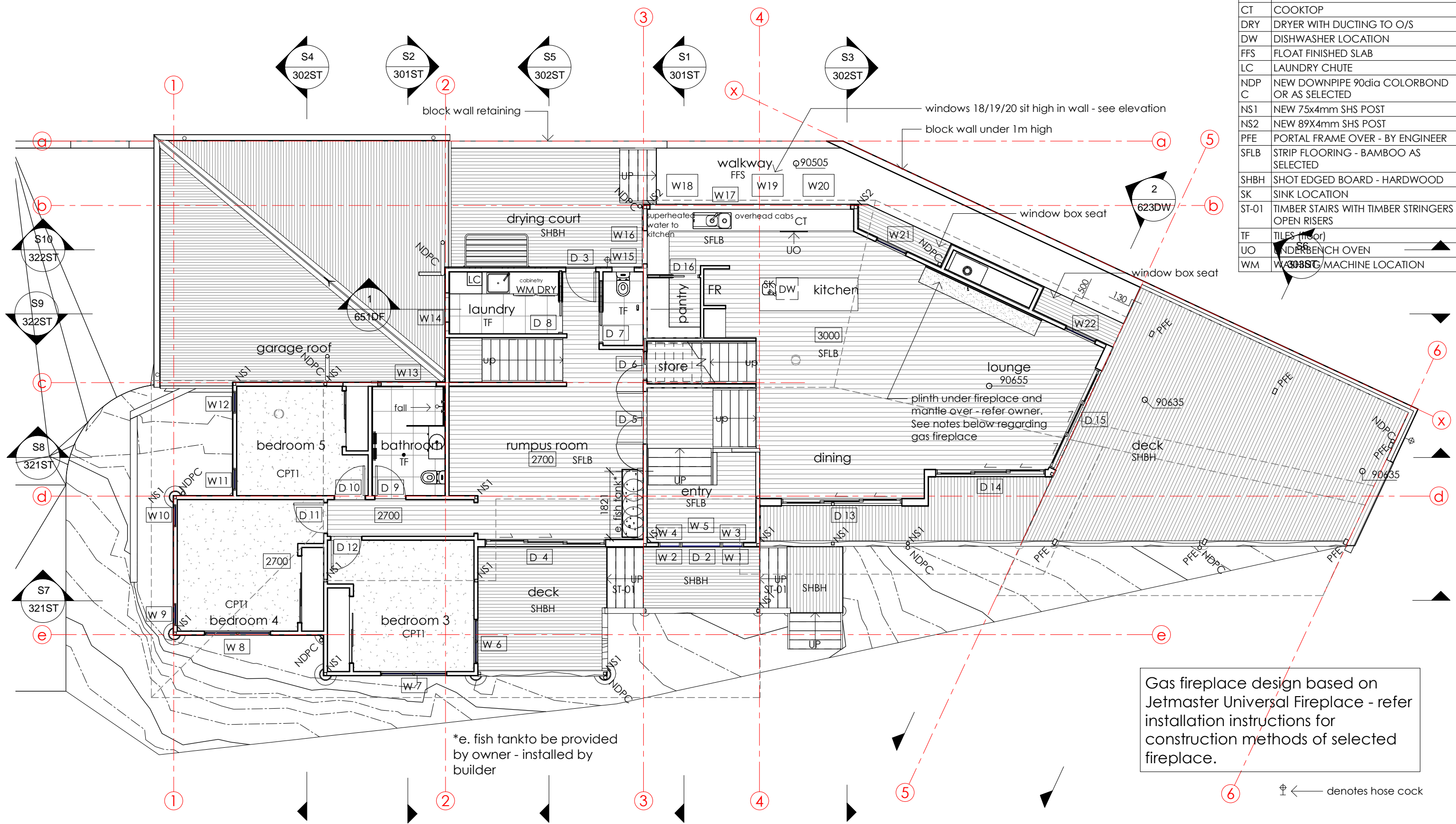
Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**

Dwg No  
**110FP**

Issue  
**WD3**

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CPT1	CARPET - AS SELECTED
CT	COOKTOP
DRY	DRYER WITH DUCTING TO O/S
DW	DISHWASHER LOCATION
FFS	FLOAT FINISHED SLAB
LC	LAUNDRY CHUTE
NDP	NEW DOWNPIPE 90dia COLORBOND OR AS SELECTED
NS1	NEW 75x4mm SHS POST
NS2	NEW 89x4mm SHS POST
PFE	PORTAL FRAME OVER - BY ENGINEER
SFLB	STRIP FLOORING - BAMBOO AS SELECTED
SHBH	SHOT EDGED BOARD - HARDWOOD
SK	SINK LOCATION
ST-01	TIMBER STAIRS WITH TIMBER STRINGERS OPEN RISERS
TF	TILES (floor)
UO	UNDERBENCH OVEN
WM	WASHER/MACHINE LOCATION



Gas fireplace design based on Jetmaster Universal Fireplace - refer installation instructions for construction methods of selected fireplace.

\*e. fish tank to be provided by owner - installed by builder

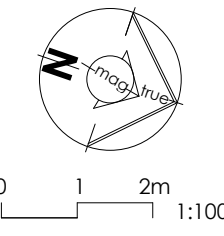
⊕ ← denotes hose cock

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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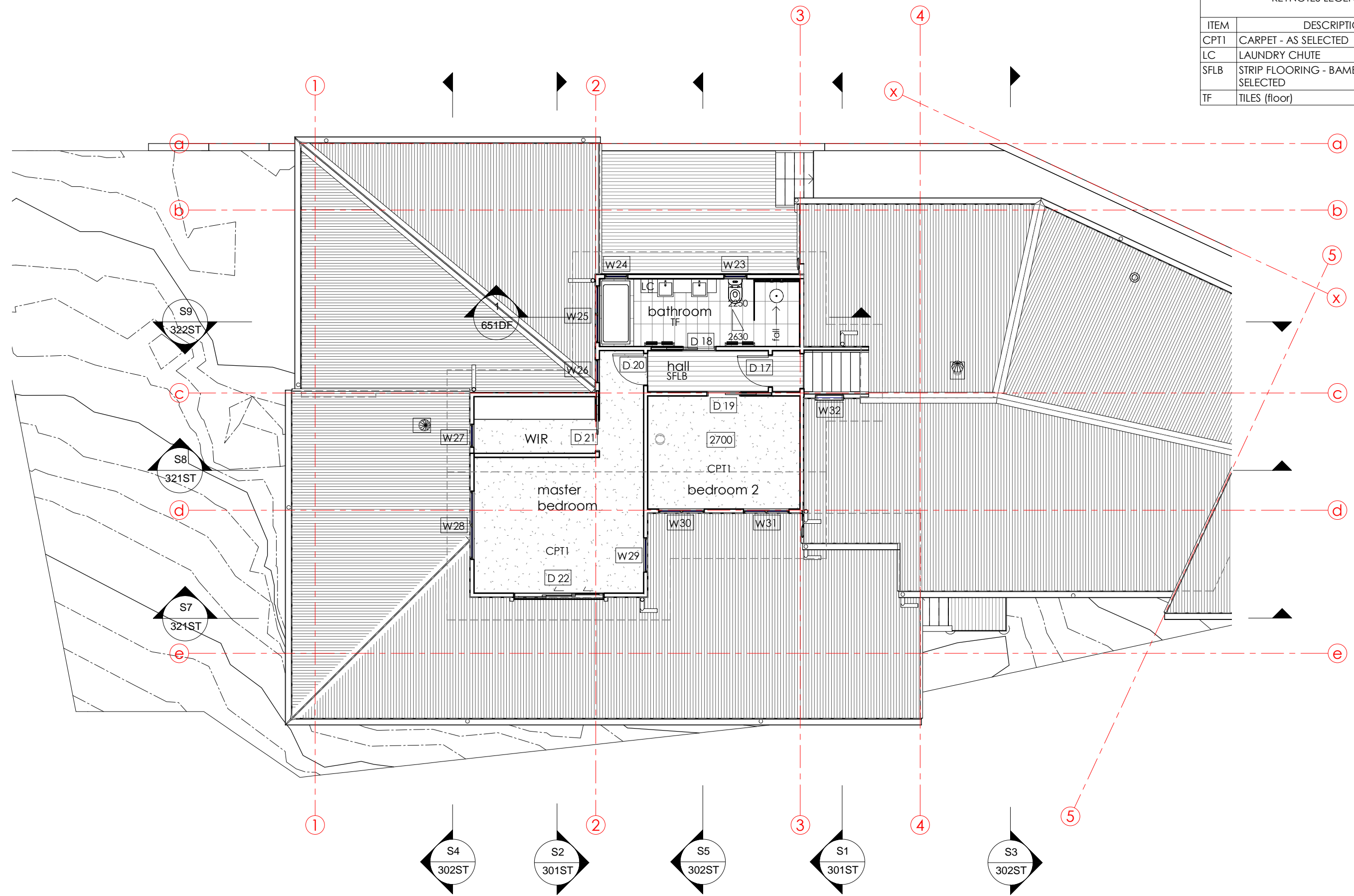


**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**1st & 2nd Floor Plan**  
 Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL  
 Job No  
**XXXXyy**  
 Dwg No  
**111FP**  
 Issue  
**WD3**

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CPT1	CARPET - AS SELECTED
LC	LAUNDRY CHUTE
SFLB	STRIP FLOORING - BAMBOO AS SELECTED
TF	TILES (floor)

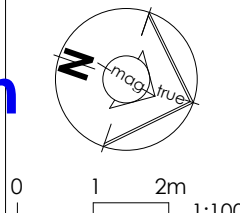


WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



ABN 39 010 895 682  
 p 07 3356 9051  
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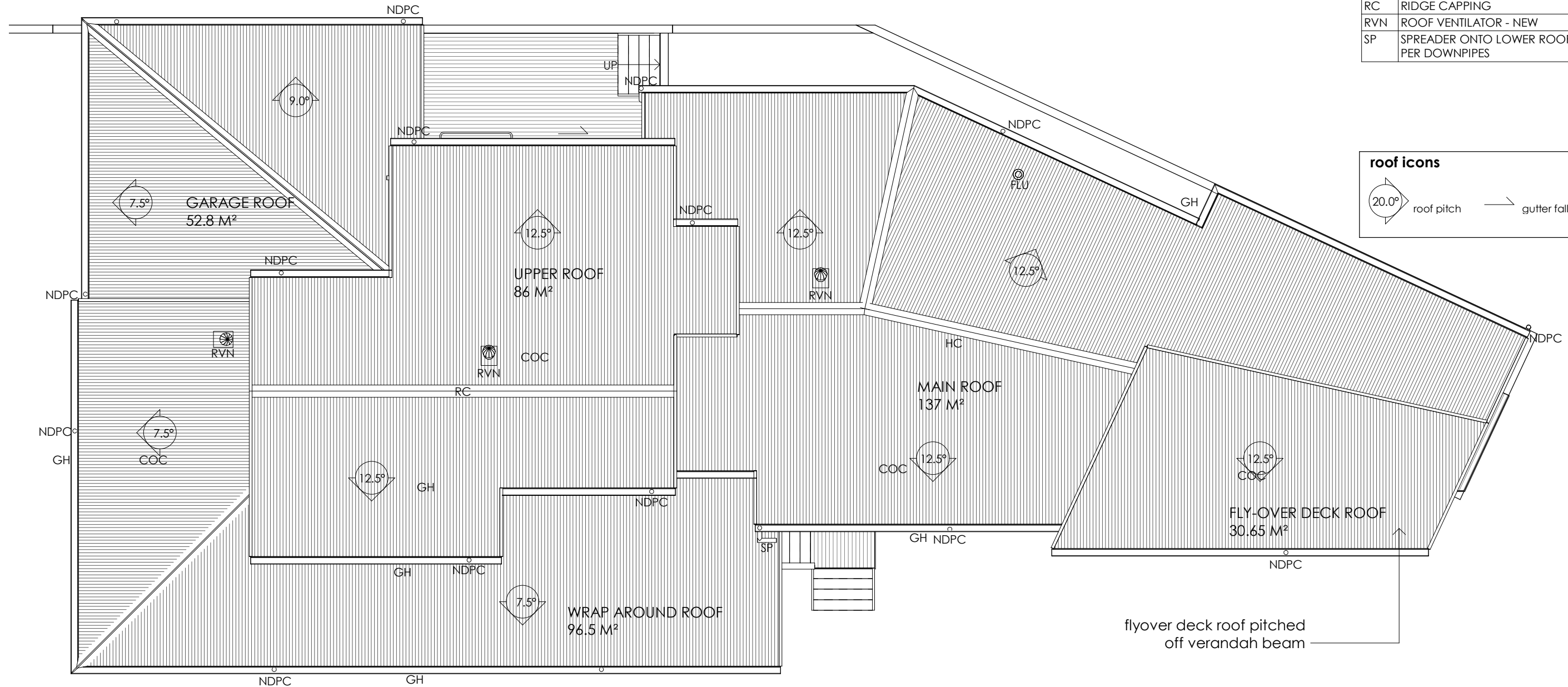
**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**3rd Floor Plan**  
 Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**  
 Dwg No  
**113FP**  
 Issue  
**WD3**

KEYNOTES LEGEND	
ITEM	DESCRIPTION
COC	CUSTOMORB - COLORBOND
FLU	FLUE WITH FLASHING
GH	GUTTER - HALF ROUND 150
HC	HIP CAPPING
NDP	NEW DOWNPIPE 90dia COLORBOND
C	OR AS SELECTED
RC	RIDGE CAPPING
RVN	ROOF VENTILATOR - NEW
SP	SPREADER ONTO LOWER ROOF - AS PER DOWNPIPES



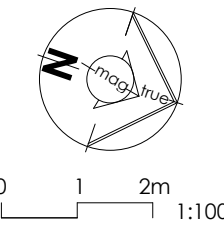
WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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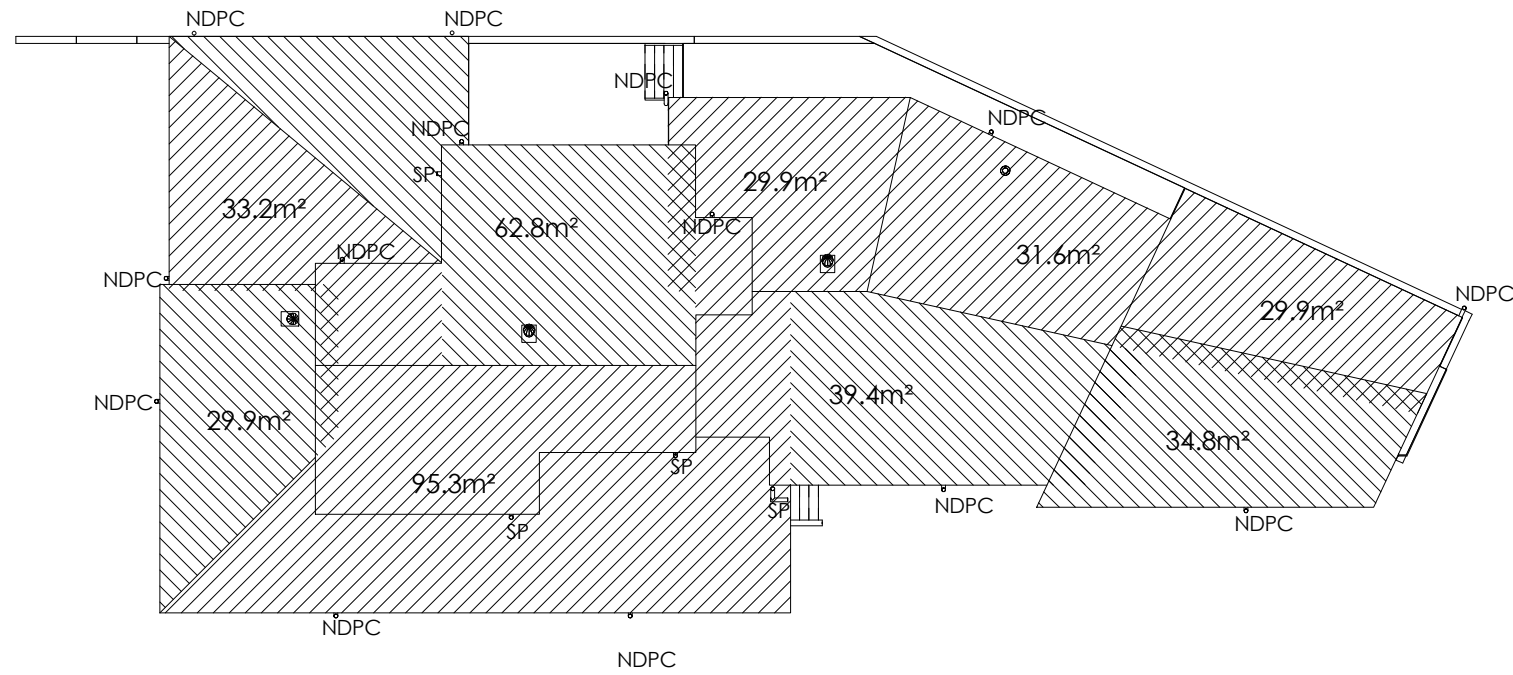


**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

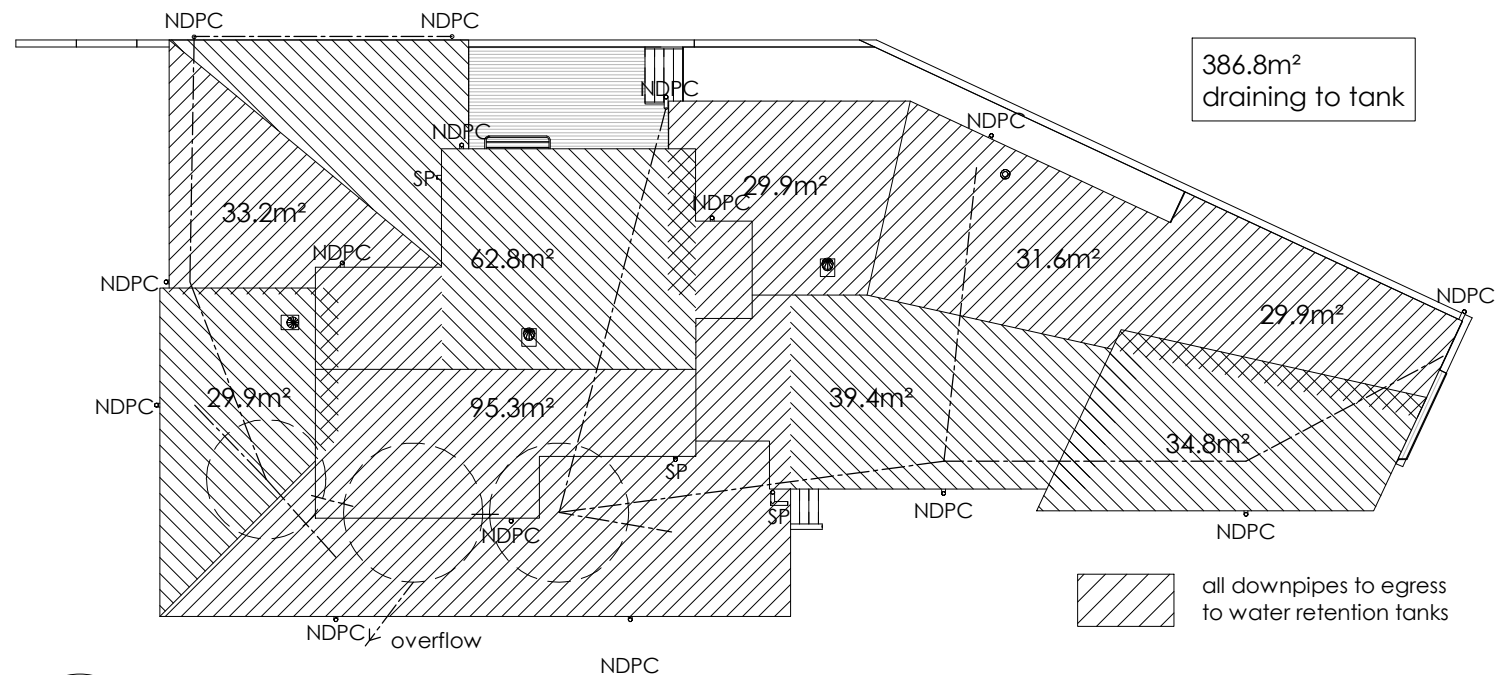
**Roof Plan**  
 Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**  
 Dwg No  
**131RP**  
 Issue  
**WD1**



**1** roof plan - drainage  
1 : 200



**2** rainwater catchment plan  
1 : 200

KEYNOTES LEGEND	
ITEM	DESCRIPTION
NDPC	NEW DOWNPIPE 90dia COLORBOND OR AS SELECTED
SP	SPREADER ONTO LOWER ROOF - AS PER DOWNPIPES source NCC

**roof water drainage**

as per part 3.5.2 of the NCC, the roof area per downpipe is calculated using the Stramit Qld quad eaves gutter with an effective cross-sectional area of 8100 sq mm & a rainfall intensity of 251mm/h, achieving a maximum roof catchment area per downpipe of 50 sqm.

as per part 3.1.2 of the NCC, in accordance with AS/NZS 3500.3.2, UPVC stormwater pipeline having a smooth (non-profiled) internal bore with a fall of 1:100 min. and a nominal diameter of 100mm achieves a hydraulic capacity of 8l/s, giving a max roof catchment area of 114.7 sqm per stormwater pipe.

**Rainwater Tanks - Class 1 buildings**

Refer Sustainability Notes in this set.  
And Queensland Development Code (QDC) Part MP 4.2.

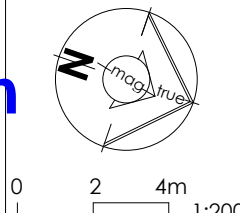
WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

Rev Date Revision Description



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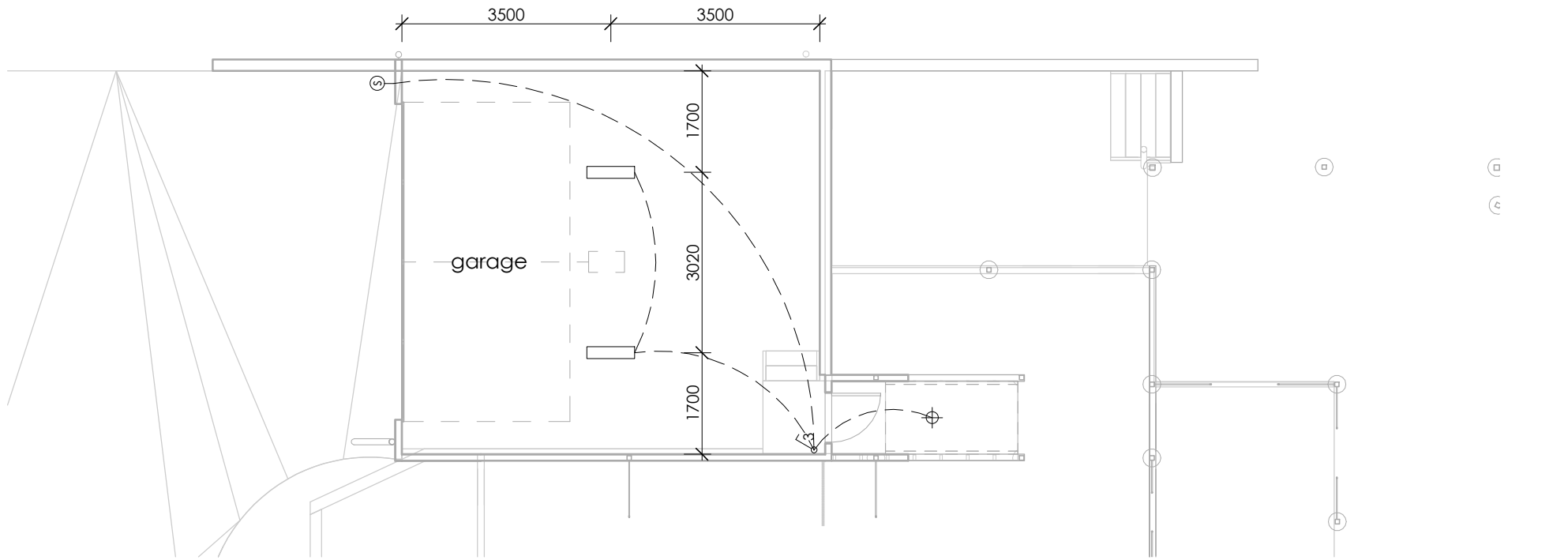
ABN 39 010 895 682  
p 07 3356 9051  
f 07 3356 9071  
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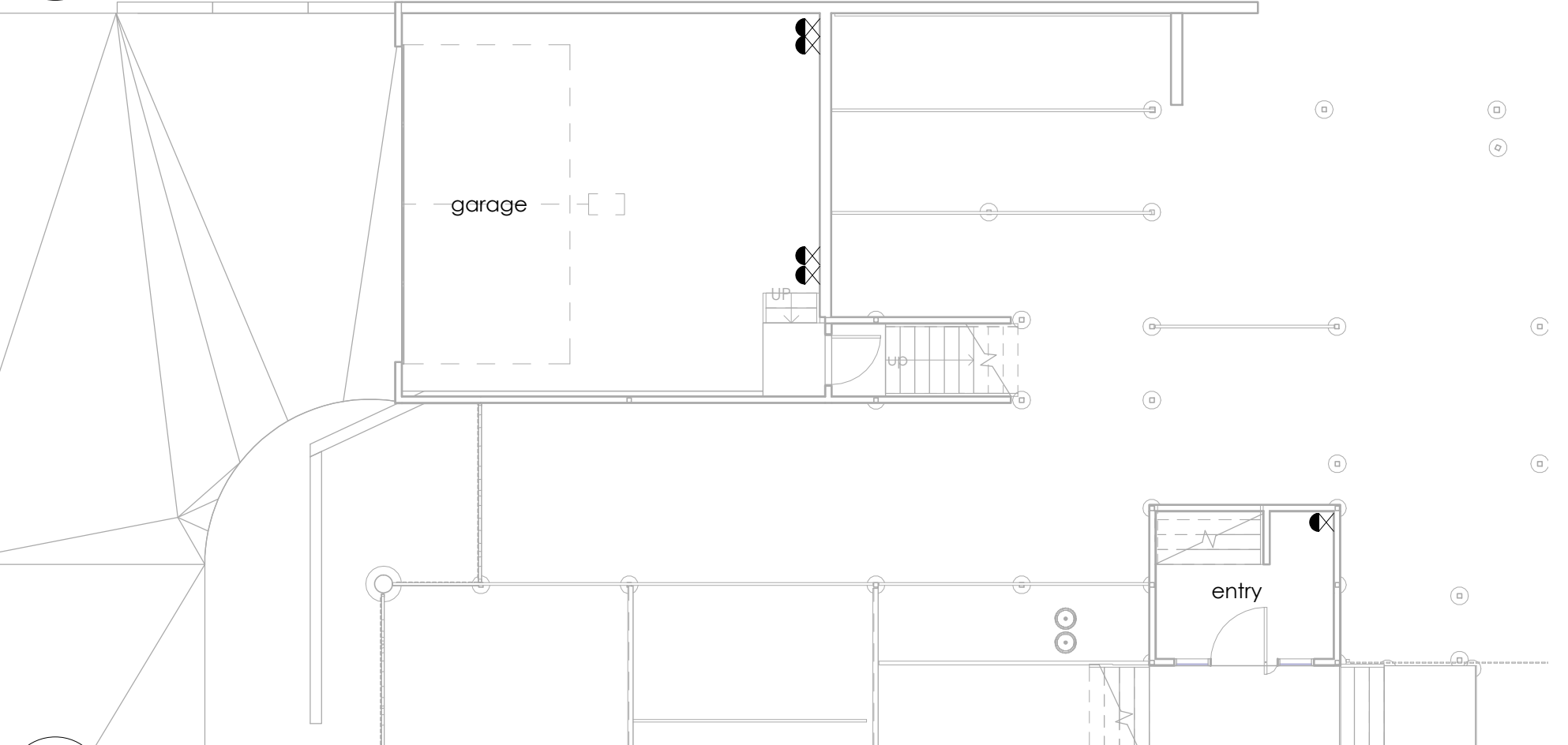
**New Residence**  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Roof Drainage  
Diagrams**  
Construction

Scale at A3  
1 : 200  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL  
Job No  
**XXXXyy**  
Dwg No  
**132RP**  
Issue  
**WD1**



**LL2 lighting ground RCP**  
1 : 100



**EL2 electrical ground**  
1 : 100

lighting plans are done as reflected ceiling plans combined with some fittings

refer owner for any air conditioning arrangements  
**speakers + smart wiring note:** refer owner for possible placement of speakers in ceiling and centralised control point. refer owner for potential use of smart wiring throughout building.  
note: provide power to all fixed appliances including dishwasher, stoves and ovens, fridges etc.

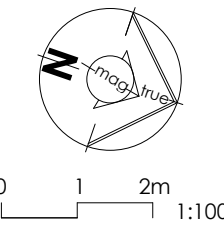
- electrics + services legend**
- distribution**  
 [cb] circuit board    [main switch board symbol]
- electrical ceiling items**  
 [exhaust fan symbol] exhaust fan    [s/a] smoke alarm  
 [fan symbol] fan    [heat/light unit symbol] heat/light unit  
 [speaker symbol] speaker
- lighting**  
 [downlight direct symbol] downlight direct  
 [downlight eyeball symbol] downlight eyeball  
 [external flood light symbol] external flood light  
 [fluorescent with diffuser symbol] fluorescent with diffuser  
 [fluorescent with diffuser - existing symbol] fluorescent with diffuser - existing  
 [fluorescent tube symbol] fluorescent tube  
 [paraflood symbol] paraflood    [exit light symbol] exit light  
 [pendant light symbol] pendant light    [wall up light symbol] wall up light  
 [sensor symbol] sensor    [wall mounted light symbol] wall mounted light
- power**  
 [GPO - double symbol] GPO - double    [GPO - existing symbol] GPO - existing  
 [GPO - single symbol] GPO - single  
 [GPO - underbench (double uno) symbol] GPO - underbench (double uno)    [GPO - waterproof (double uno) symbol] GPO - waterproof (double uno)  
 note: provide power to all fixed & movable appliances - eg cookers, ovens, dishwasher, microwave, fridges, ac, hws, pumps etc.
- sockets**  
 [telephone point symbol] telephone point    [tv aerial point symbol] tv aerial point  
 [computer point symbol] computer point    [cable tv point symbol] cable tv point
- switches**  
 [push button switch symbol] push button switch    [single light switch - 2 way symbol] single light switch - 2 way  
 [light switch (with no of switches) symbol] light switch (with no of switches)    [single light switch - dimmer symbol] single light switch - dimmer
- wall items**  
 [clock on wall symbol] clock on wall    [exhaust fan in wall symbol] exhaust fan in wall  
 [vacuum point symbol] vacuum point
- AC items**  
 ducted  
 [supply air - ceiling symbol] supply air - ceiling    [return air grille symbol] return air grille  
 [supply air - bulkhead symbol] supply air - bulkhead    [ac control on wall symbol] ac control on wall  
 split  
 [supply air - wall symbol] supply air - wall    [compressor symbol] compressor
- plumbing items**  
 [tap for hose symbol] tap for hose    [tap for hose, quarter turn symbol] tap for hose, quarter turn
- notes**  
 confirm position of items with owner.  
 uno - switches at 1150 above finished floor and outlets and sockets at 200 above finished floor.

Issue	Date	Issue Description
WD1	06.02.14	Final Wkg Dwgs
PL1	13.12.13	Prelim Wkg Dwgs
DA1	11.12.13	D.A.
DD1	15.10.13	Design Development
SK1	18.09.13	Sketch Design

Rev	Date	Revision Description
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 Grange Qld 4051  
 QBSA 1055247

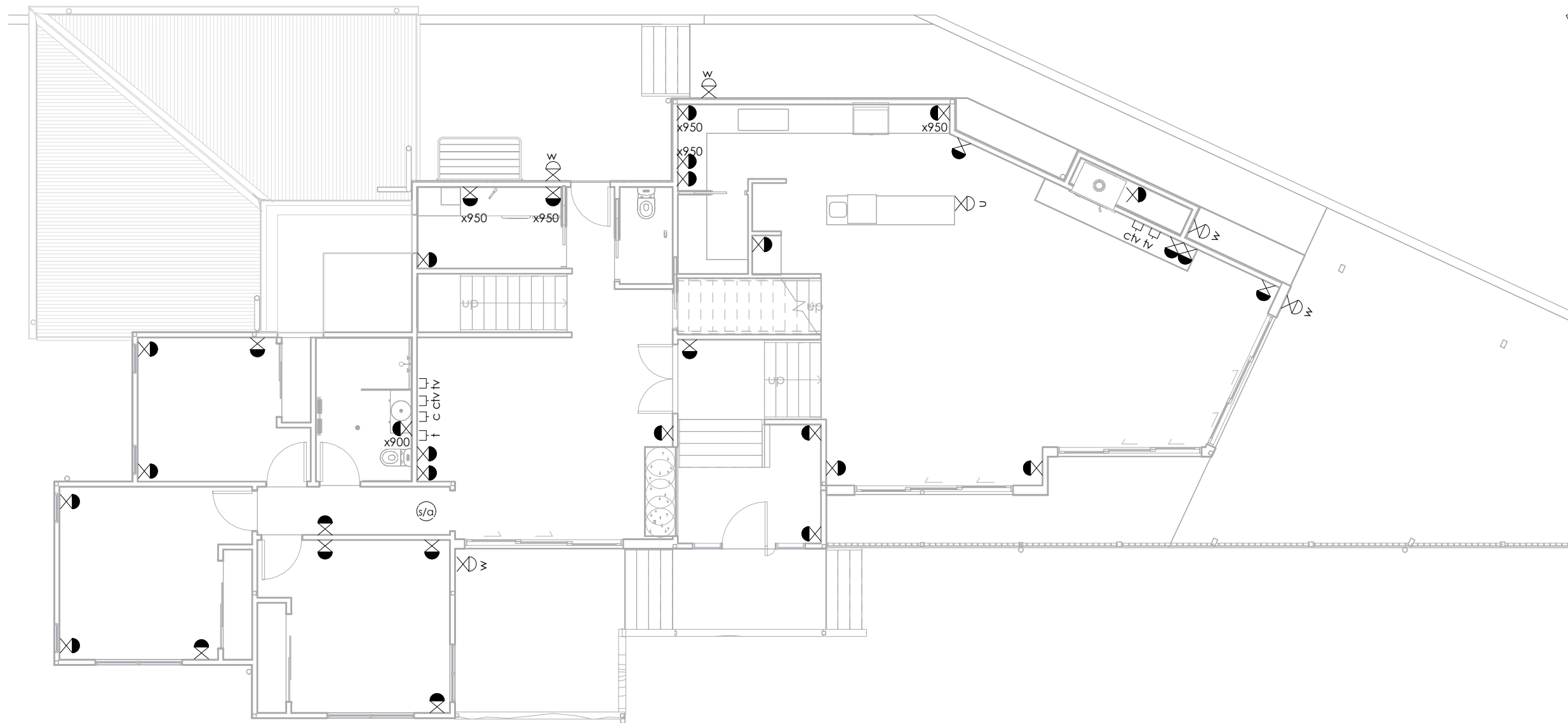
ABN 39 010 895 682  
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**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Ground Electrical Plan**  
 Construction

Scale at A3 1 : 100	Job No <b>XXXXYyy</b>
Designed ACB/PBL	Dwg No <b>150EP</b>
Drawn ACB	Issue <b>WD1</b>
Checked PBL	



- ### electrics + services legend
- distribution**
- cb circuit board
  - main switch board
- electrical ceiling items**
- exhaust fan
  - fan
  - smoke alarm
  - heat/light unit
  - speaker
- lighting**
- downlight direct
  - downlight eyeball
  - external flood light
  - fluorescent with diffuser
  - fluorescent with diffuser - existing
  - fluorescent tube
  - paraflood
  - pendant light
  - sensor
  - exit light
  - wall up light
  - wall mounted light
- power**
- GPO - double
  - GPO - single
  - GPO - underbench (double uno)
  - GPO - existing
  - GPO - waterproof (double uno)
- note:** provide power to all fixed & movable appliances - eg cookers, ovens, dishwasher, microwave, fridges, ac, hws, pumps etc.
- sockets**
- telephone point
  - computer point
  - tv aerial point
  - cable tv point
- switches**
- push button switch
  - light switch (with no of switches)
  - single light switch - 2 way
  - single light switch - dimmer
- wall items**
- clock on wall
  - vacuum point
  - exhaust fan in wall
- AC items**
- ducted**
- supply air - ceiling
  - supply air - bulkhead
  - supply air - wall
  - return air grille
  - ac control on wall
  - compressor
- plumbing items**
- tap for hose
  - tap for hose, quarter turn
- notes**
- confirm position of items with owner.  
 uno - switches at 1150 above finished floor and outlets and sockets at 200 above finished floor.

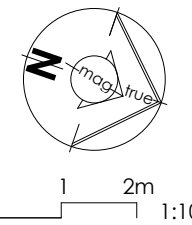
**EL3** electrical lower floors  
 1 : 100

**speakers + smart wiring note:**  
 refer owner for possible placement of speakers in ceiling and centralised control point.  
 refer owner for potential use of smart wiring throughout building.

**note:** provide power to all fixed appliances including dishwasher, stoves and ovens, fridges etc.

WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Lower Floors Electrical Plan**  
 Construction

Scale at A3  
 1 : 100

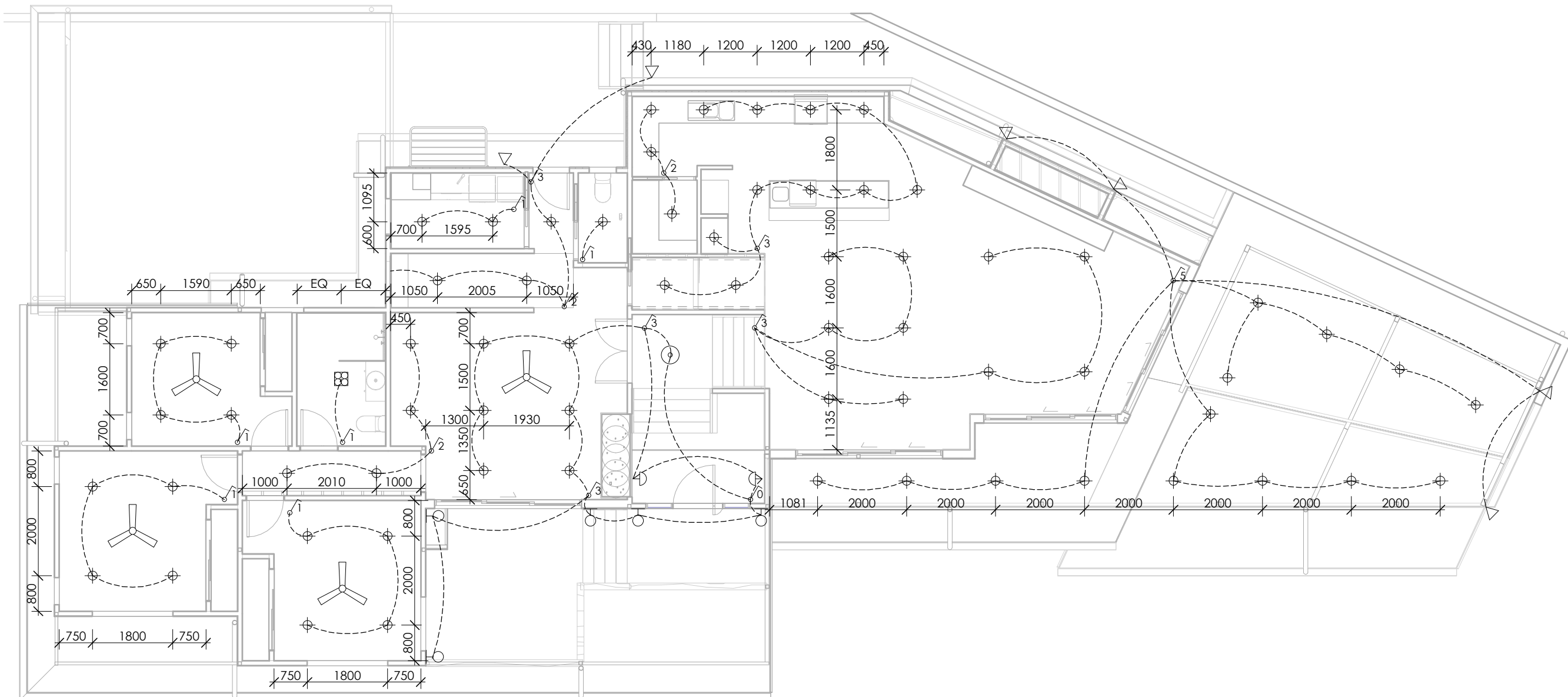
Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyy**

Dwg No  
**151EP**

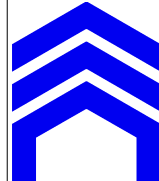
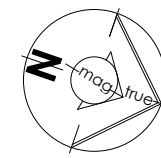
Issue  
**WD1**





**EL4** lighting lower floors RCP  
1 : 100

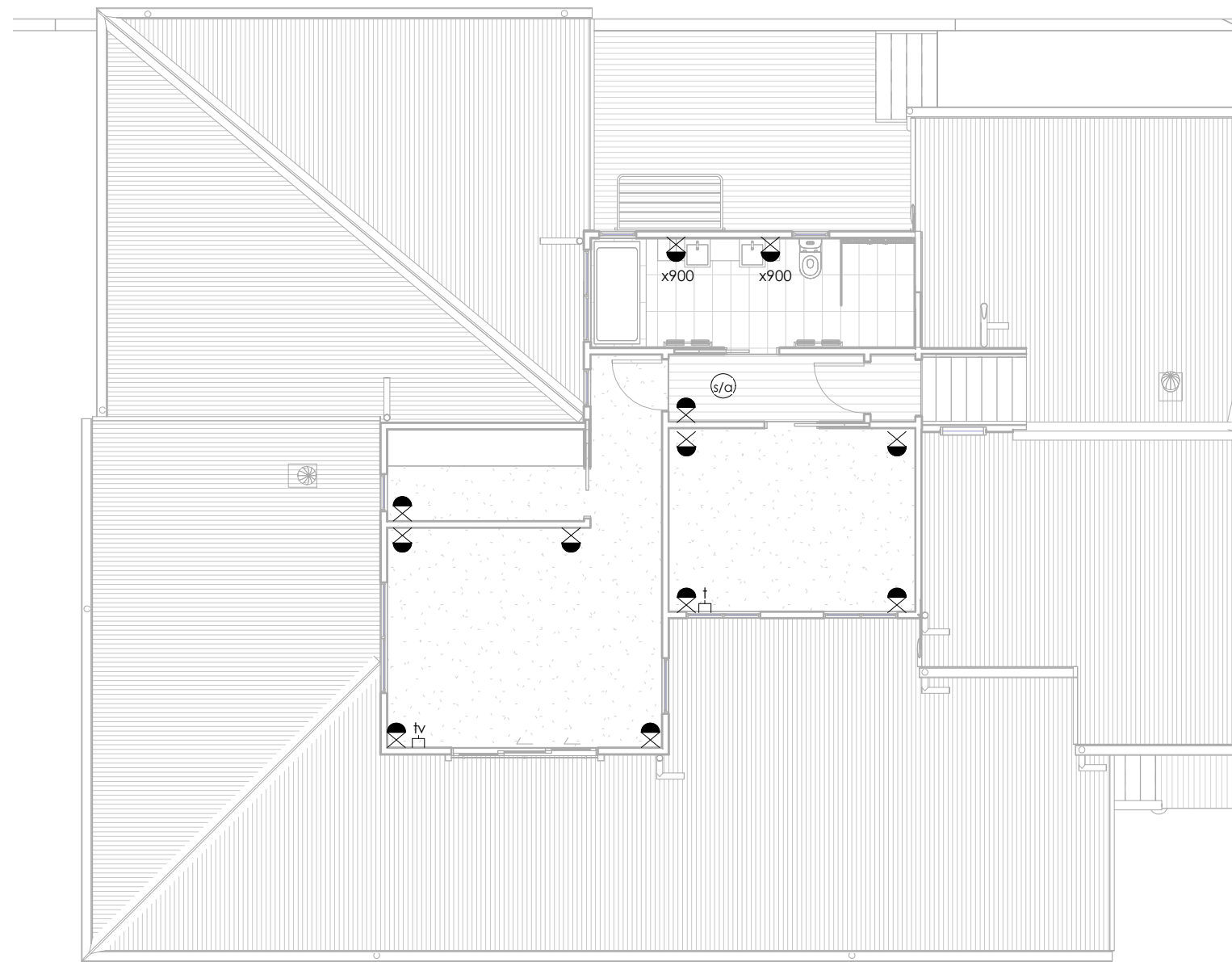
Refer Lower Floor Electrical plan  
for Legends and notes

<p>WD1 06.02.14 Final Wkg Dwgs PL1 13.12.13 Prelim Wkg Dwgs DA1 11.12.13 D.A. DD1 15.10.13 Design Development SK1 18.09.13 Sketch Design Issue Date Issue Description</p>	<p>Rev Date Revision Description</p>	 <p><b>latemore design</b> Latemore Design Pty Ltd © 59 Chermide St Grange Qld 4051 QBSA 1055247</p> <p>ABN 39 010 895 682 p 07 3356 9051 f 07 3356 9071 www.latemoredesign.com.au</p>	 <p>0 1 2m 1:100</p>	<p><b>New Residence</b> at 00 Long Rd Acreage Suburb 4000 for Fun Clients</p>	<p><b>Lower Floors Lighting Plan</b>  Construction</p>	<p>Scale at A3 1 : 100 Designed ACB/PBL Drawn ACB Checked PBL</p>	<p>Job No <b>XXXXyyy</b> Dwg No <b>152EP</b> Issue <b>WD1</b></p>
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### electrics + services legend

- distribution**
- cb circuit board
  - main switch board
- electrical ceiling items**
- exhaust fan
  - fan
  - smoke alarm
  - heat/light unit
  - speaker
- lighting**
- downlight direct
  - downlight eyeball
  - external flood light
  - fluorescent with diffuser
  - fluorescent with diffuser - existing
  - fluorescent tube
  - paraflood
  - pendant light
  - sensor
  - exit light
  - wall up light
  - wall mounted light
- power**
- GPO - double
  - GPO - single
  - GPO - underbench (double uno)
  - GPO - existing
  - GPO - waterproof (double uno)
- note: provide power to all fixed & movable appliances - eg cookers, ovens, dishwasher, microwave, fridges, ac, hws, pumps etc.
- sockets**
- telephone point
  - computer point
  - tv aerial point
  - cable tv point
- switches**
- push button switch
  - light switch (with no of switches)
  - single light switch - 2 way
  - single light switch - dimmer
- wall items**
- clock on wall
  - vacuum point
  - exhaust fan in wall
- AC items**
- ducted**
- supply air - ceiling
  - supply air - bulkhead
  - supply air - wall
  - return air grille
  - ac control on wall split
  - compressor
- plumbing items**
- tap for hose
  - tap for hose, quarter turn

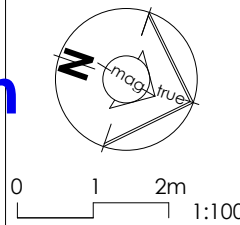
80% by floor area of lighting is to be energy efficient fittings, eg cfl or led



EL5 3rd level electrical  
1 : 100

WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

Rev Date Revision Description



**New Residence**  
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for Fun Clients

**3rd Electrical Plan**  
Construction

Scale at A3  
1 : 100

Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

Job No  
**XXXXyy**

Dwg No  
**153EP**

Issue  
**WD1**

## electrics + services legend

### distribution

cb circuit board    main switch board

### electrical ceiling items

⊠ exhaust fan    s/a smoke alarm  
 fan fan    heat/light unit  
 speaker speaker

### lighting

⊕ downlight direct  
 ⊕ downlight eyeball  
 △ external flood light  
 fluorescent with diffuser  
 e fluorescent with diffuser - existing  
 fluorescent tube  
 paraflood    exit light  
 pendant light    wall up light  
 sensor    wall mounted light

80% by floor area of lighting is to be energy efficient fittings, eg cfl or led

### power

GPO - double    GPO - existing  
 GPO - single  
 GPO - underbench (double uno)    GPO - waterproof (double uno)

note: provide power to all fixed & movable appliances - eg cookers, ovens, dishwasher, microwave, fridges, ac, hws, pumps etc.

### sockets

telephone point    tv aerial point  
 computer point    cable tv point

### switches

push button switch    single light switch - 2 way  
 light switch (with no of switches)    single light switch - dimmer

### wall items

clock on wall    exhaust fan in wall  
 vacuum point

### AC items

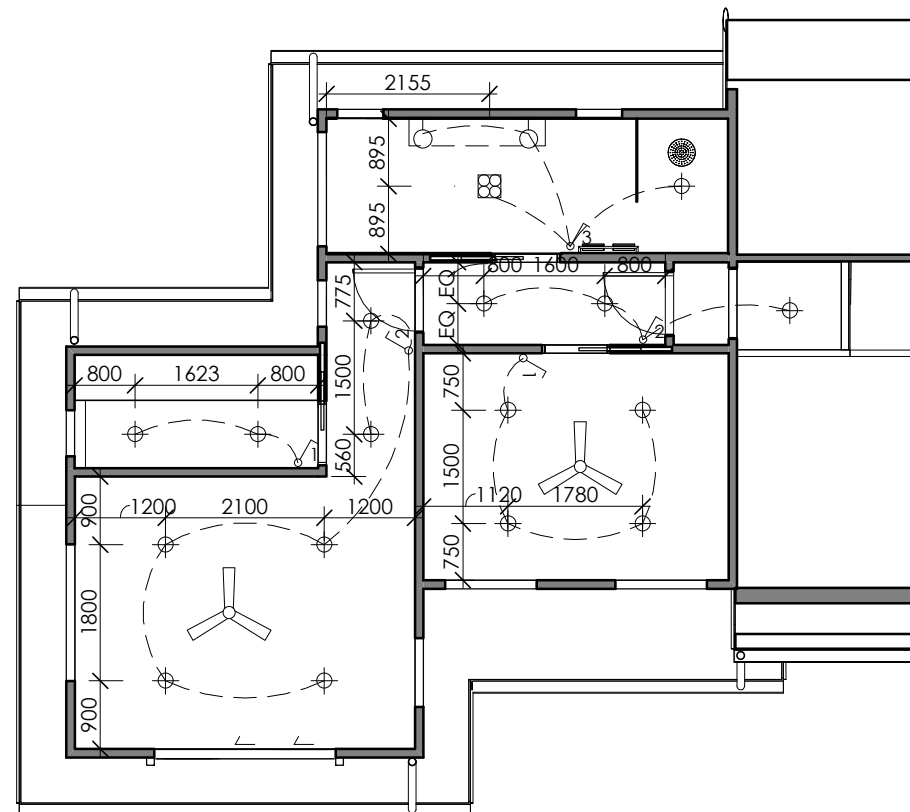
ducted  
 supply air - ceiling    return air grille  
 supply air - bulkhead    ac control on wall split  
 supply air - wall    compressor

### plumbing items

tap for hose    tap for hose, quarter turn

### notes

confirm position of items with owner.  
 uno - switches at 1150 above finished floor and outlets and sockets at 200 above finished floor.

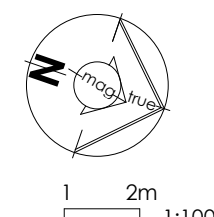


lighting plans are done as reflected ceiling plans combined with some fittings

EL6 3rd level lighting  
 1 : 100

WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description

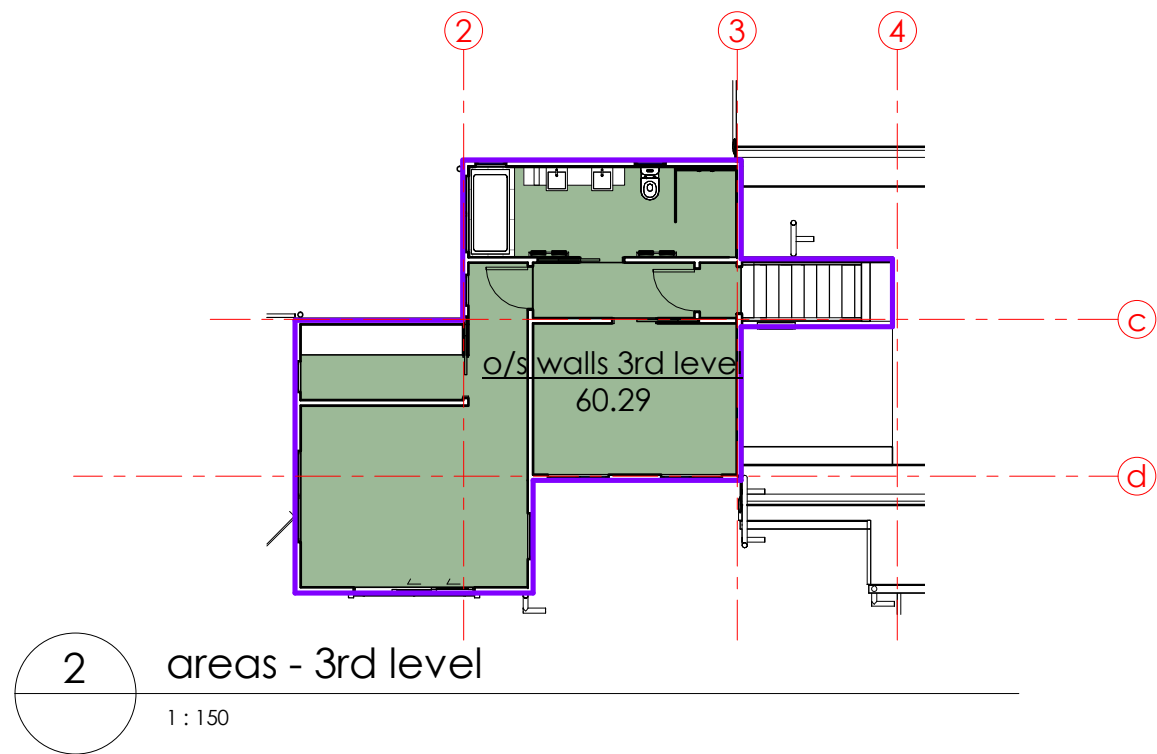


**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

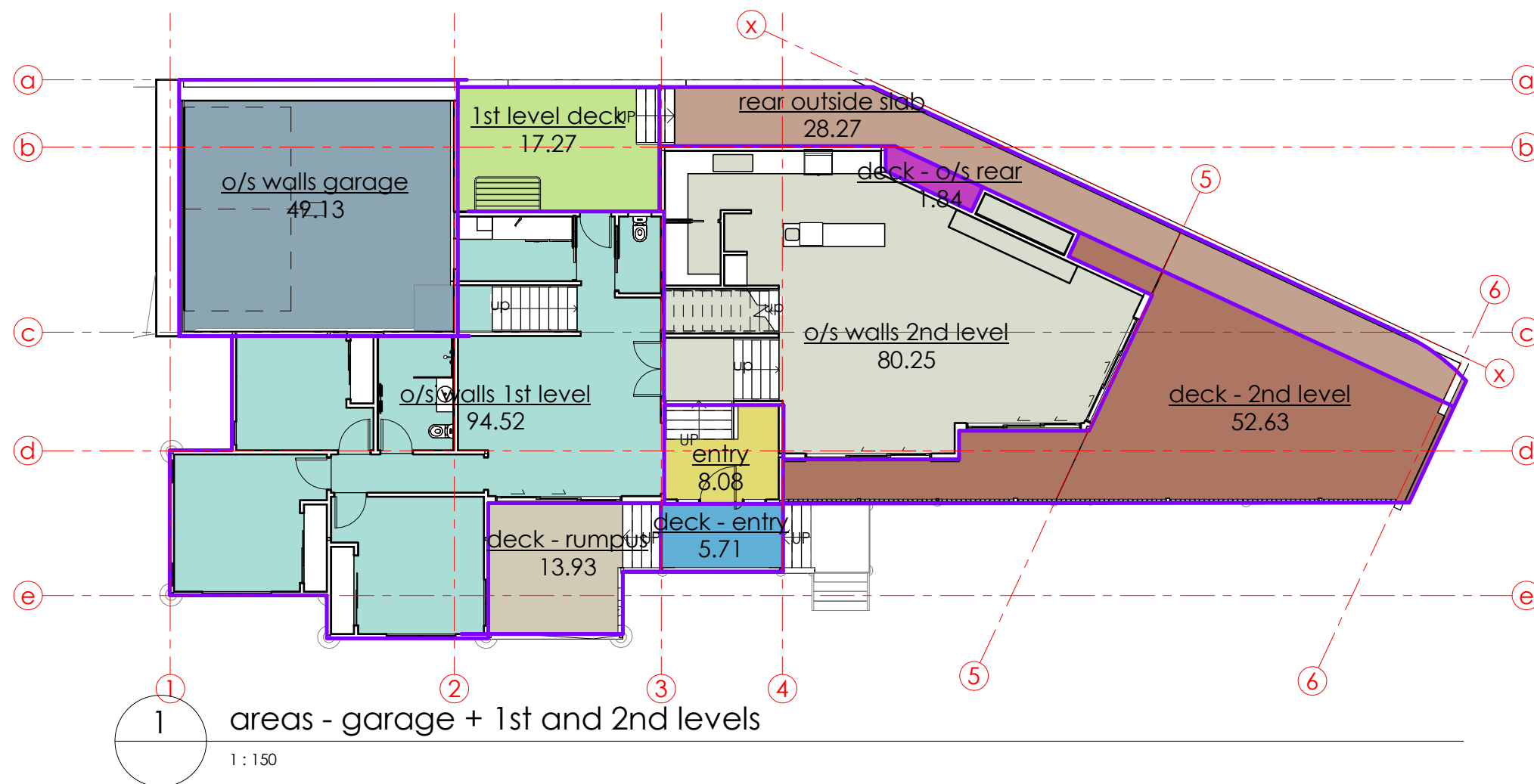
**3rd Lighting Plan**  
 Construction

Scale at A3  
 1 : 100  
 Designed ACB/PBL  
 Drawn ACB  
 Checked PBL

Job No  
**XXXXyy**  
 Dwg No  
**154EL**  
 Issue  
**WD1**



Area Schedule (New)		
level	name	area
deck		
1st level	deck - 2nd level	52.6 m <sup>2</sup>
1st level	deck - entry	5.7 m <sup>2</sup>
1st level	deck - o/s rear	1.8 m <sup>2</sup>
1st level	deck - rumpus	13.9 m <sup>2</sup>
		74.1 m <sup>2</sup>
o/s walls		
1st level	1st level deck	17.3 m <sup>2</sup>
1st level	entry	8.1 m <sup>2</sup>
1st level	o/s walls 1st level	94.5 m <sup>2</sup>
1st level	o/s walls 2nd level	80.3 m <sup>2</sup>
1st level	o/s walls garage	49.1 m <sup>2</sup>
3rd level	o/s walls 3rd level	60.3 m <sup>2</sup>
		309.5 m <sup>2</sup>
outer slab		
1st level	rear outside slab	28.3 m <sup>2</sup>
		28.3 m <sup>2</sup>
Grand total		411.9 m <sup>2</sup>



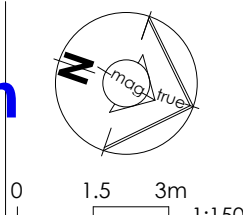
- 1st level deck
- deck - 2nd level
- deck - entry
- deck - o/s rear
- deck - rumpus
- entry
- o/s walls 1st level
- o/s walls 2nd level
- o/s walls 3rd level
- o/s walls garage
- rear outside slab

WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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### New Residence

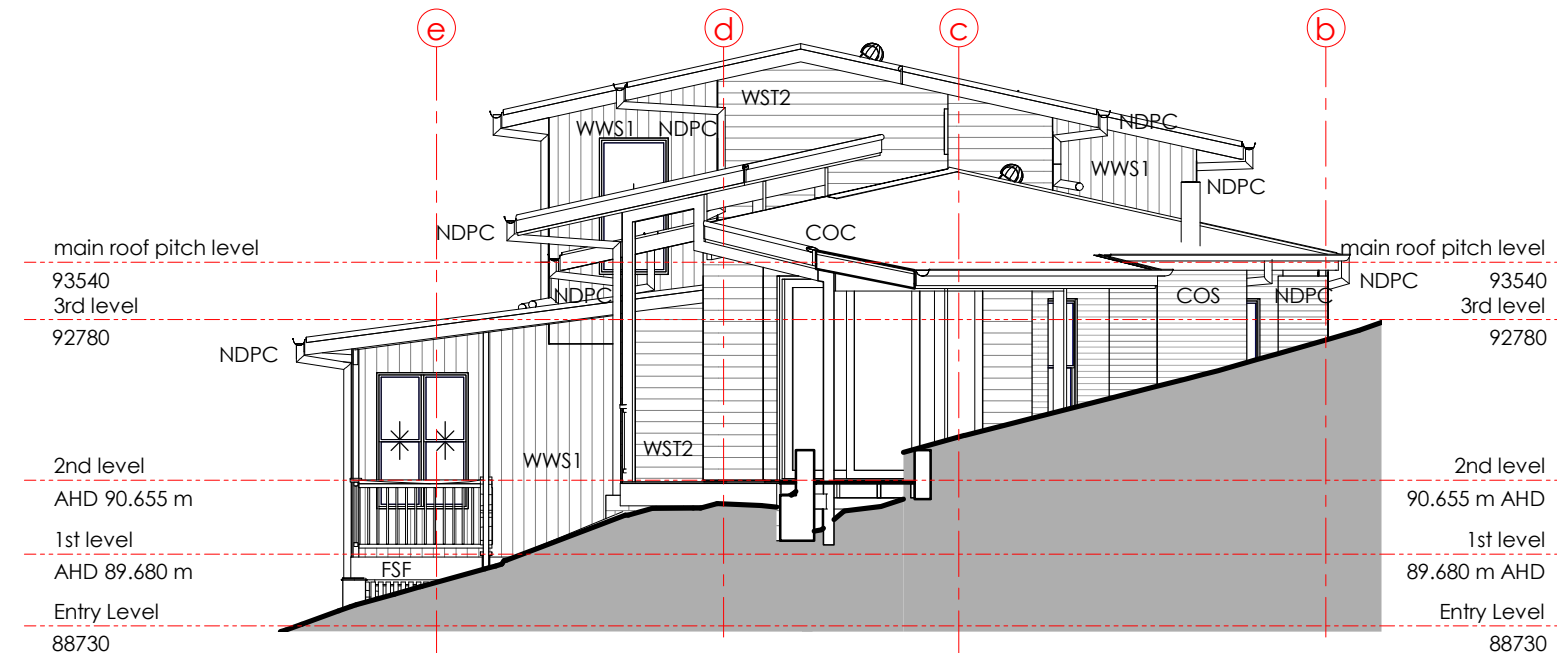
at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

### Area Plans

Construction

Scale at A3  
 1 : 150  
 Designed  
 ACB/PBL  
 Drawn  
 PBL  
 Checked  
 PBL

Job No  
**XXXXyyy**  
 Dwg No  
**171AP**  
 Issue  
**WD1**



**E1** proposed north elevation  
1 : 100

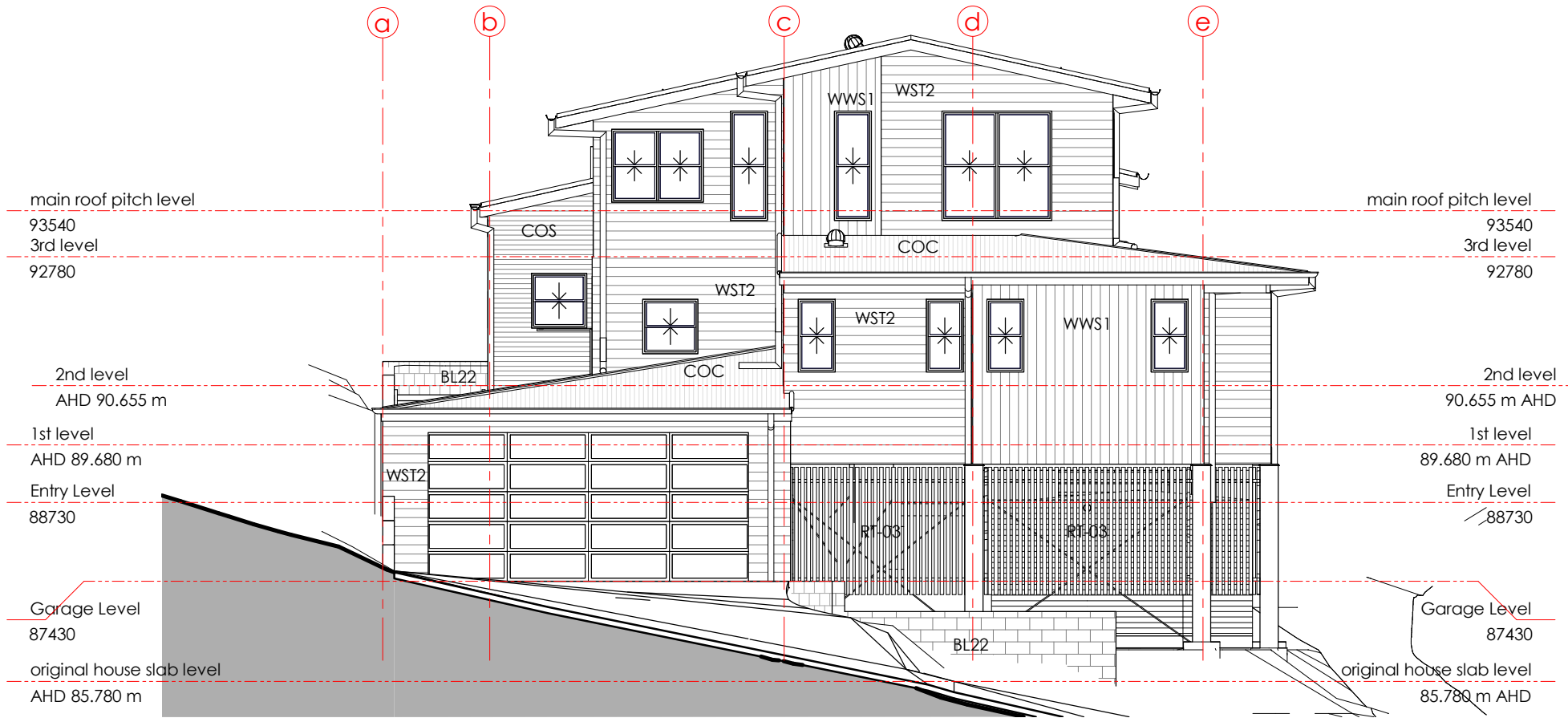
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
COC	CUSTOMORB - COLORBOND
COS	CUSTOMORB - SELECTED
FSF	FLOOR FASCIA TIMBER - TO MATCH FRAMING HEIGHT
NDP C	NEW DOWNPIPE 90dia COLORBOND OR AS SELECTED
RT-03	RAILINGS TIMBER VERTICAL BATTENS PAINTED/TO MEET AS 3837
WST2	WEATHERTEX SELFLOK TEXWOOD SMOOTH - PAINTED AS SPECIFIED
WWS 1	WEATHERTEX WEATHERGROOVE SMOOTH - PAINTED AS SPECIFIED

**notes:**  
all weathertex products comply with AS 3959 - 2009 and satisfy the requirements to achieve the specified BAL 19 level - refer Appendix A of Bushfire Management Report.

all glazing products to be supplied by AWS Architectural Systems, specified to meet BAL 19

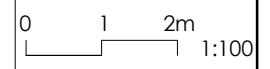
all openable windows to be screened with mesh to meet BAL 19. all doors to meet BAL 19 requirements.

eaves to be constructed of fibre cement with mesh vents to meet BAL 19. all other vents to be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3mm (see Clause 3.6), or are located in an external wall of a subfloor space



**E2** proposed south elevation  
1 : 100

WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design



Rev	Date	Revision Description
e		

Scale at A3  
1 : 100  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

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QBSA 1055247

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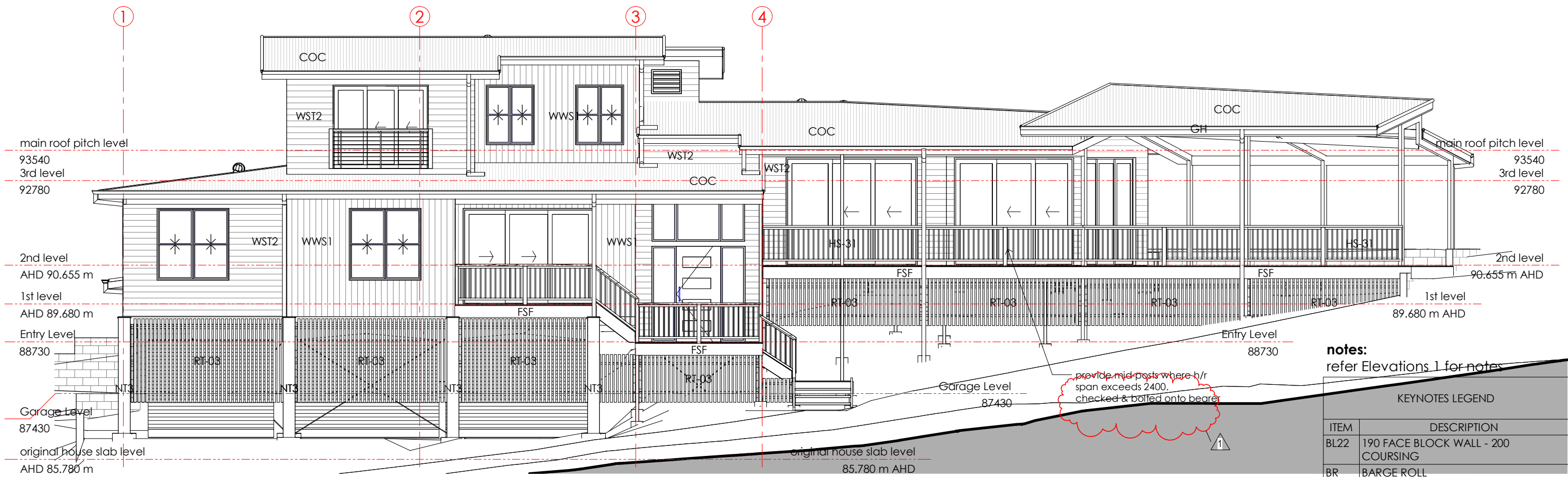
**New Residence**

at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Elevations 1 of 2**

Construction

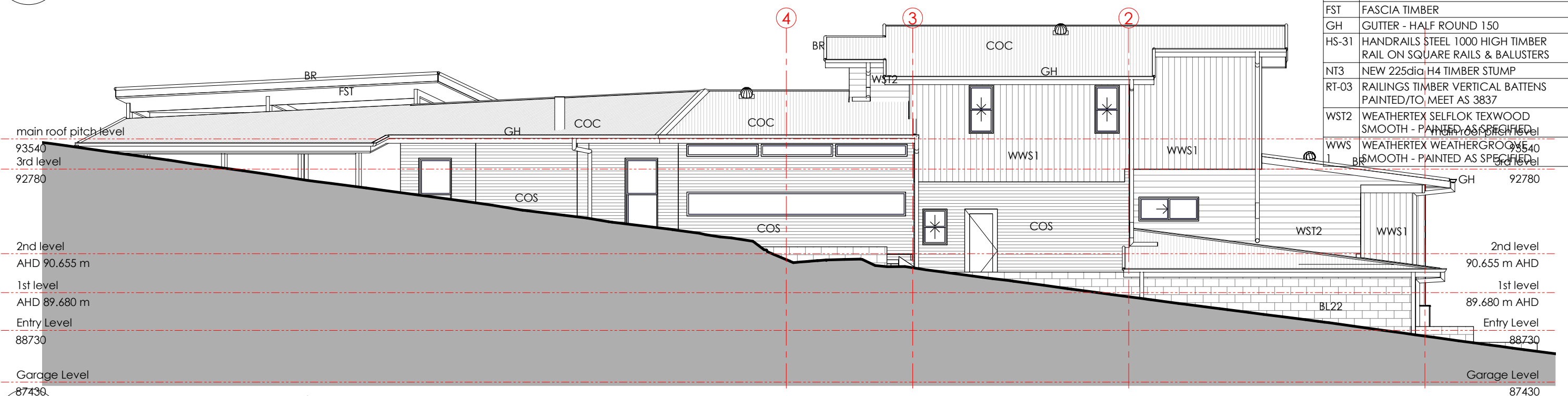
Job No  
**XXXXyyy**  
Dwg No  
**201EL**  
Issue  
**WD3**



**notes:**  
refer Elevations 1 for notes

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
BR	BARGE ROLL
COC	CUSTOMORB - COLORBOND
COS	CUSTOMORB - SELECTED
FSF	FLOOR FASCIA TIMBER - TO MATCH FRAMING HEIGHT
FST	FASCIA TIMBER
GH	GUTTER - HALF ROUND 150
HS-31	HANDRAILS STEEL 1000 HIGH TIMBER RAIL ON SQUARE RAILS & BALUSTERS
NT3	NEW 225dia H4 TIMBER STUMP
RT-03	RAILINGS TIMBER VERTICAL BATTENS PAINTED/TO MEET AS 3837
WST2	WEATHERTEX SELFLOK TEXWOOD SMOOTH - PAINTED AS SPECIFIED
WWS	WEATHERTEX WEATHERGROOVE SMOOTH - PAINTED AS SPECIFIED

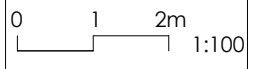
**E3** proposed east elevation  
1 : 100



**E4** proposed west elevation  
1 : 100

WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

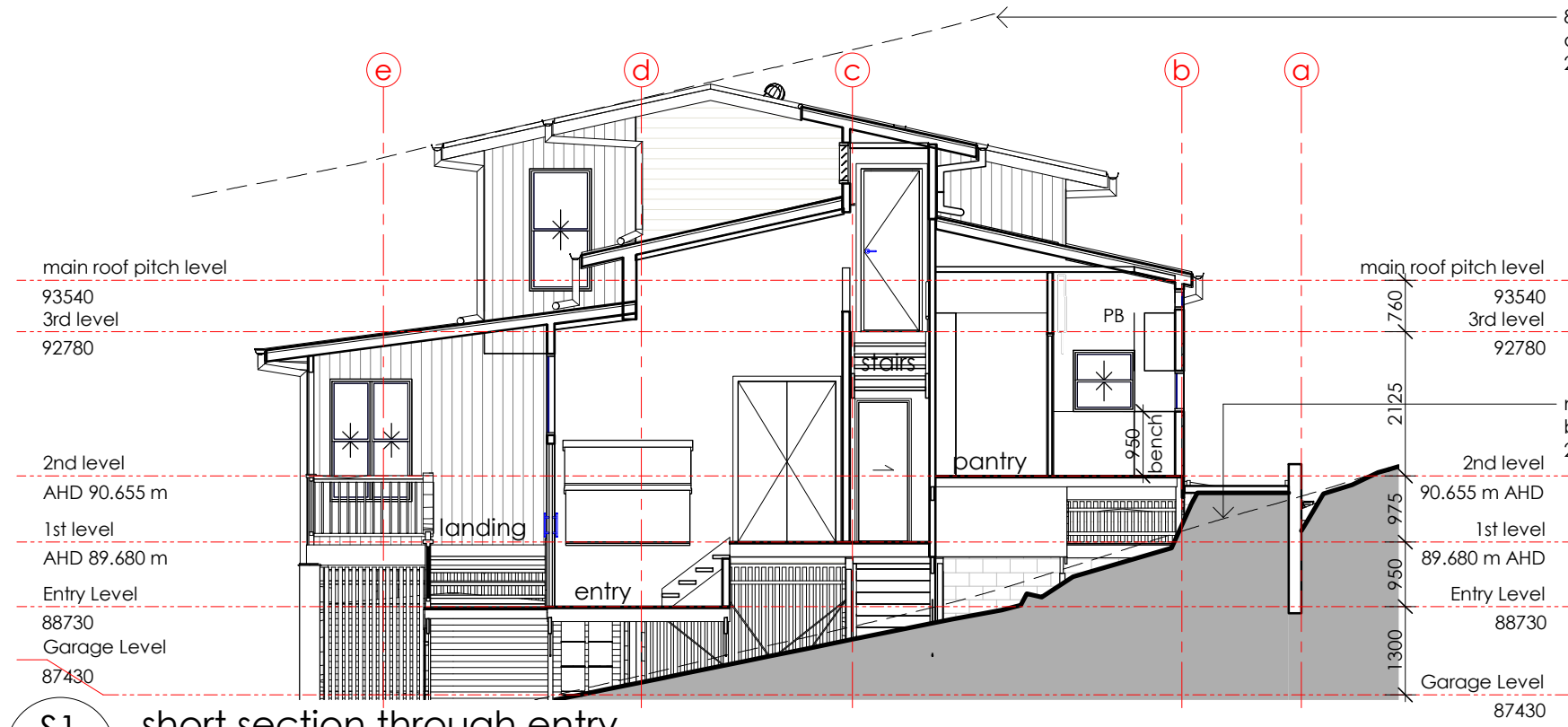
Rev	Date	Revision Description
1	10.03.14	Eng+Owner revisions



**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Elevations 2 of 2**  
 Construction

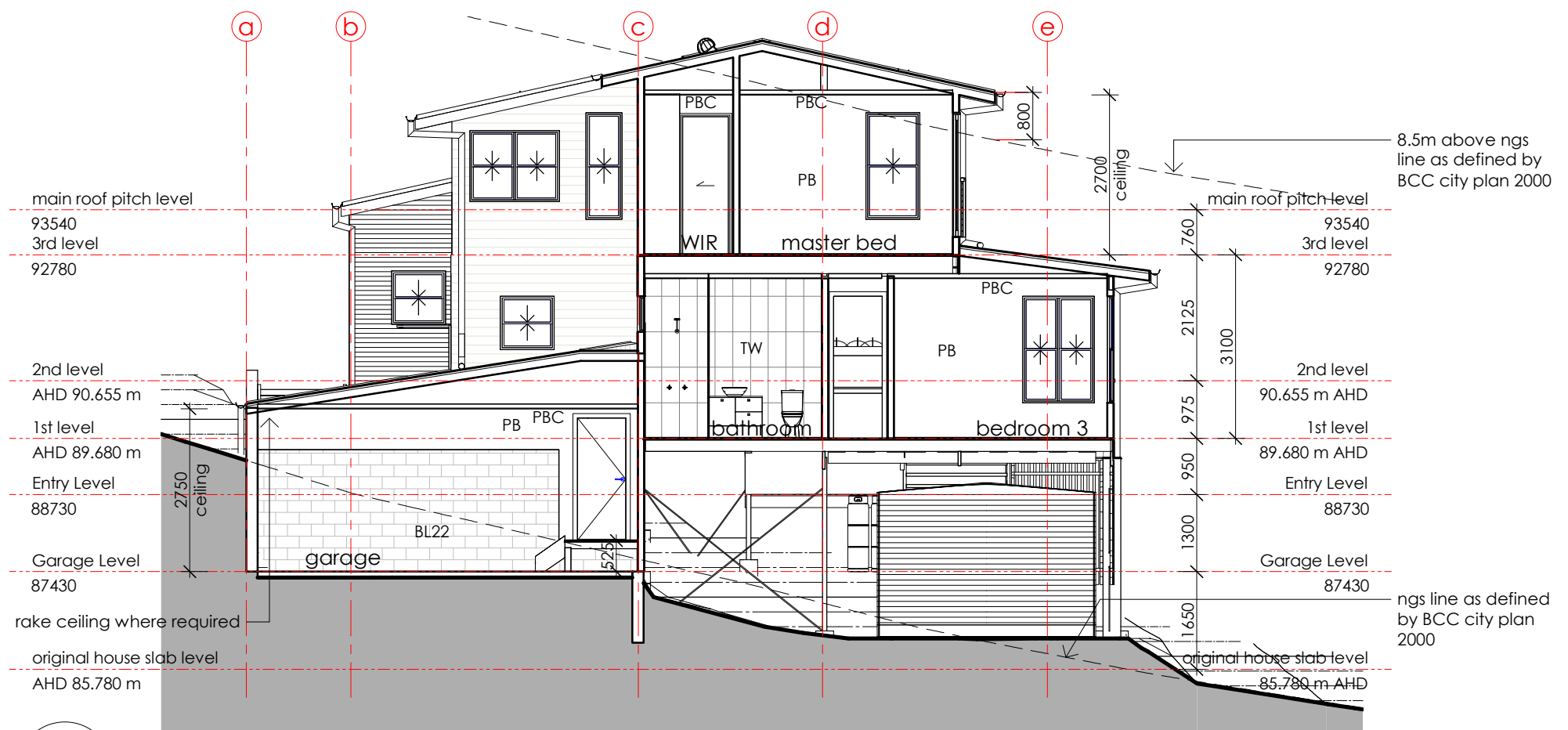
Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL  
 Job No  
**XXXXyy**  
 Dwg No  
**202EL**  
 Issue  
**WD3**



**S1** short section through entry  
110FP 1 : 100

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
PB	10mm PLASTERBOARD
PBC	10mm PLASTERBOARD TO CEILING
TW	TILES (wall) AS SELECTED

**stair notes**  
**external stairs**  
refer details  
**internal stairs**  
- closed riser style  
- selected hwd  
- interior handrails breadloaf  
toprail at 900 above nosing  
line  
- outer grabrail 40dia hwd on L  
shaped chrome brackets  
- landing to match upper floor  
or as directed by owner

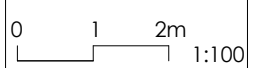


**S2** short section through garage  
110FP 1 : 100

**finishes generally**  
**ceiling/soffit fixing note:**  
for rafters/trusses at > 600 crs  
fix to battens at 600 crs  
32x45 MGP10 or  
stramit 22x34 ceiling batten or equivalent  
for rafters/trusses at 600 crs  
fix directly to u/s rafter/truss  
**architrave finishes note:**  
nominal types as follows -  
cornice - selected timber scotia  
cornice - 90 plaster  
architrave & skirting to be square  
architrave - 66x18  
skirting - 140x18  
**internal finishes note:**  
confirm all finishes with owner.  
unless nominated on drawing:  
10 plasterboard to all walls  
10 waterproof plasterboard (or 6fc) to wet  
areas  
10 plasterboard to all ceilings  
6 fc to deck ceilings  
6 fc to soffits  
selected hardwood strip floor to interior - refer  
plans  
19 particle board floor to interior where not strip  
flooring  
**softwood exposure note:**  
all untreated softwood timbers used in roof  
framing, are to be fully clad as shown.

WD1 06.02.14 Final Wkg Dwgs  
PL1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

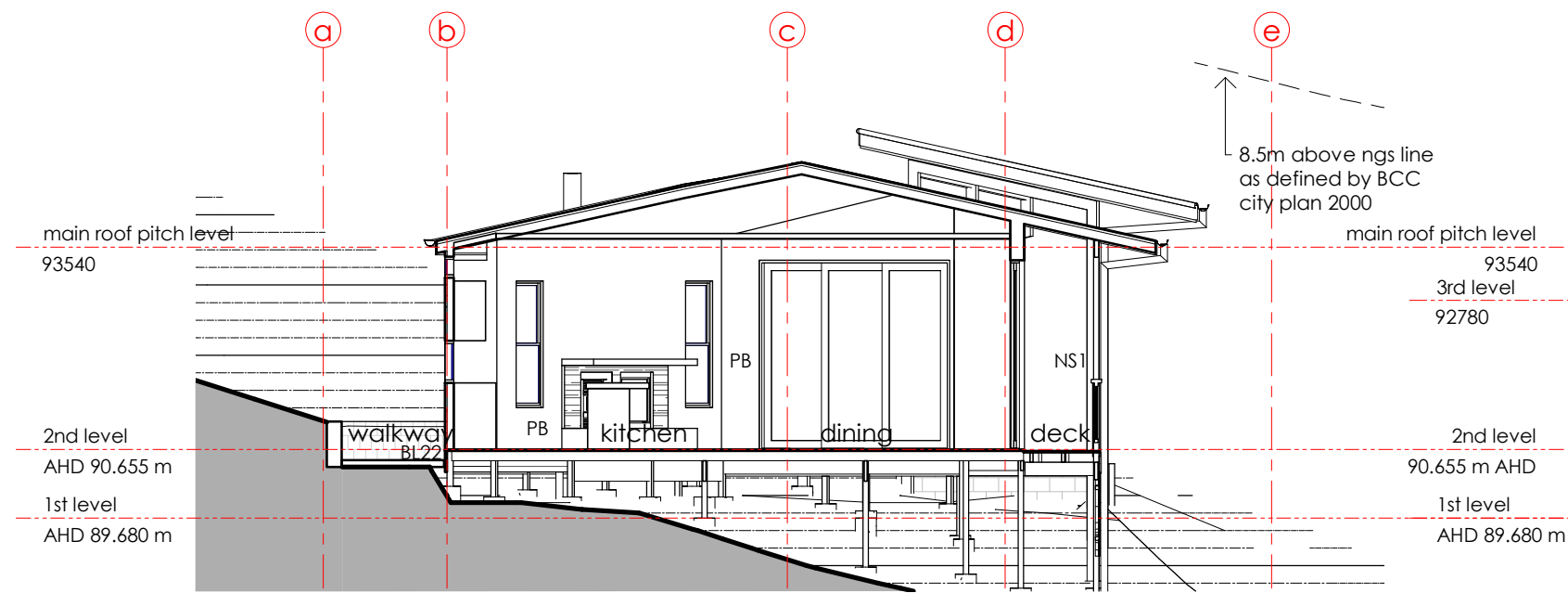
Rev Date Revision Description



**New Residence**  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

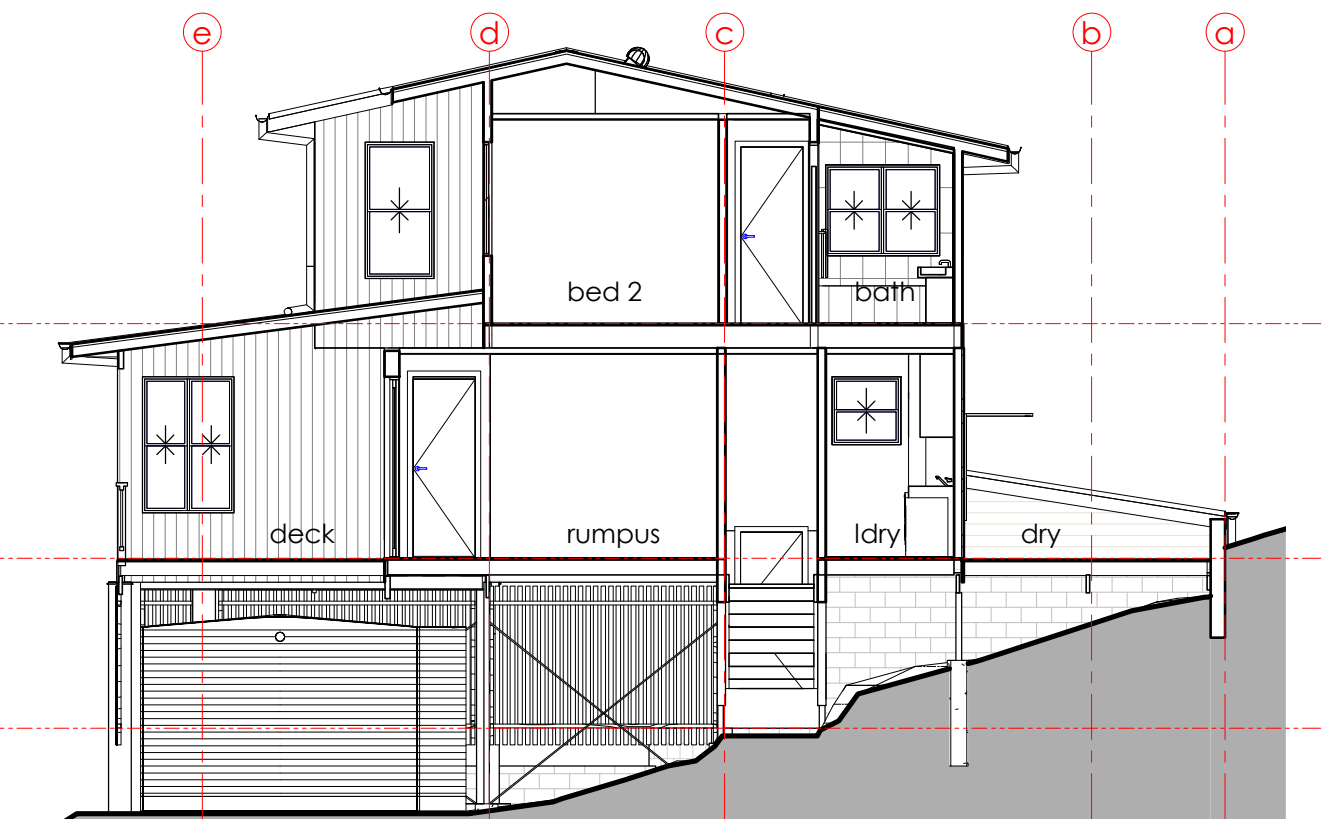
**Sections Cross 1 of 3**  
Construction

Scale at A3  
1 : 100  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL  
Job No  
XXXXyy  
Dwg No  
**301ST**  
Issue  
**WD3**



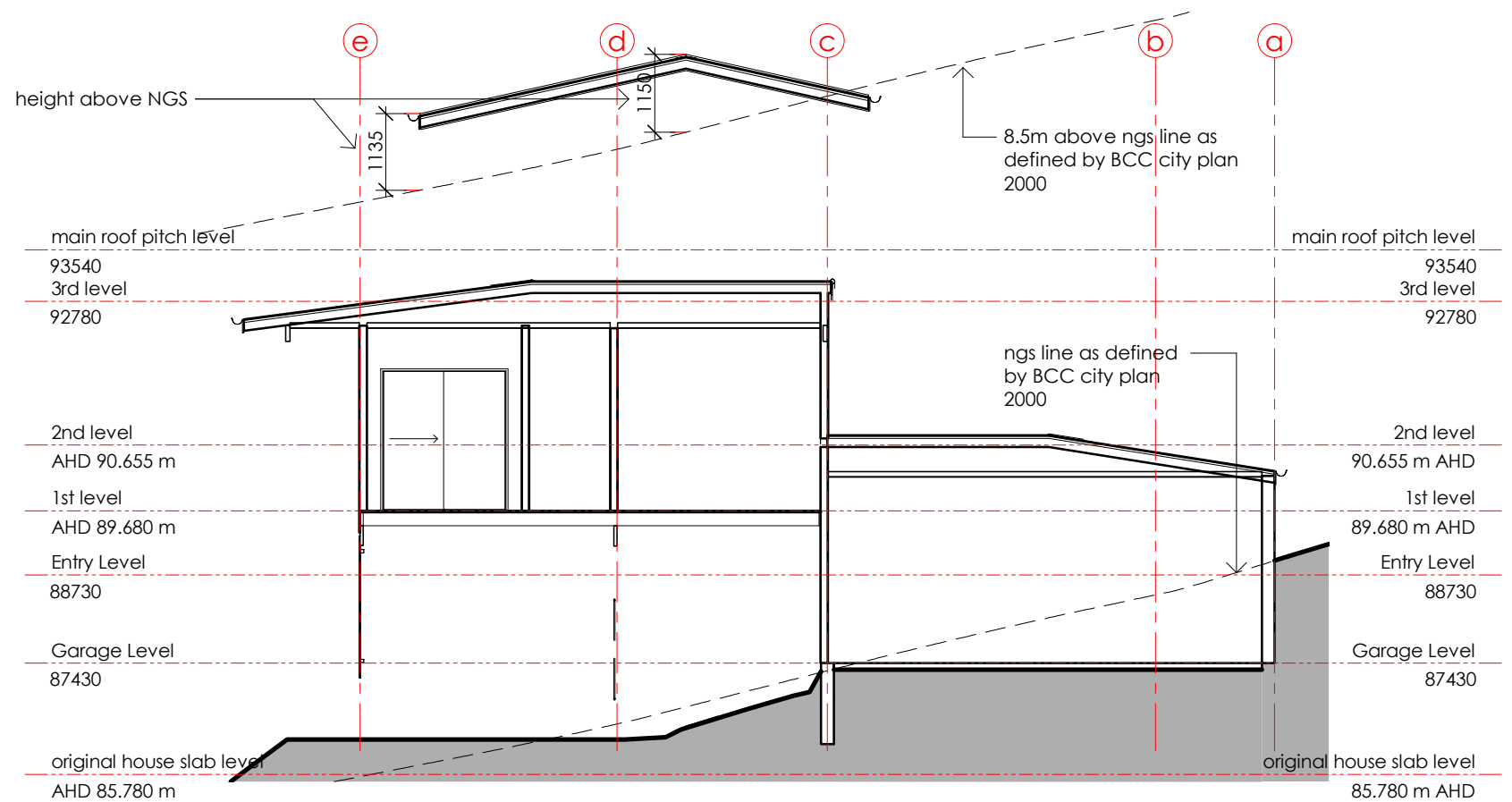
**S3** short section through dining

110FP 1 : 100



**S5** short section through rumpus

110FP 1 : 100



**S4** section at highest point through NGS

110FP 1 : 100

**finishes generally**  
**ceiling/soffit fixing note:**  
 for rafters/trusses at > 600 crs  
 fix to battens at 600 crs  
 32x45 MGP10 or  
 stramit 22x34 ceiling batten or equivalent  
 for rafters/trusses at 600 crs  
 fix directly to u/s rafter/truss  
**architrave finishes note:**  
 nominal types as follows -  
 cornice - selected timber scotia  
 cornice - 90 plaster  
 architrave & skirting to be square  
 architrave - 66x18  
 skirting - 140x18  
**internal finishes note:**  
 confirm all finishes with owner.  
 unless nominated on drawing:  
 10 plasterboard to all walls  
 10 waterproof plasterboard (or 6fc) to wet areas  
 10 plasterboard to all ceilings  
 6 fc to deck ceilings  
 6 fc to soffits  
 selected hardwood strip floor to interior - refer plans  
 19 particle board floor to interior where not strip flooring  
**U/S softwood exposure note:**  
 all untreated softwood timbers used in roof framing, are to be fully clad as shown.

**insulation notes:**  
 products as listed, or equivalent  
**walls:**  
 min R1.5 required  
 membrane -  
 Bradford THERMOTUFF LD Breather  
 to outside of timber stud frame  
**bulk insulation -**  
 Bradford GOLD BATTS for Walls  
 & Floors R1.5 min  
**metal roof:**  
 min R2.0 required  
 membrane -  
 truss/rafter spacing <900mm use  
 Bradford THERMOTUFF LD over battens  
 truss/rafter spacing >900mm use  
 Bradford THERMOTUFF MD over battens  
**bulk insulation -**  
 Bradford GOLD BATTS for Ceilings R2.0  
**floors:**  
 subfloor insulation - Foilboard standard  
 10 to U/S joists - equates to R2.3 winter  
 www.foilboard.com.au

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
NS1	NEW 75x4mm SHS POST
PB	10mm PLASTERBOARD

Issue	Date	Issue Description
WD3	10.03.14	Construction
WD1	06.02.14	Final Wkg Dwgs
PL1	13.12.13	Prelim Wkg Dwgs
DA1	11.12.13	D.A.
DD1	15.10.13	Design Development
SK1	18.09.13	Sketch Design

Rev	Date	Revision Description



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**New Residence**

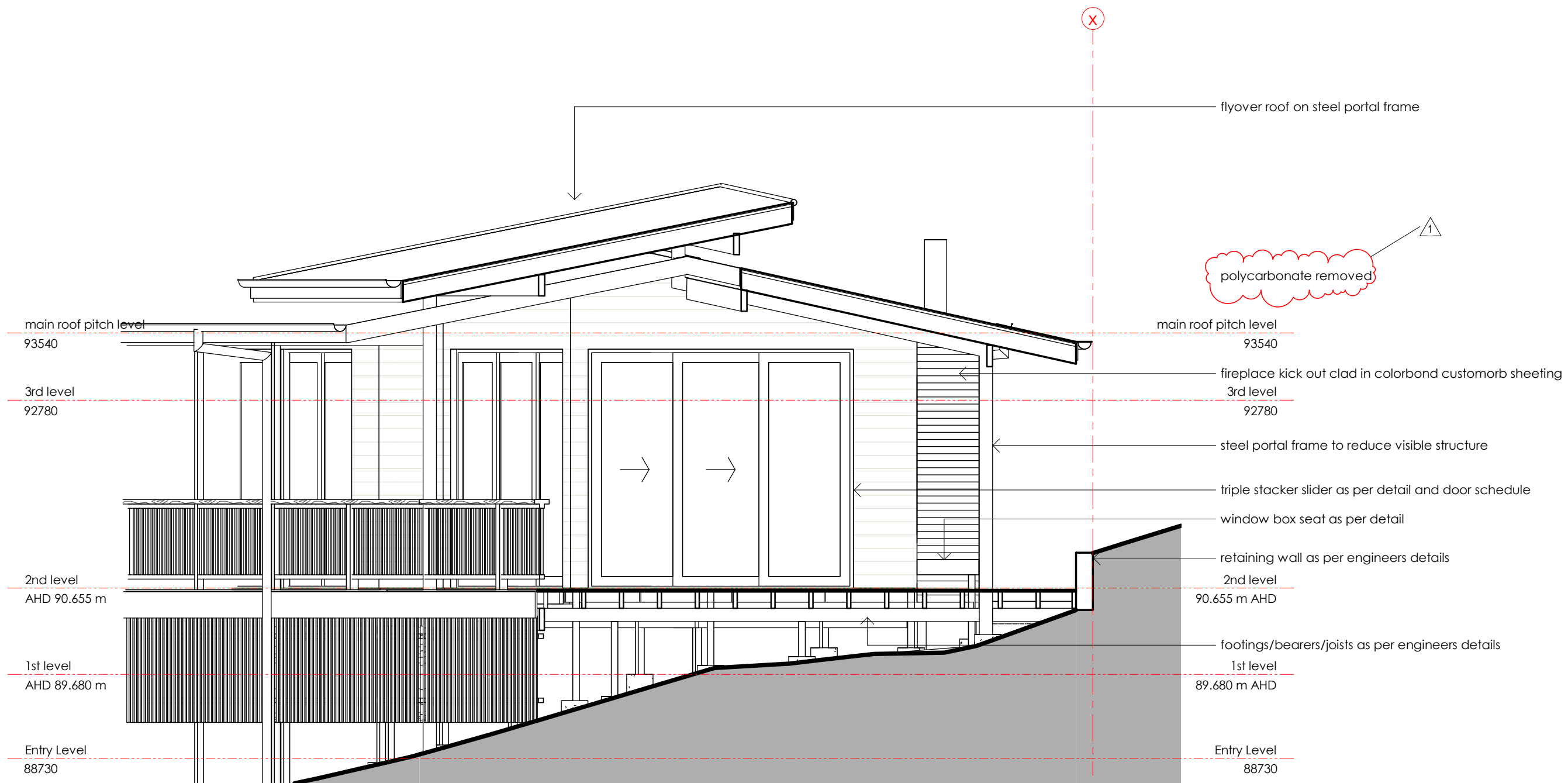
at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Sections Cross 2 of 3**

Construction

1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL  
 Job No  
 XXXXyyy  
 Dwg No  
**302ST**  
 Issue  
**WD3**





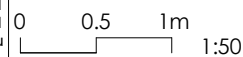
**S6** Section through deck  
111FP 1 : 50

WD3 10.03.14 Construction  
WD1 06.02.14 Final Wkg Dwgs  
Issue Date Issue Description

1 10.03.14 Eng+Owner revisions  
Rev Date Revision Description



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**New Residence**

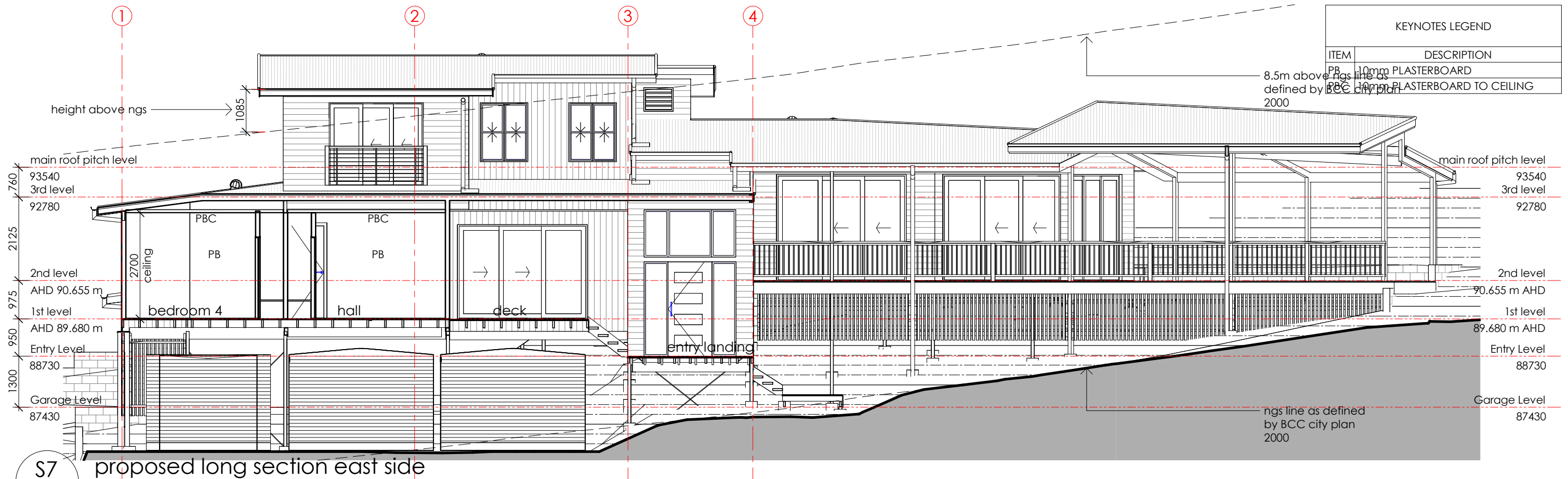
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Sections Cross 3 of 3**

Construction

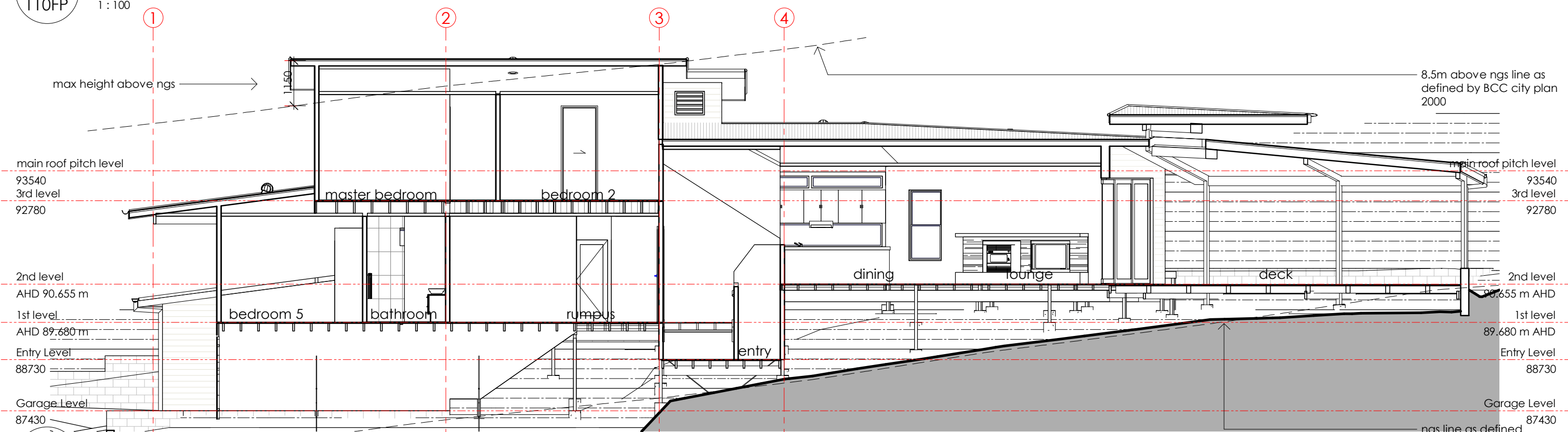
Scale at A3  
1 : 50  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

Job No  
**XXXXyyy**  
Dwg No  
**303ST**  
Issue  
**WD3**



S7 proposed long section east side

110FP 1:100



S8 proposed long section through apex of upper roof

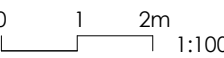
110FP 1:100

WD3	10.03.14	Construction
WD1	06.02.14	Final Wkg Dwgs
PL1	13.12.13	Prelim Wkg Dwgs
DA1	11.12.13	D.A.
DD1	15.10.13	Design Development
SK1	18.09.13	Sketch Design
Issue	Date	Issue Description

Rev	Date	Revision Description
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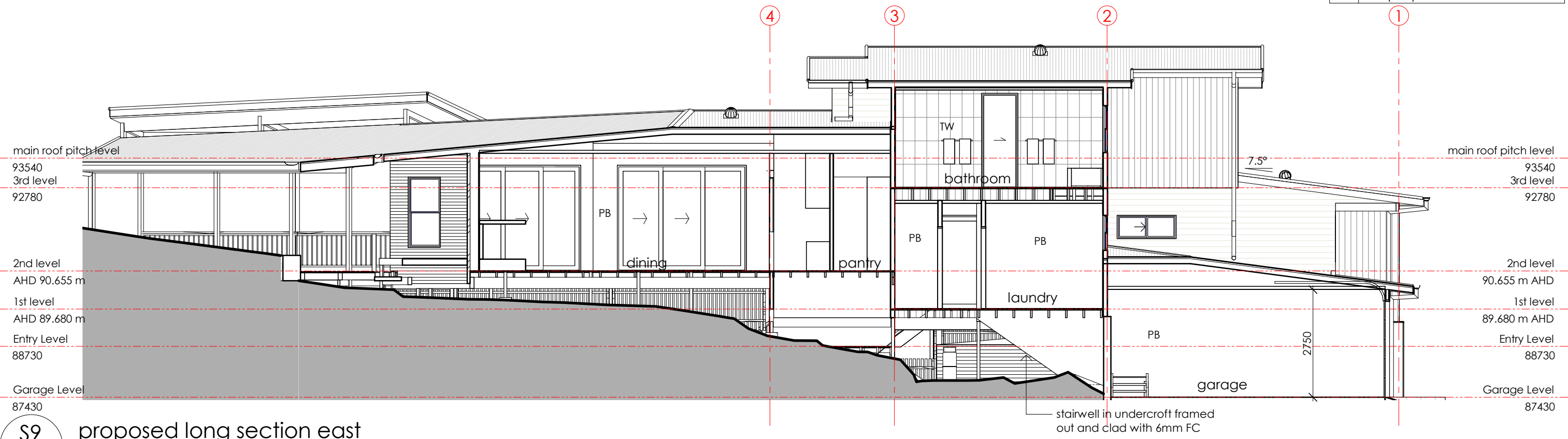


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 at 00 Long Rd  
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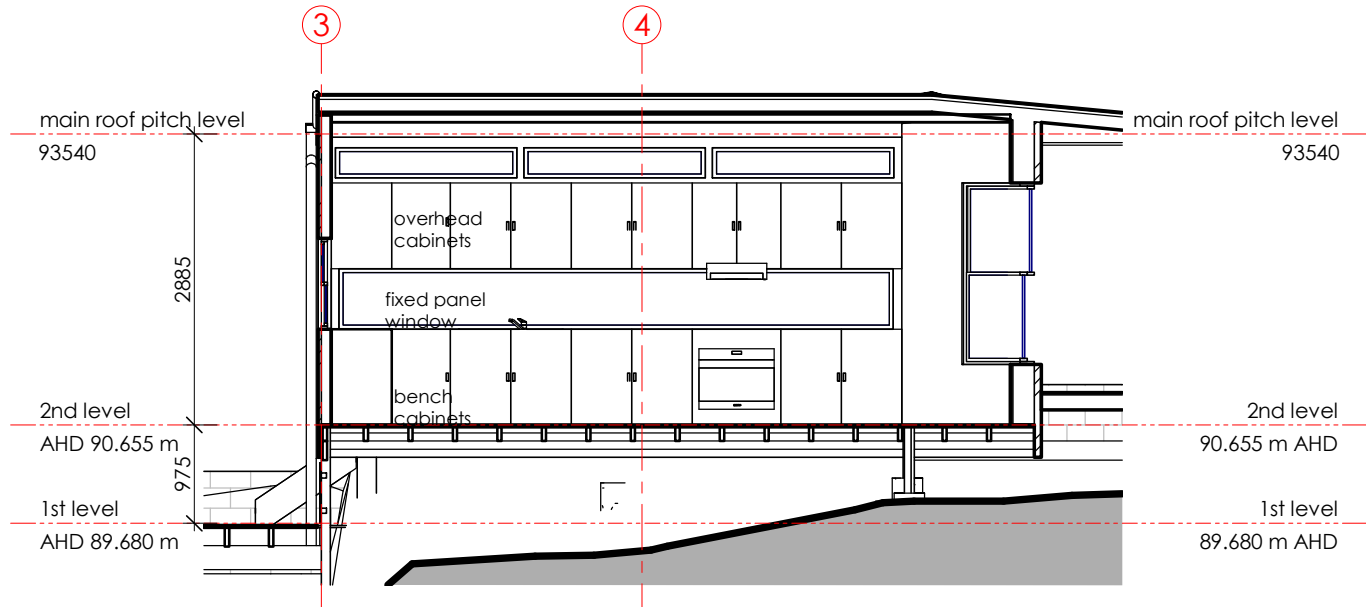
**Sections Longitudinal**  
 Construction

Scale at A3	1 : 100	Job No	XXXXyy
Designed	ACB/PBL	Dwg No	321ST
Drawn	ACB	Issue	WD3
Checked	PBL		

KEYNOTES LEGEND	
ITEM	DESCRIPTION
PB	10mm PLASTERBOARD
TW	TILES (wall) AS SELECTED



**S9** proposed long section east  
110FP 1:100



**S10** section showing kitchen windows  
110FP 1:75

**insulation notes:**  
products as listed, or equivalent

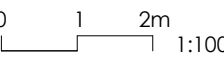
**walls:**  
min R1.5 required  
*membrane* - Bradford THERMOTUFF LD Breather to outside of timber stud frame  
*bulk insulation* - Bradford GOLD BATTS for Walls & Floors R1.5 min

**metal roof:**  
min R2.0 required  
*membrane* - truss/rafter spacing <900mm use Bradford THERMOTUFF LD over battens  
truss/rafter spacing >900mm use Bradford THERMOTUFF MD over battens  
*bulk insulation* - Bradford GOLD BATTS for Ceilings R2.0

**floors:**  
subfloor insulation - Foilboard standard 10 to U/S joists - equates to R2.3 winter  
[www.foilboard.com.au](http://www.foilboard.com.au)

Issue	Date	Issue Description
WD3	10.03.14	Construction
WD1	06.02.14	Final Wkg Dwgs
PL1	13.12.13	Prelim Wkg Dwgs
DA1	11.12.13	D.A.
DD1	15.10.13	Design Development
SK1	18.09.13	Sketch Design

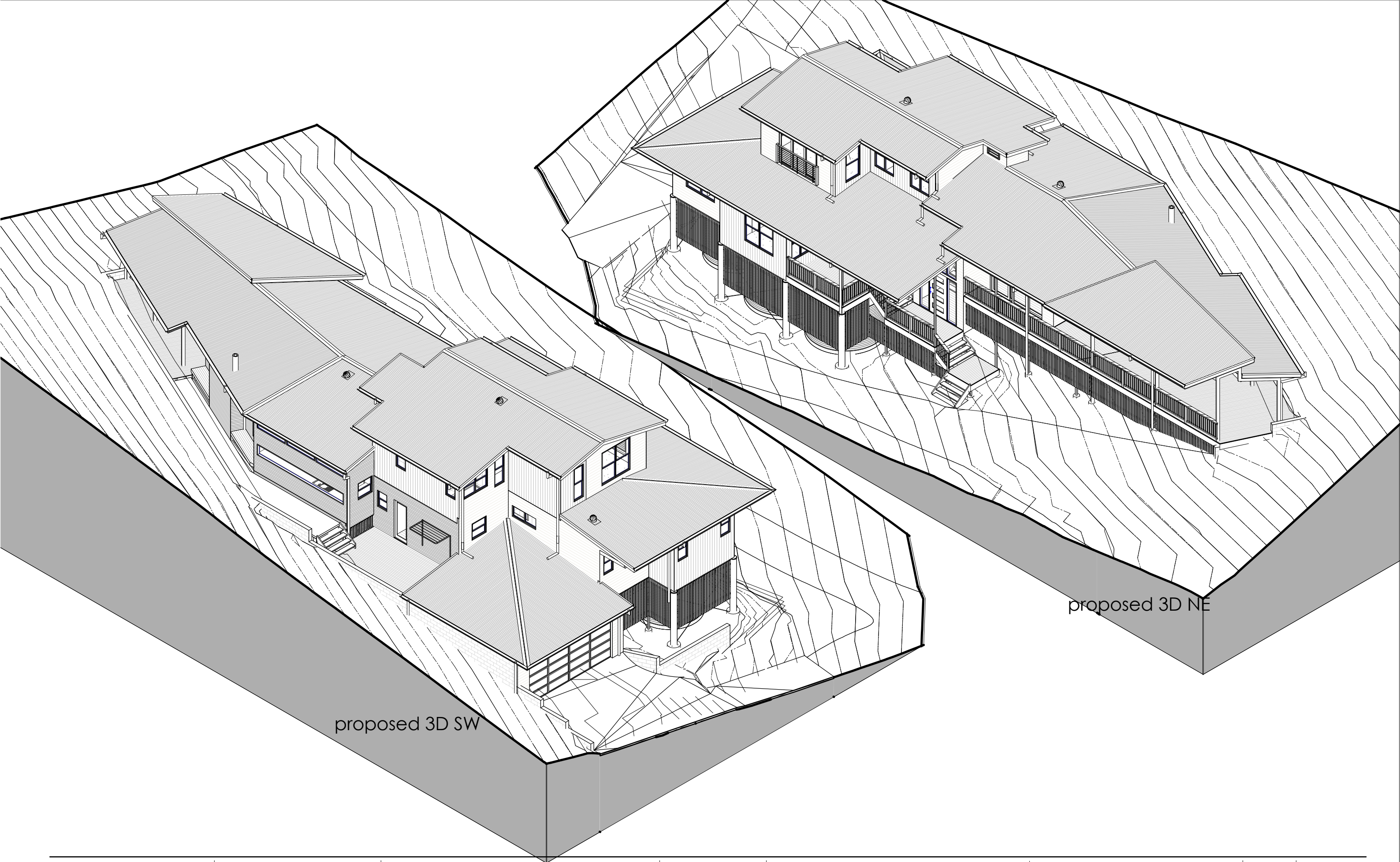
Rev	Date	Revision Description



**New Residence**  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Sections Longitudinal**  
Construction

Scale at A3 As indicated Designed ACB/PBL Drawn ACB Checked PBL	Job No <b>XXXXYyy</b> Dwg No <b>322ST</b> Issue <b>WD3</b>
--	---



proposed 3D SW

proposed 3D NE

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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**New Residence**

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**External 3D's**

Construction

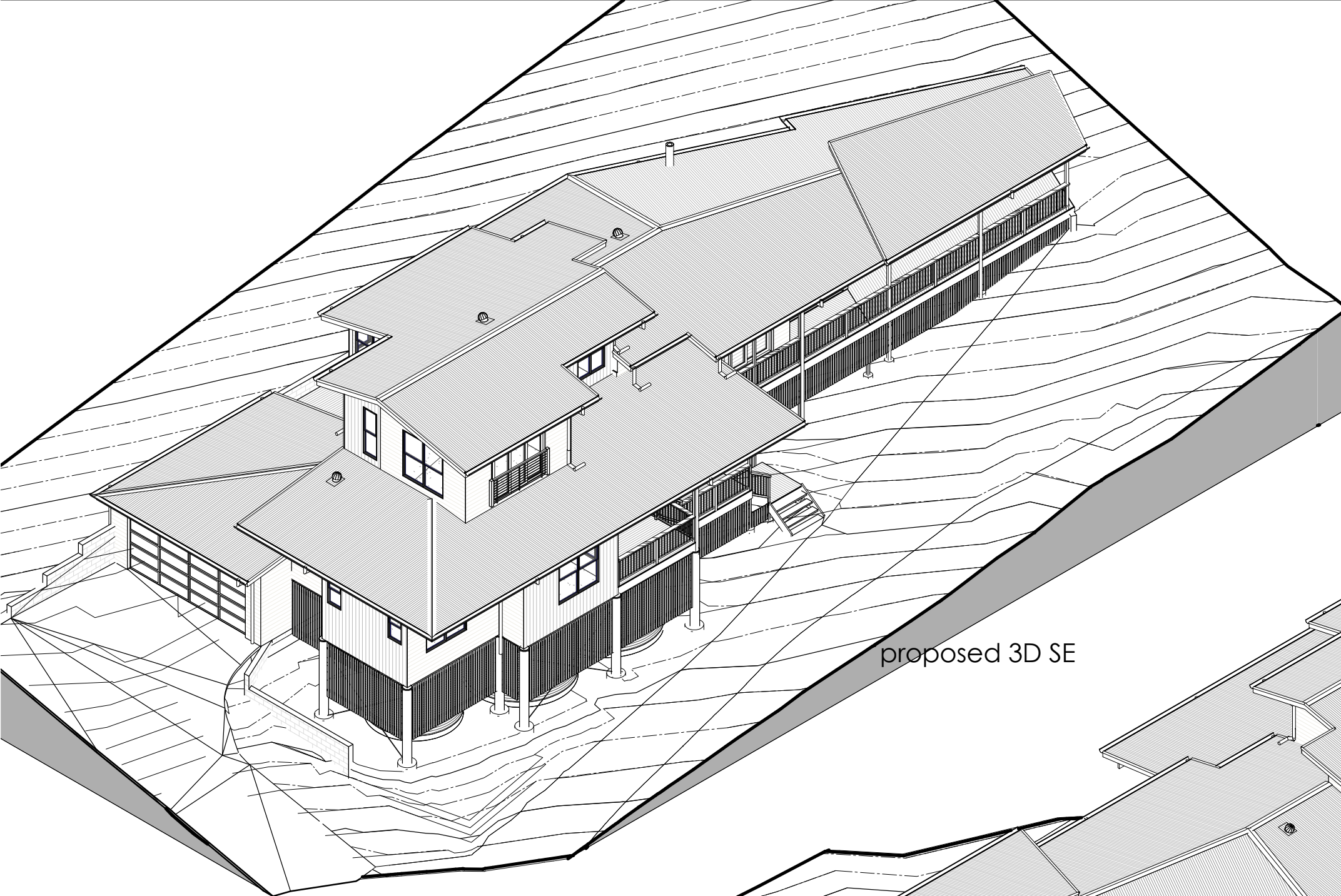
Scale at A3

Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

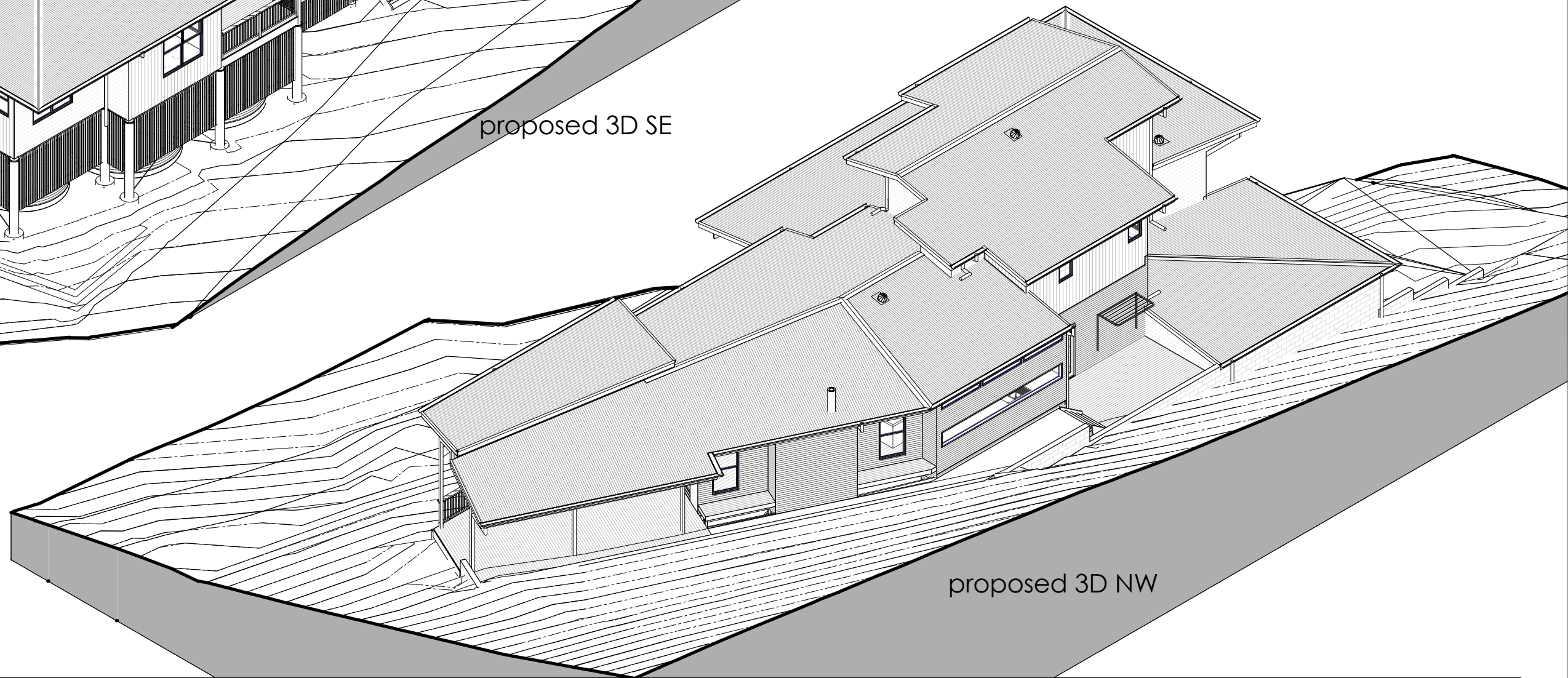
Job No  
**XXXXyyy**

Dwg No  
**421PD**

Issue  
**WD3**



proposed 3D SE



proposed 3D NW

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



**New Residence**

at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**External 3D's**

Construction

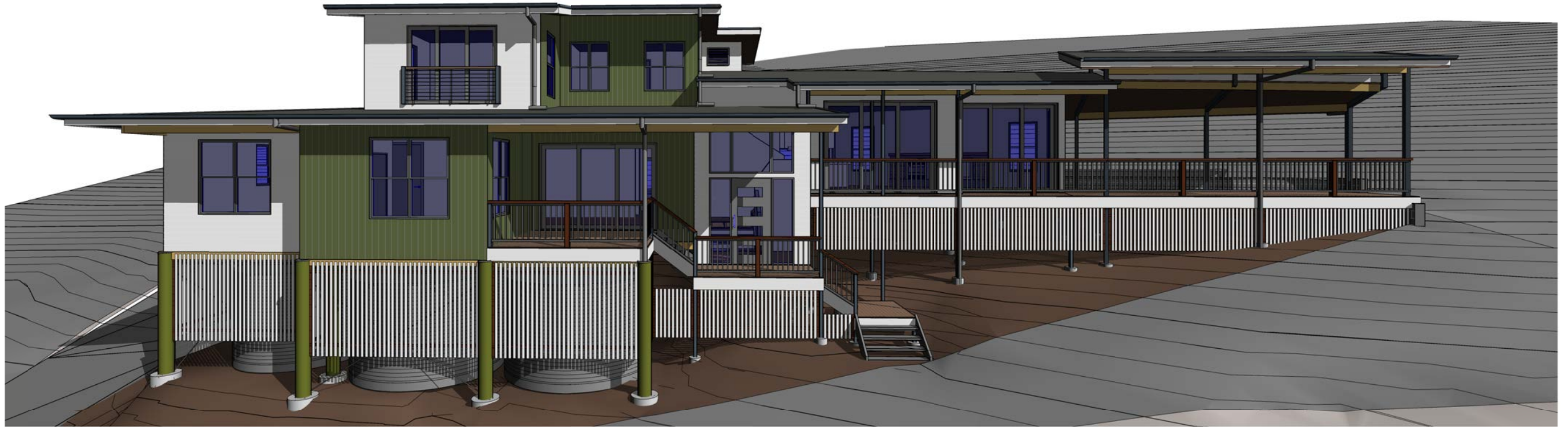
Scale at A3

Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

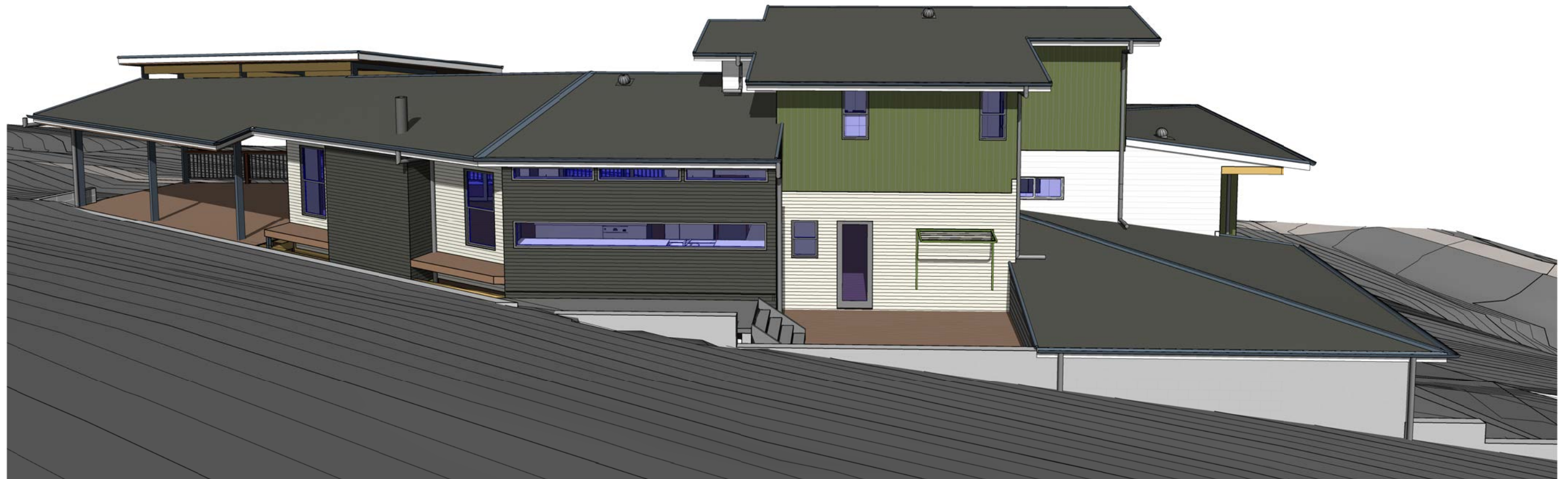
Job No  
**XXXXyyy**

Dwg No  
**422PD**

Issue  
**WD3**



proposed perspective from east



proposed perspective from west

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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### New Residence

at 00 Long Rd  
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### External Perspectives

Construction

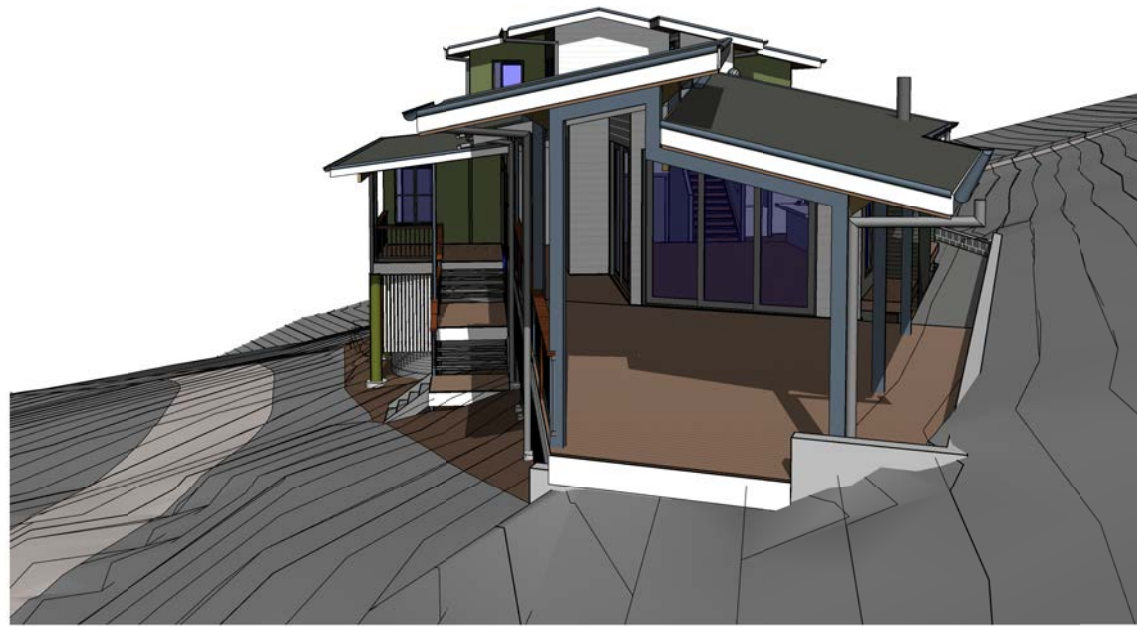
Scale at A3

Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**

Dwg No  
**423PD**

Issue  
**WD3**



proposed perspective from north



proposed perspective from south

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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**New Residence**

at 00 Long Rd  
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**External Perspectives**

Construction

Scale at A3

Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**

Dwg No  
**424PD**

Issue  
**WD3**

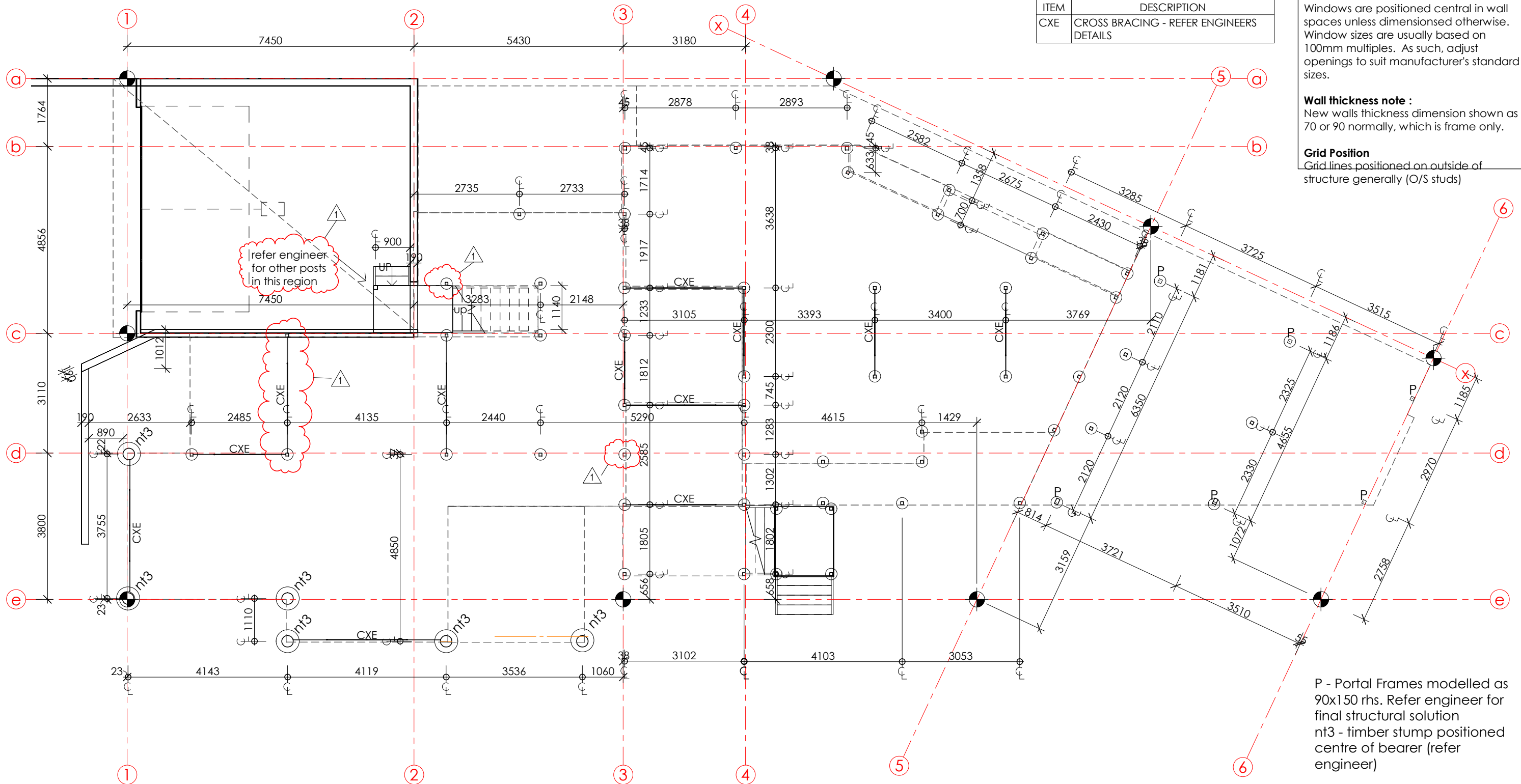
KEYNOTES LEGEND	
ITEM	DESCRIPTION
CXE	CROSS BRACING - REFER ENGINEERS DETAILS

**dimension notes:**

**Window Dimension Note:**  
Windows are positioned central in wall spaces unless dimensioned otherwise. Window sizes are usually based on 100mm multiples. As such, adjust openings to suit manufacturer's standard sizes.

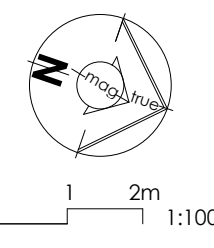
**Wall thickness note :**  
New walls thickness dimension shown as 70 or 90 normally, which is frame only.

**Grid Position**  
Grid lines positioned on outside of structure generally (O/S studs)



WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev	Date	Revision Description
1	10.03.14	Eng+Owner revisions



**New Residence**  
 at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Sub-Floor Setout**  
 Construction

Scale at A3  
 1 : 100

Designed  
 ACB/PBL

Drawn  
 ACB

Checked  
 PBL

Job No  
**XXXXyy**

Dwg No  
**500SE**

Issue  
**WD3**

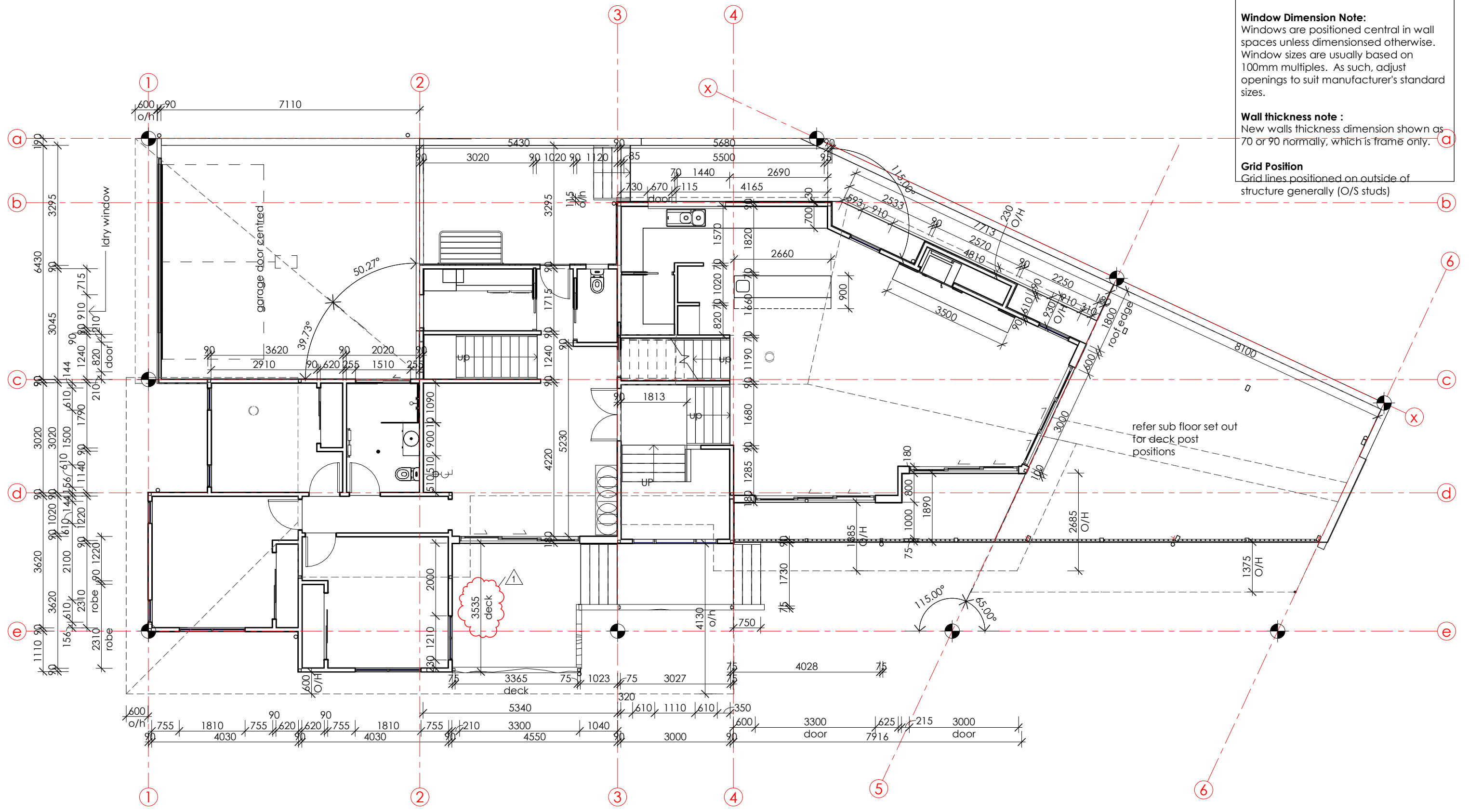


**dimension notes:**

**Window Dimension Note:**  
Windows are positioned central in wall spaces unless dimensioned otherwise. Window sizes are usually based on 100mm multiples. As such, adjust openings to suit manufacturer's standard sizes.

**Wall thickness note :**  
New walls thickness dimension shown as 70 or 90 normally, which is frame only.

**Grid Position**  
Grid lines positioned on outside of structure generally (O/S studs)

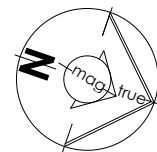


WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev	Date	Revision Description
1	10.03.14	Eng+Owner revisions



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0 1 2m  
 1:100

## New Residence

at 00 Long Rd  
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## 1st & 2nd Floor Setout

Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

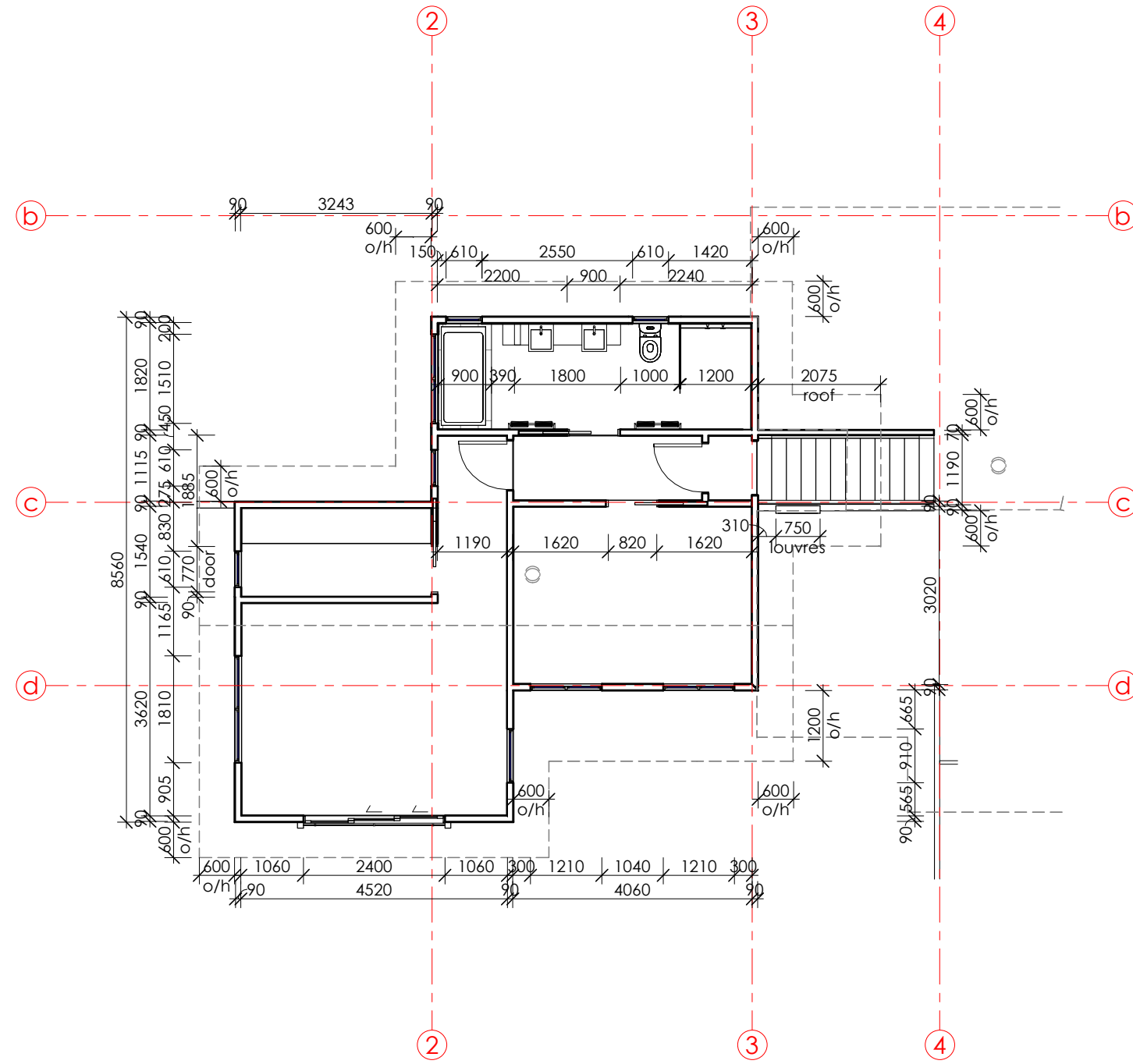
Job No  
**XXXXyy**  
 Dwg No  
**501SE**  
 Issue  
**WD3**

**dimension notes:**

**Window Dimension Note:**  
Windows are positioned central in wall spaces unless dimensioned otherwise. Window sizes are usually based on 100mm multiples. As such, adjust openings to suit manufacturer's standard sizes.

**Wall thickness note :**  
New walls thickness dimension shown as 70 or 90 normally, which is frame only.

**Grid Position**  
Grid lines positioned on outside of structure generally (O/S studs)



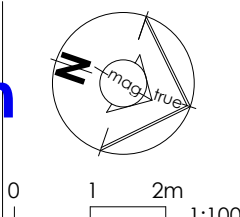
WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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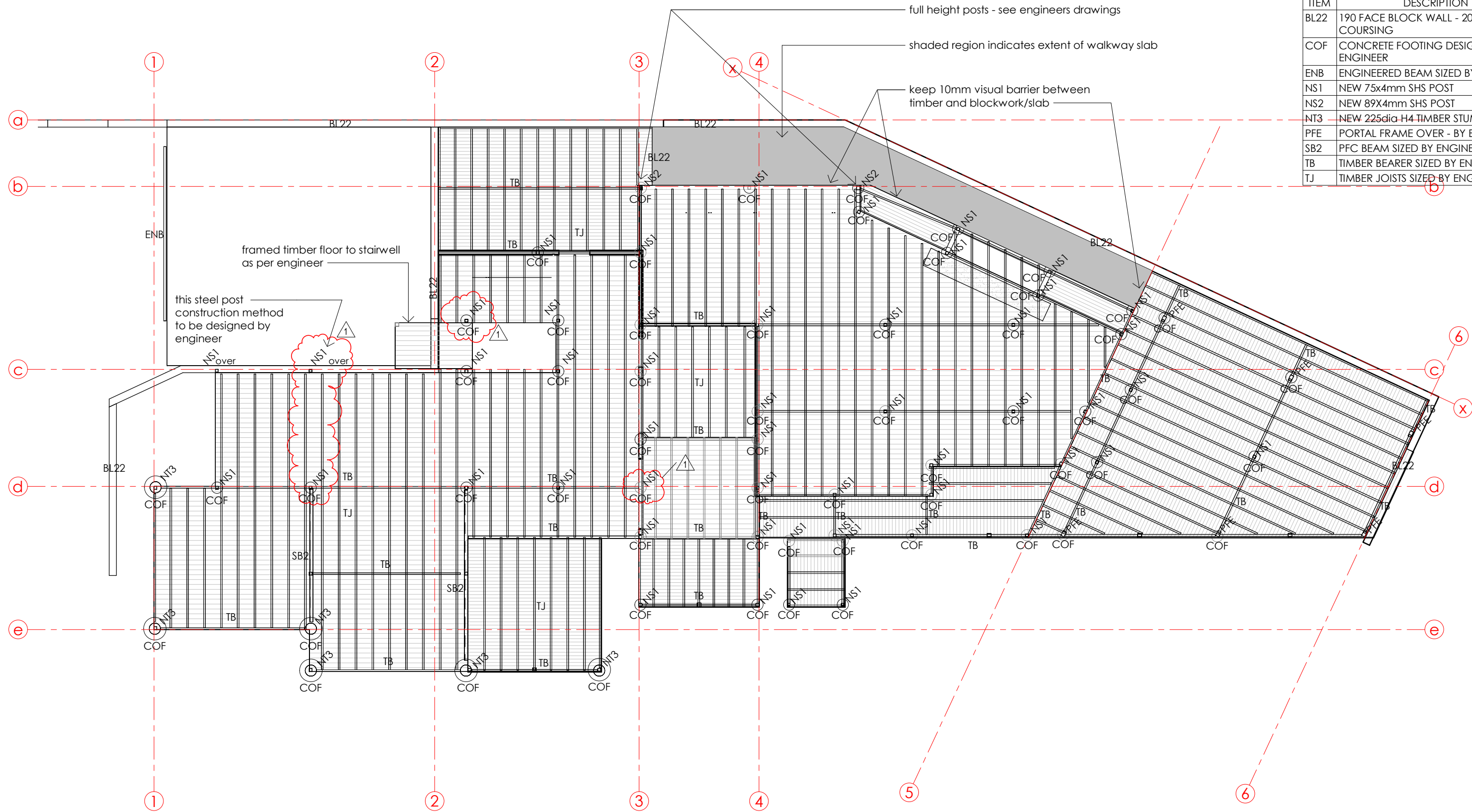
**3rd Floor Setout**

Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**  
 Dwg No  
**502SE**  
 Issue  
**WD1**

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
COF	CONCRETE FOOTING DESIGNED BY ENGINEER
ENB	ENGINEERED BEAM SIZED BY ENGINEER
NS1	NEW 75x4mm SHS POST
NS2	NEW 89X4mm SHS POST
NT3	NEW 225dia H4 TIMBER STUMP
PFE	PORTAL FRAME OVER - BY ENGINEER
SB2	PFC BEAM SIZED BY ENGINEER
TB	TIMBER BEARER SIZED BY ENGINEER
TJ	TIMBER JOISTS SIZED BY ENGINEER



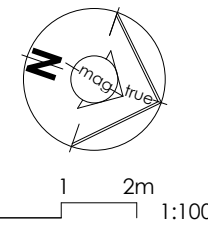
**notes:**  
 This drawing does not show all structural framing, provided as guide only - refer engineering drawings for all structure

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev	Date	Revision Description
1	10.03.14	Eng+Owner revisions

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**New Residence**  
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**Lower Floor Structure**  
 Construction

Scale at A3  
 1 : 100

Designed  
 ACB/PBL

Drawn  
 ACB

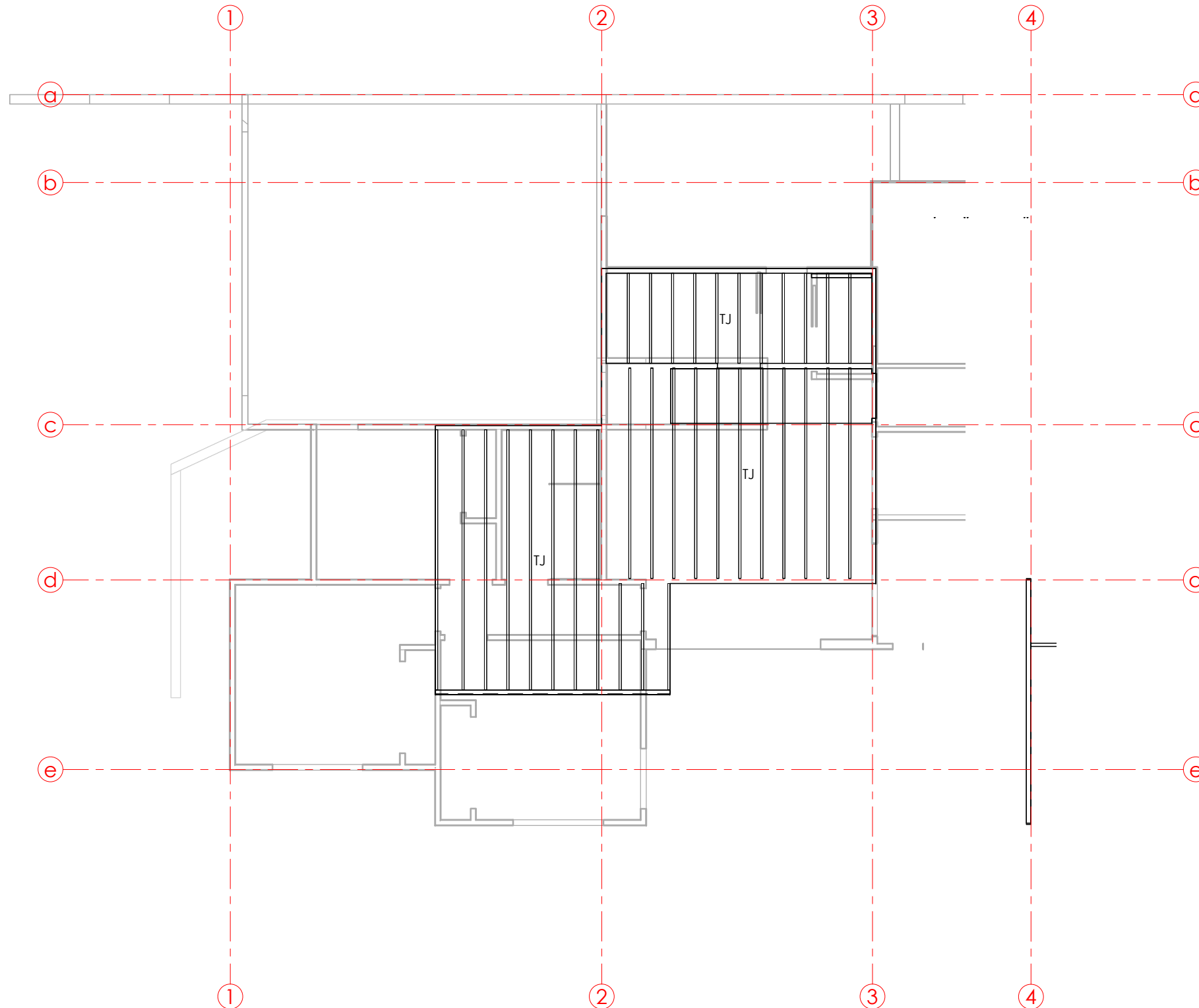
Checked  
 PBL

Job No  
**XXXXyy**

Dwg No  
**503ST**

Issue  
**WD3**

KEYNOTES LEGEND	
ITEM	DESCRIPTION
TJ	TIMBER JOISTS SIZED BY ENGINEER



**notes:**  
 This drawing does not show all structural framing, provided as guide only - refer engineering drawings for all structure

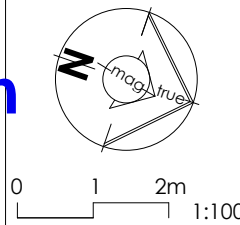
WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



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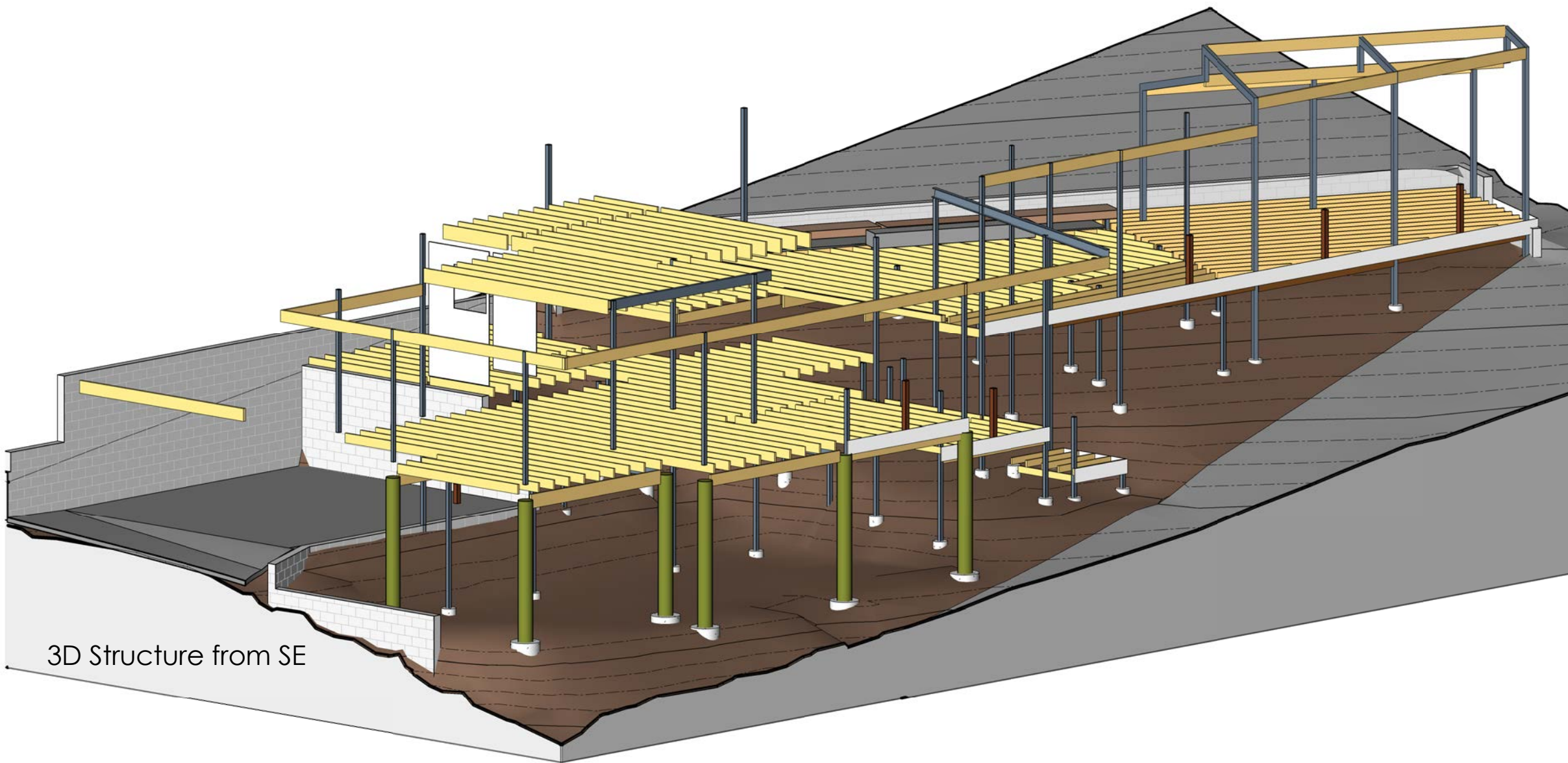


**New Residence**  
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**Upper Floor Structure**  
 Construction

Scale at A3  
 1 : 100  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Job No  
**XXXXyyy**  
 Dwg No  
**504ST**  
 Issue  
**WD1**

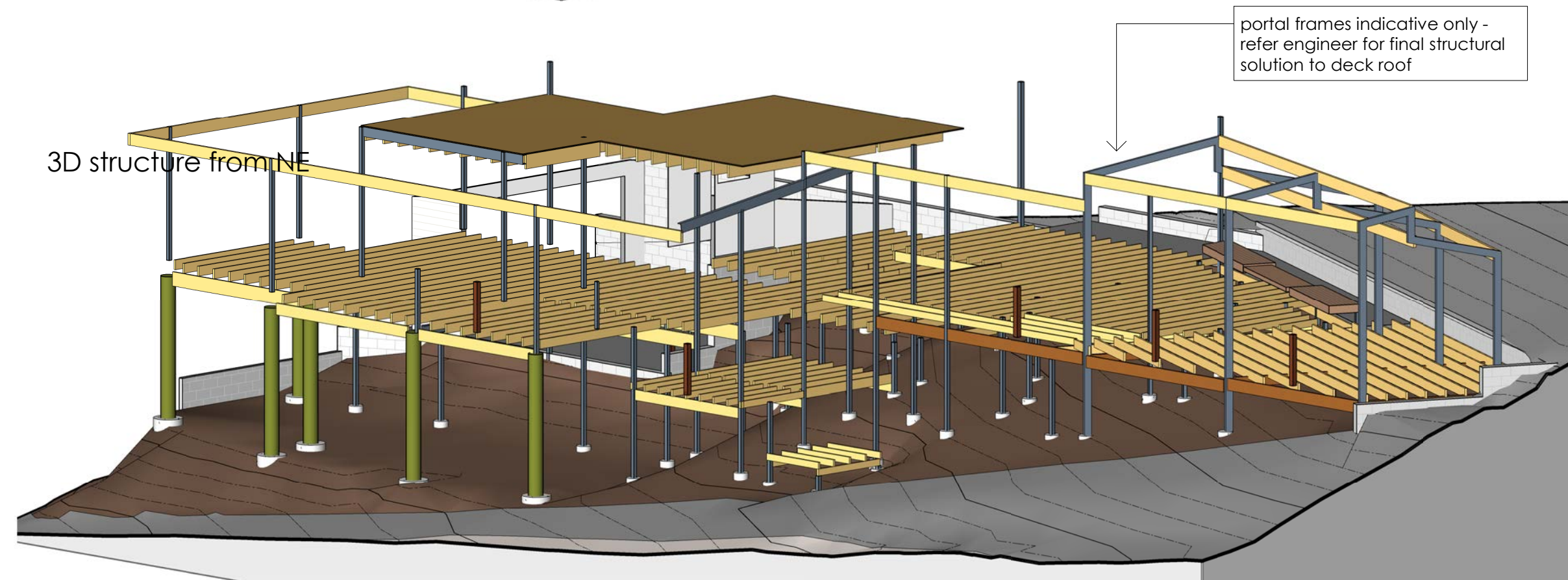


3D Structure from SE

trusses & rafters not shown

**notes:**

This drawing does not show all structural framing, provided as guide only - refer engineering drawings for all structure



3D structure from NE

portal frames indicative only - refer engineer for final structural solution to deck roof

WD3 10.03.14 Construction  
 WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design

Issu	Date	Issue Description
e		

Scale at A3

Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL

Rev	Date	Revision Description



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**New Residence**

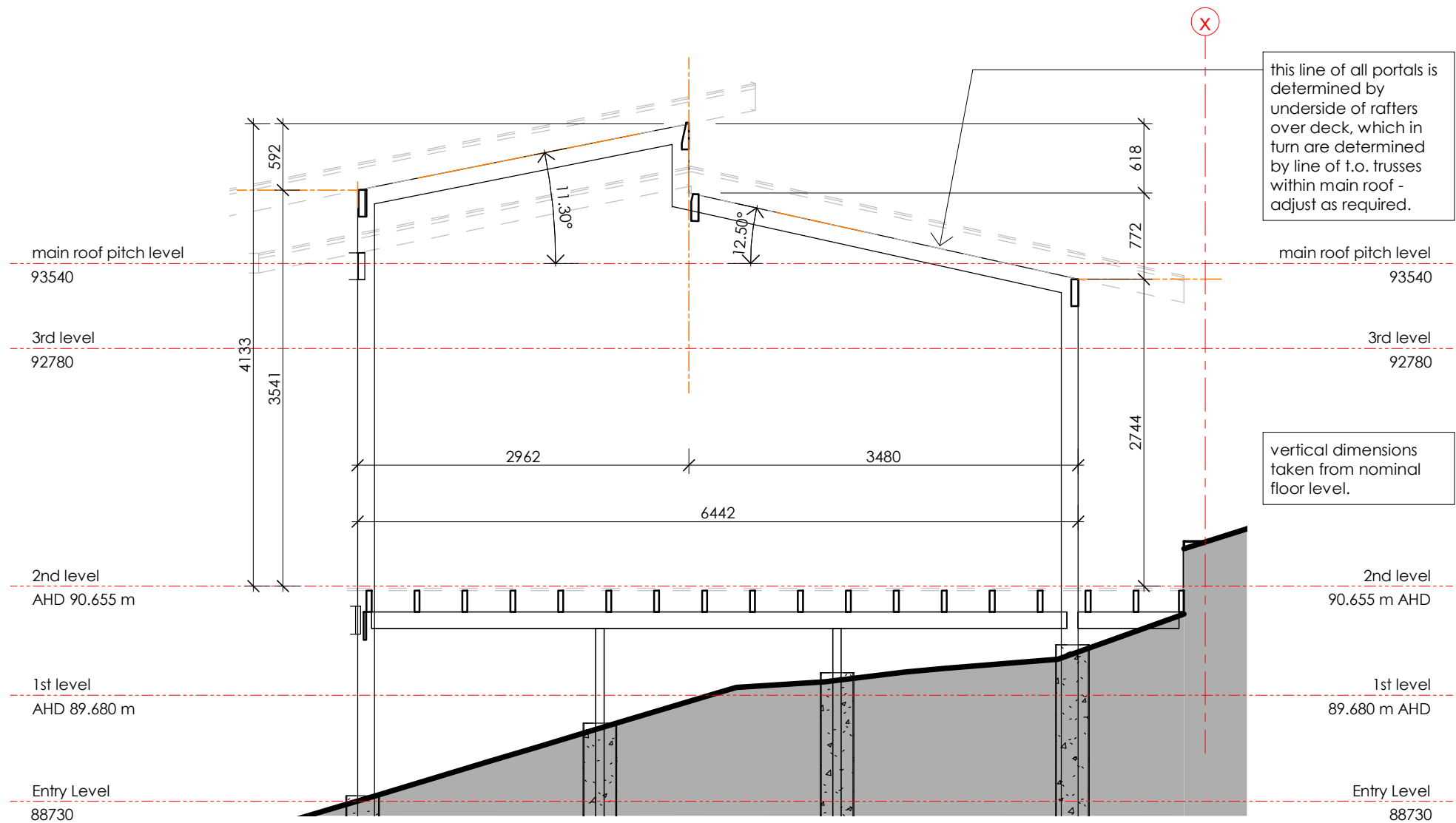
at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**3D Structure**

Construction

Job No  
**XXXXyyy**  
 Dwg No  
**505ST**  
 Issue  
**WD3**

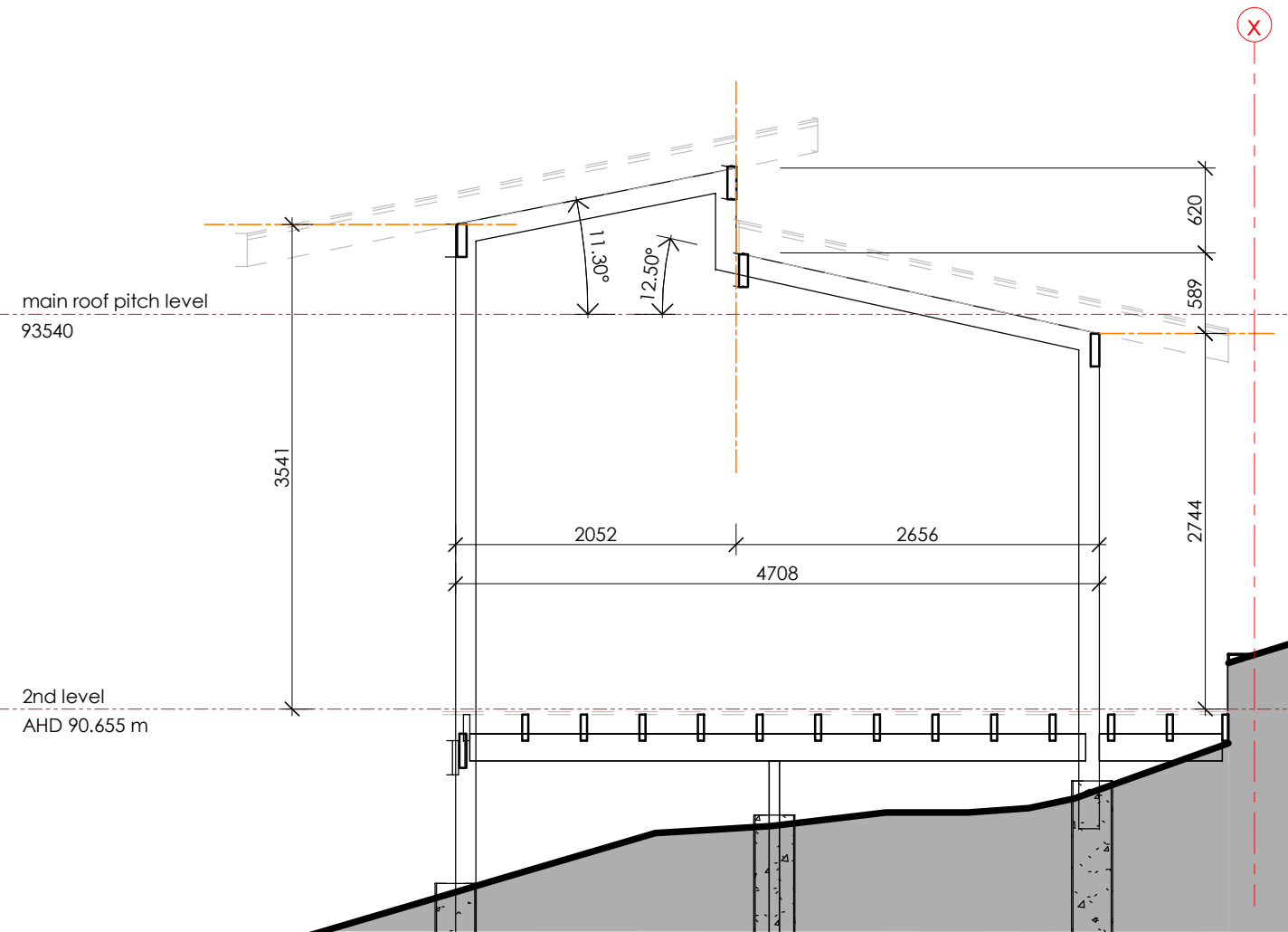




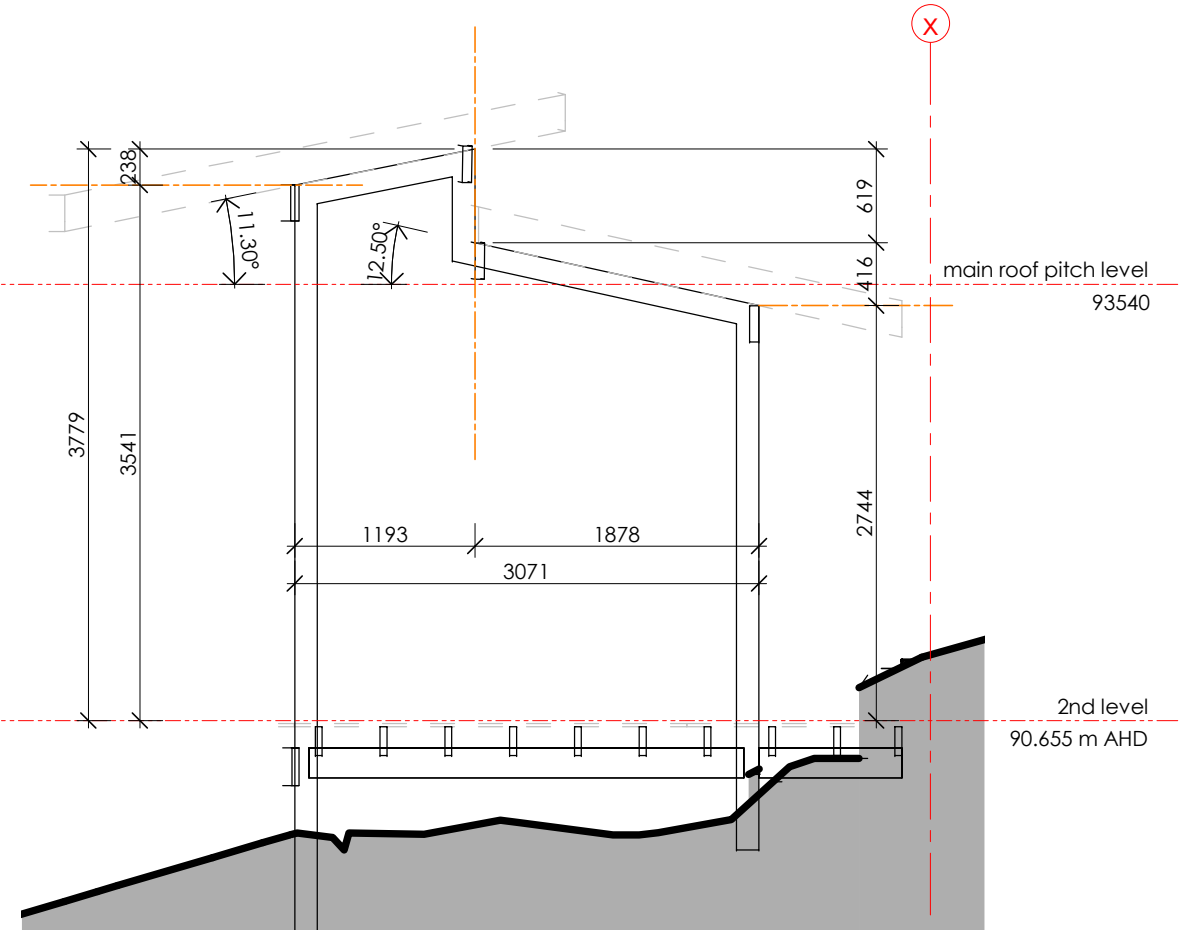
SPF1 portal 1 setout  
506SE 1 : 50

**note:**  
these portal setout diagrams are for assistance only and will require cross checking by steel fabricator, truss provider and builder.  
portals nominally modelled as 90x150 rhs, with top edges and south sides set. refer engineering drawings for frame

added drawing



SPF2 portal 2 setout  
506SE 1:50

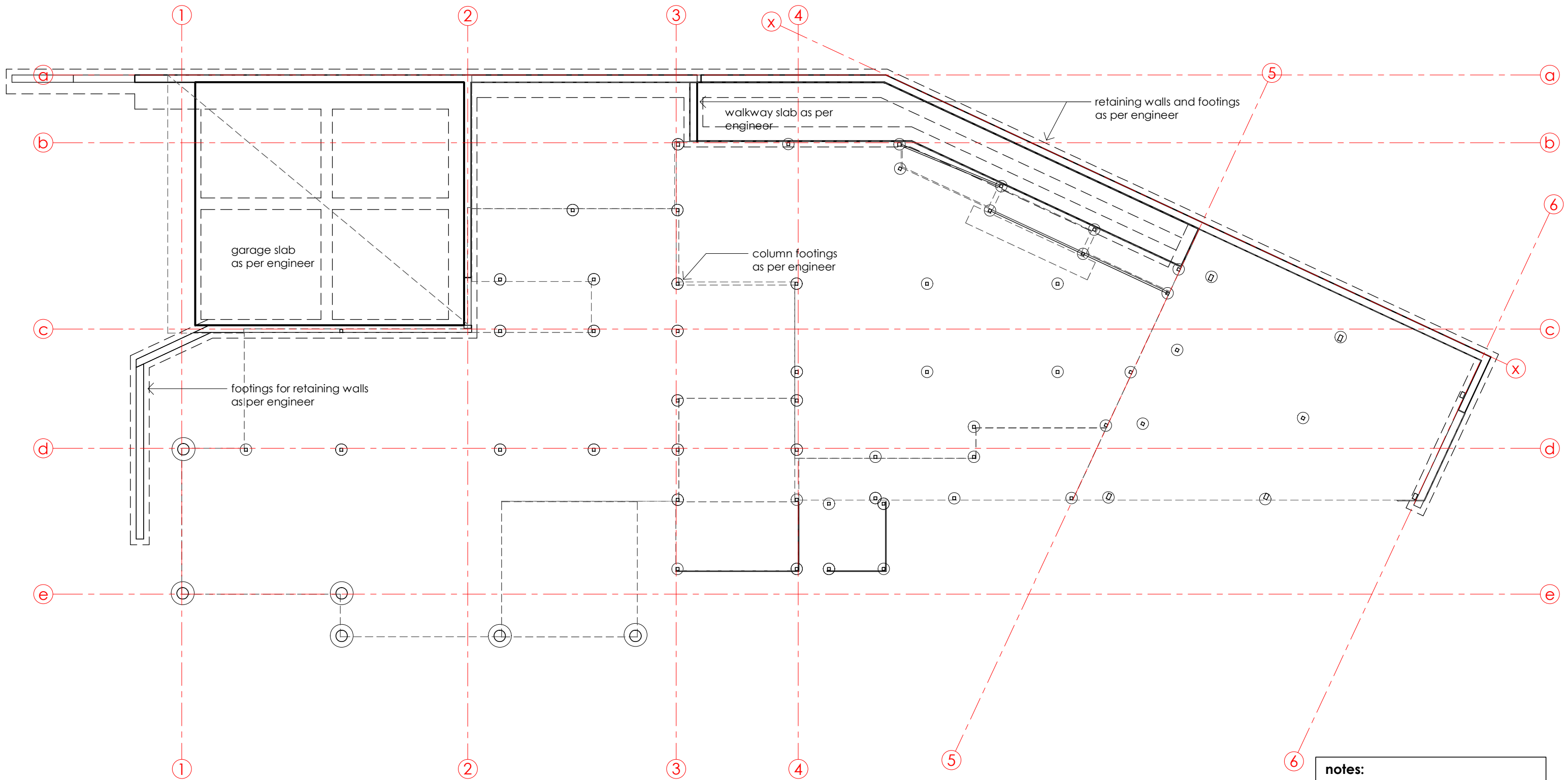


SPF3 portal 3 setout  
506SE 1:50

**note:**  
these portal setout diagrams are for assistance only and will require cross checking by steel fabricator, truss provider and builder.  
portals nominally modelled as 90x150 rhs, with top edges and south sides set. refer engineering drawings for frame

added drawing





**notes:**

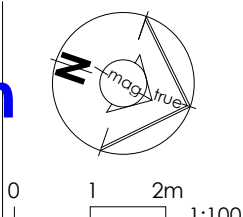
- for slab and footing design, refer engineers' report, with on-site inspection by engineer, to be arranged by builder.
- refer framing notes drawing for any relevant structural notes.
- all slab drawings to be read in conjunction with soils test report.

WD1 06.02.14 Final Wkg Dwgs  
 PL1 13.12.13 Prelim Wkg Dwgs  
 DA1 11.12.13 D.A.  
 DD1 15.10.13 Design Development  
 SK1 18.09.13 Sketch Design  
 Issue Date Issue Description

Rev Date Revision Description



ABN 39 010 895 682  
 p 07 3356 9051  
 f 07 3356 9071  
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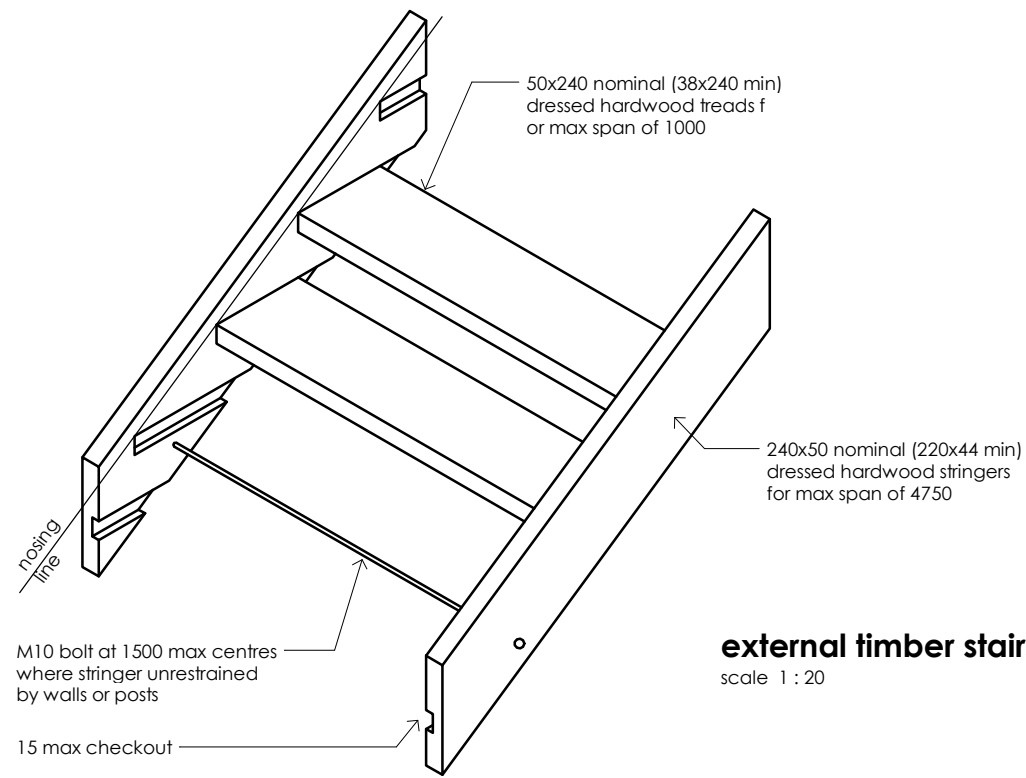
**New Residence**

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**Ground Slab Layout**

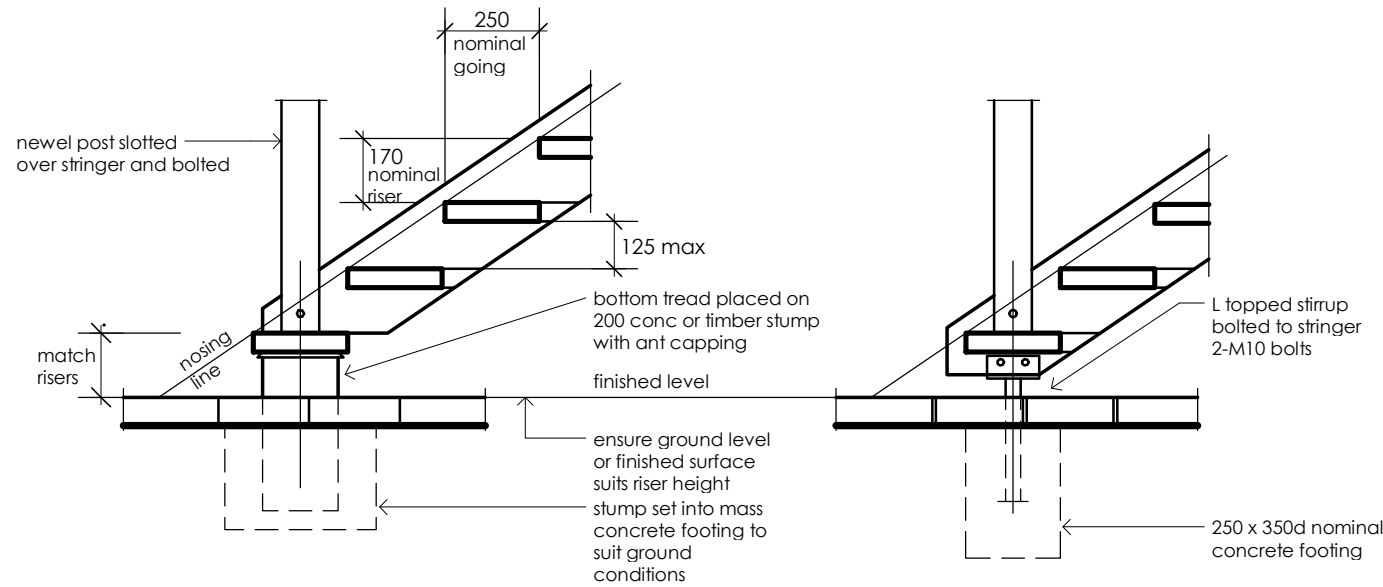
Construction

Scale at A3  
 1 : 100  
 Job No  
**XXXXyyy**  
 Designed  
 ACB/PBL  
 Drawn  
 ACB  
 Checked  
 PBL  
 Dwg No  
**510FT**  
 Issue  
**WD1**



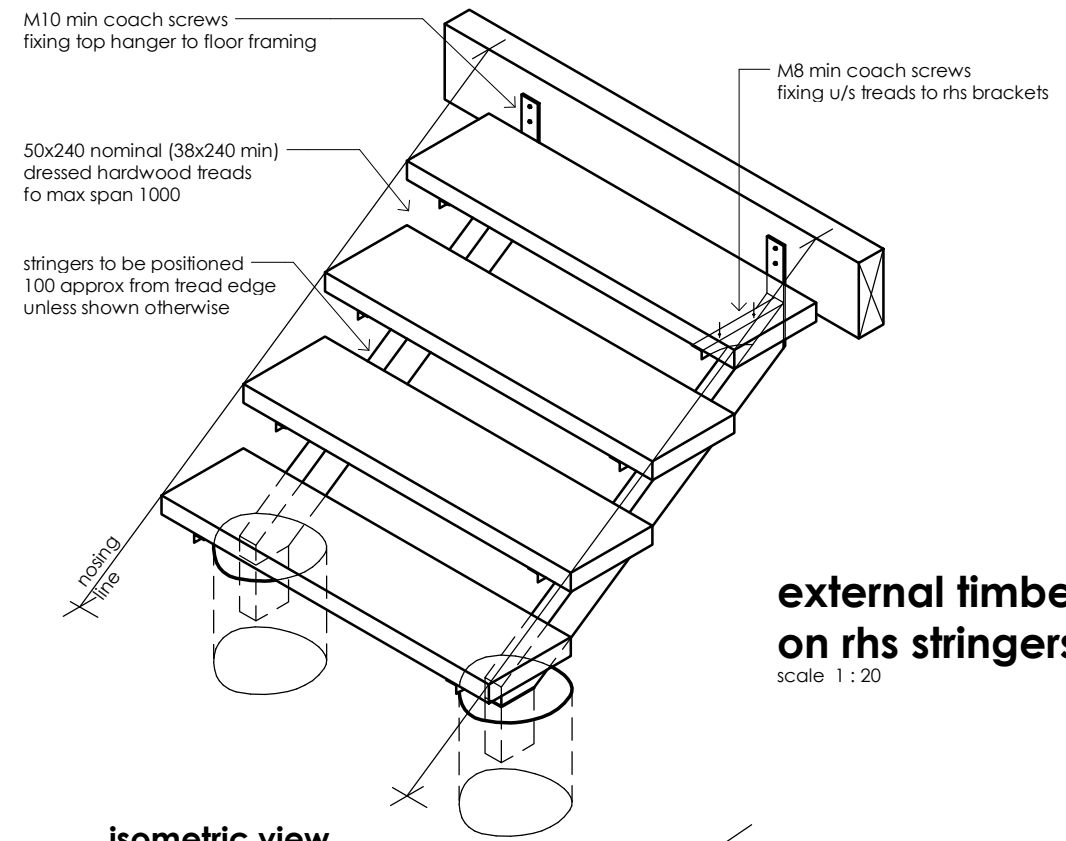
**external timber stairs**  
scale 1 : 20

**isometric view**



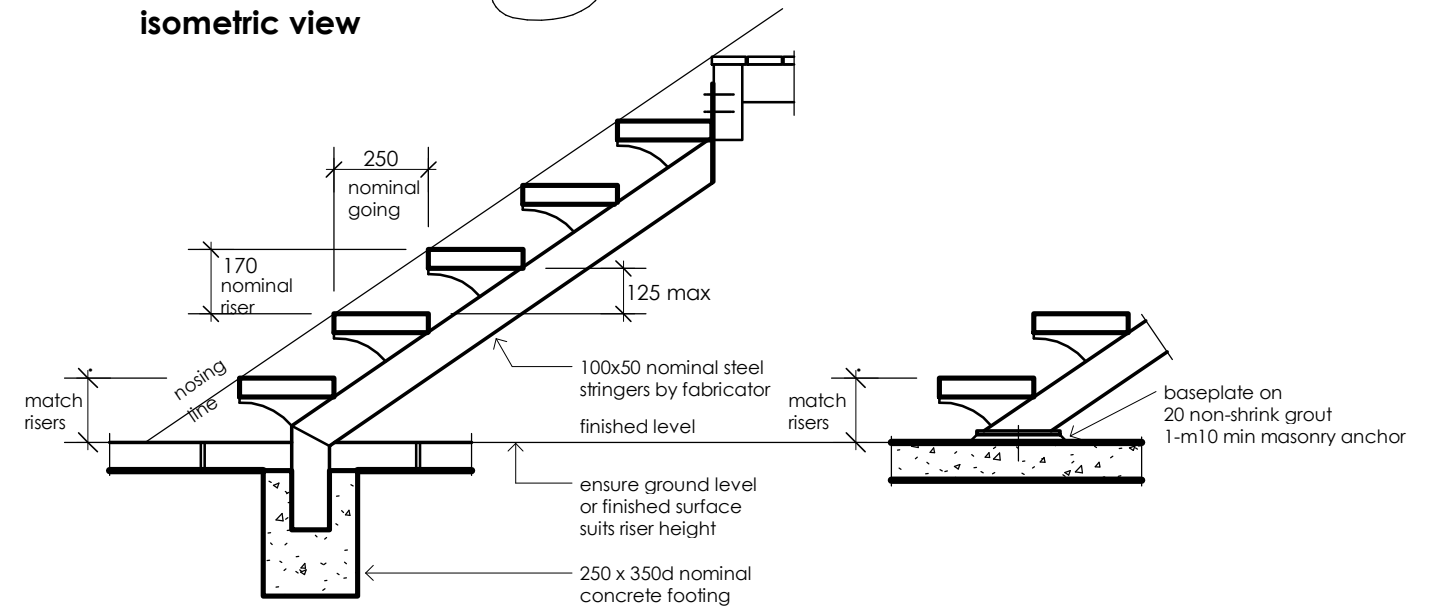
**section**  
onto stump

**section**  
onto stirrup



**external timber stairs on rhs stringers**  
scale 1 : 20

**isometric view**



**section**  
onto ground

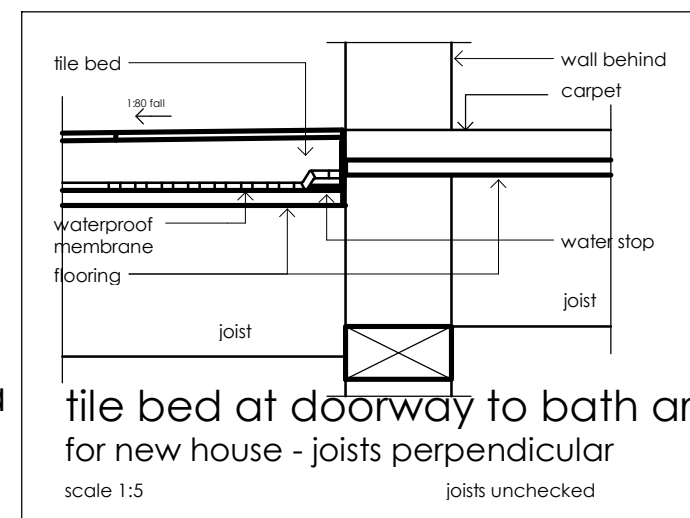
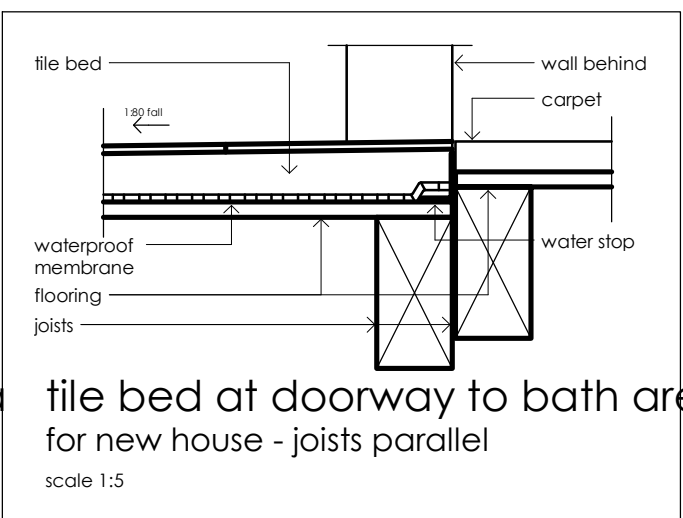
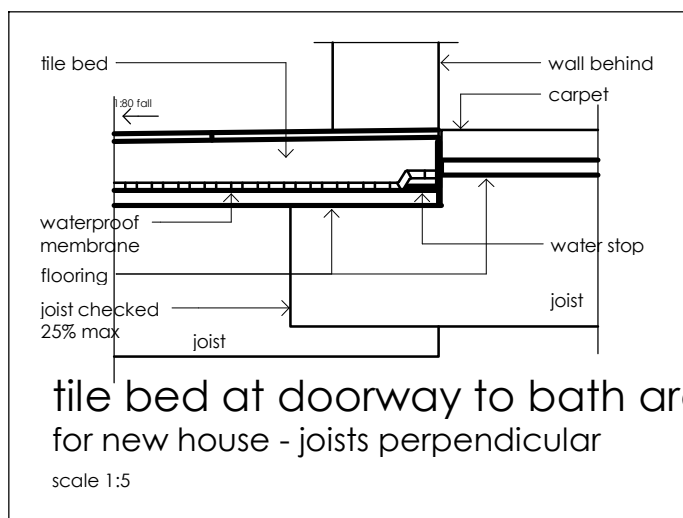
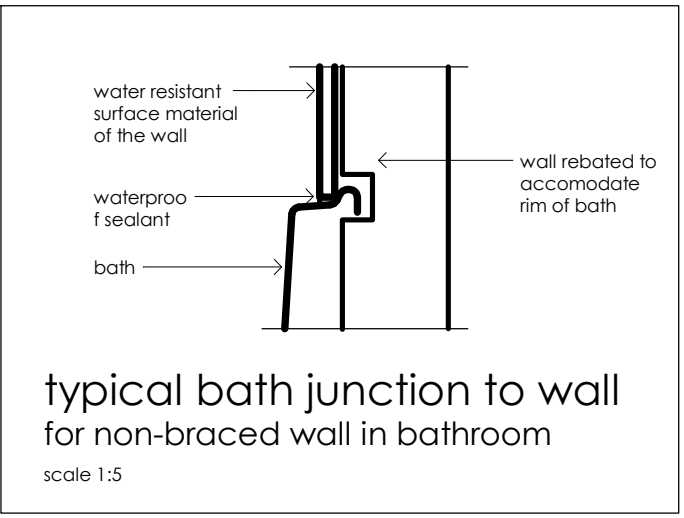
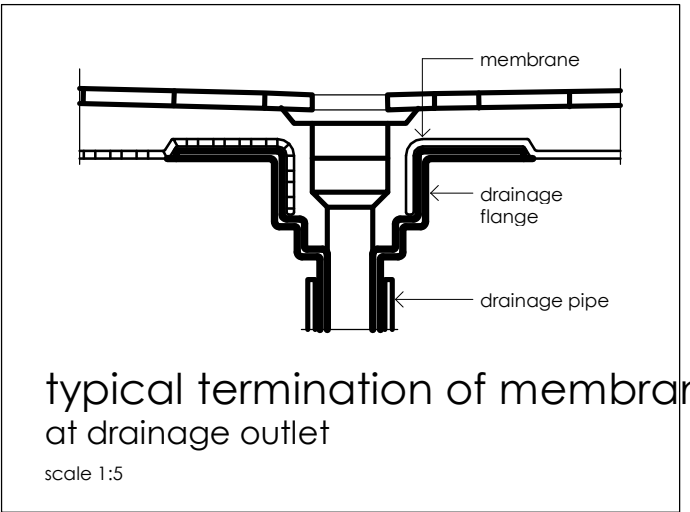
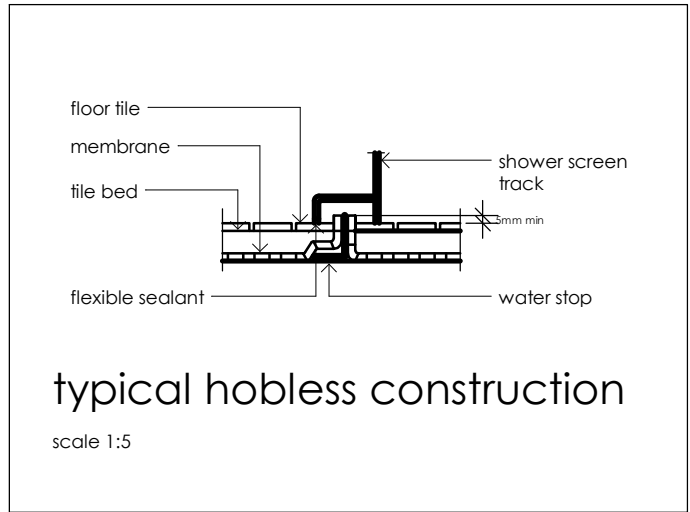
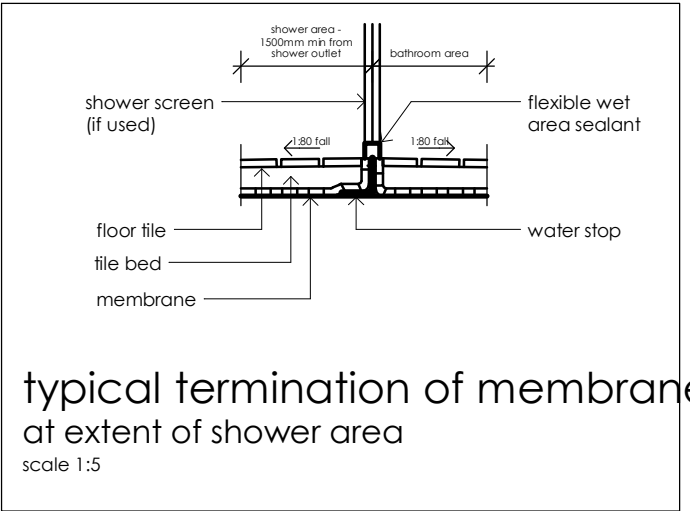
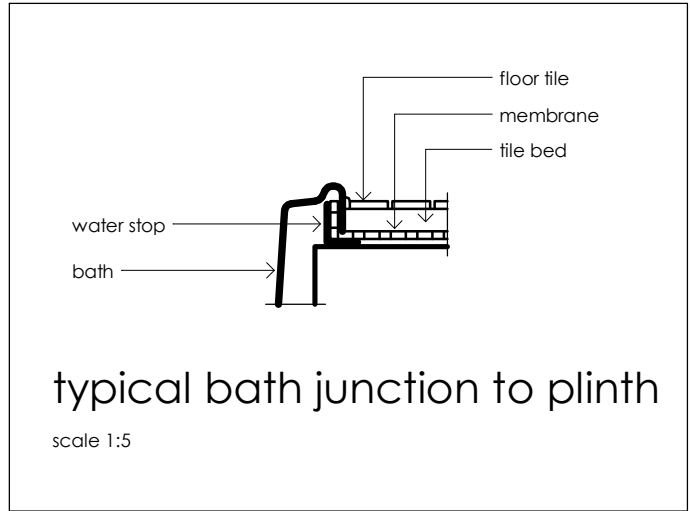
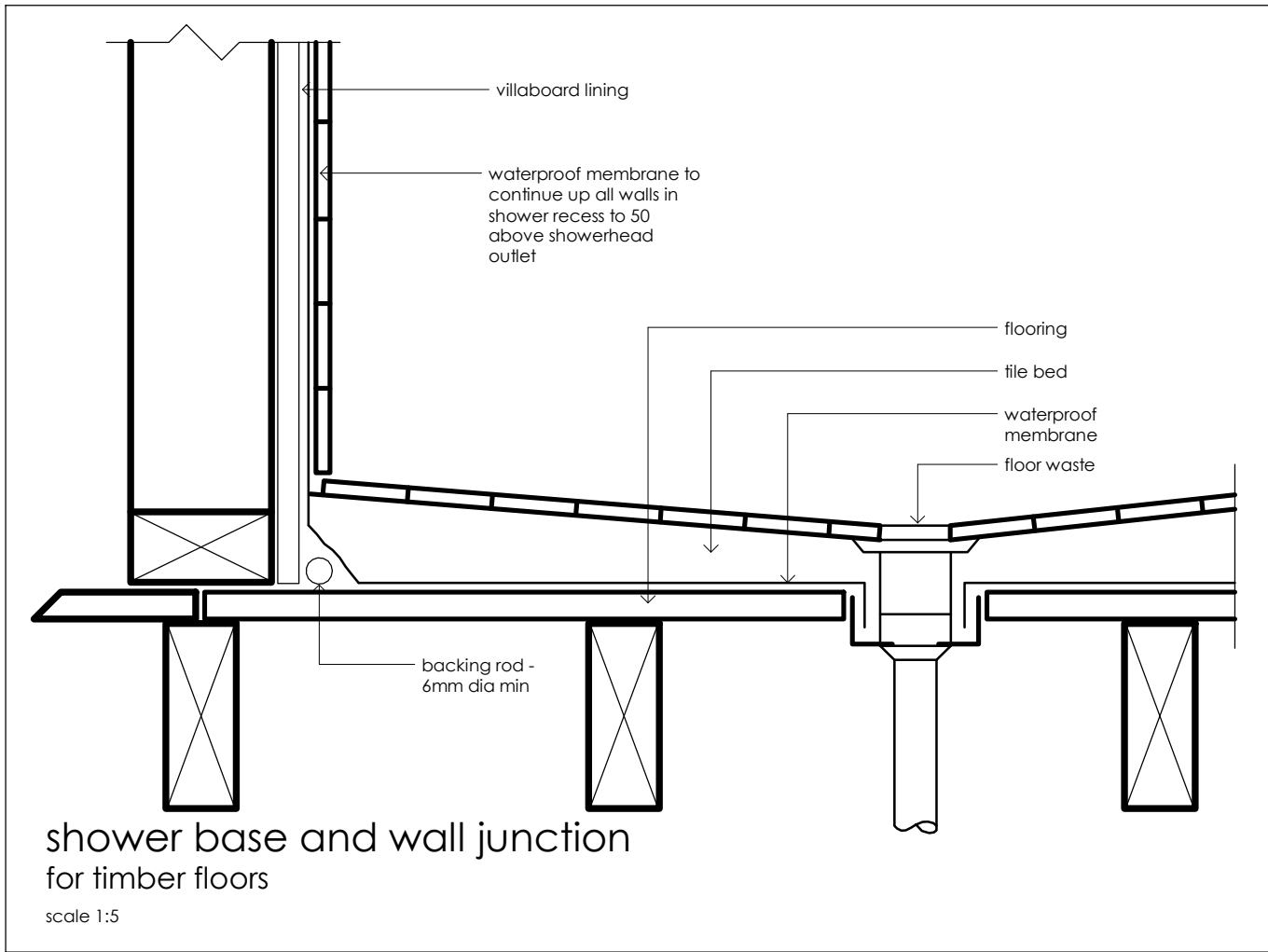
**section**  
onto slab

**general stair notes**

**open riser note**  
open tread style stairs are not to allow 125dia sphere through riser. if riser space is greater than 125, add batten to u/s nose of treads.

**riser + going dimension note**  
riser: 190 max, 115 min  
going: 355 max, 240 min  
2R+G = 700 max, 550 min  
if 300 treads req'd by main drawings, use 150 nominal risers.

**Source:**  
AS1684,  
TRADAC,  
Timber  
Qld,  
Generic  
sources.



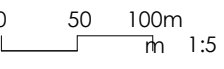
waterproofing details  
1:5

please do not ignore these details - they are necessary to remind all on site how to achieve waterproofed wet areas.

Source - AS 3740

Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	06.02.14	Final Wkg Dwgs			

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**New Residence**  
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Details -  
Waterproofing**  
Construction

Scale at A3 1:5	Job No <b>XXXXyyy</b>
Designed ACB/PBL	Dwg No <b>602DG</b>
Drawn PBL	Issue
Checked PBL	<b>WD1</b>

Wet Area Zone	Construction Method	Design and Installation Criteria			
		Floor	Walls	Wall Junctions	Penetrations
Shower	both concrete and timber floors	enclosed and hopped - note that hob must not be constructed of timber			
		membranes meeting AS/NZS 4858 installed above tile bed with floor waste	waterproof to 150mm min above floor substrate water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
	enclosed and hobless				
	waterproofed with membrane meeting AS/NZS 4858 installed above tile bed with floor waste and waterstop	waterproof to 150mm min above floor substrate water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system	
concrete slab or FC flooring	enclosed and preformed shower base				
	waterproofed with membrane meeting AS/NZS 4858 with floor waste	water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system	
Area outside shower	concrete slab or FC flooring	unenclosed			
	waterproofed with membrane meeting AS/NZS 4858 installed above tile bed 1500mm radius from shower rose, with floor waste	water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system	
Entire Bathroom Floor with a floor waste	concrete slab or FC flooring	water resistant with floor waste within 1500mm radius	n/a	junctions. horizontal leg of flashing a minimum of 50mm	n/a
	timber floors (ie. particleboard or plywood or other timber materials)	membranes meeting AS/NZS 4858 water resistant with floor waste within 1500mm radius	n/a	junctions. horizontal leg of flashing a minimum of 50mm	n/a
Insert Baths	concrete slab or FC flooring	waterproofed with membrane meeting AS/NZS 4858 with floor waste	n/a	wall to floor junctions sealed with flashing 25mm up wall above finished floor	n/a
	timber floors (ie. particleboard or plywood or other timber materials)	waterproofed with membrane meeting AS/NZS 4858 with floor waste n/a to floor under bath.	n/a	wall to floor junctions sealed with flashing 25mm up wall above finished floor	n/a
Shower over Bath	n/a	entire plinth waterproofed with waterstop under bath lip and project 5mm min above tiles	n/a to wall under bath. waterproof 150mm minimum above bath lip	seal edges at wall junction of vessel	n/a
	concrete slab or FC flooring	waterproof 1500mm minimum radius of shower rose radius with floor waste in zone	water resistant 1500mm min radius from shower rose	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
Adjacent to bath/space	timber floors (ie. particleboard or plywood or other timber materials)	waterproof entire floor with membranes meeting AS/NZS 4858 floor waste located as needed	water resistant 1500mm min radius from shower rose	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
	concrete slab or FC flooring	water resistant (see water resistant options)	water resistant to 150mm min. above vessel	waterproof corners with a minimum of 40mm and a minimum height of 1800mm seal edges of vessel and junction of bath with floor and wall junctions	horizontal surface: waterproof vertical surface: water resistant
Areas adjoining sinks basins and/or tubs	timber floors (ie. particleboard or plywood or other timber materials)	waterproof if shower is included in bath, apply shower wall requirements	water resistant to 150mm min. above vessel	waterproof corners with a minimum of 40mm and a minimum height of 1800mm seal edges of vessel and junction of bath with floor and wall junctions	horizontal surface: waterproof vertical surface: water resistant
Laundries and Wc's	n/a	water resistant (see water resistant options)	water resistant to 150mm min. above vessel	waterproof with a minimum of 150mm. seal edges at wall	horizontal surface: waterproof vertical surface: water resistant
Laundries and Wc's with a floor waste	n/a	water resistant (see water resistant options)	water resistant to 1200 high behind tub/machine location	waterproof all wall to floor junctions. horizontal leg of flashing to be 50mm minimum	waterproof with sealant or propriety flange system
Laundries and Wc's with a floor waste	n/a	waterproofed with membrane meeting AS/NZS 4858 with floor waste	water resistant to 1200 high behind tub/machine location	waterproof with a minimum of 40mm. seal wall to floor junctions with flashing 52mm minimum above finished floor	waterproof with sealant or propriety flange system

**Water proof Materials:** membranes meeting the requirements of AS/NZS4858. membrane can be placed either above or below tile bed as preferred. no traffic until membrane is cured (to manufacturer's instructions). if no mortar bed layed, immediately protect membrane, overlay with fc sheeting during construction.

penetrations for taps, shower roses, etc. shall be waterproofed by sealing with propriety flange systems or a sealant. when sealing the tap body the housing shall be able to be removed to allow washer replacement without seal damage. penetrations on horizontal surfaces shall be waterproofed by sealing with propriety flange systems or by sealing the tap body to the substrate.

waterproofing systems and their installation shall resist loadings, shrinkage and expansion, temperature variations, movement tolerance and exposure to cleaning chemicals and alkalis from cement mortar. waterproofing systems shall

electric shower bases shall be supported to prevent excessive deflection. any expected movement at the wall to floor junctions shall be accommodated by the use of water resistant surface materials to pass down inside the perimeter rebate of the shower base. when installing acrylic shower bases, the integrity of the structure shall be maintained.

all wet area trades are to have AS3740 in possession on site to cross check actual building against performance requirements of standard.

new elevated wet area finished floor level must be flush with finished floor level of adjacent room. where relocation of a bathroom occurs within an existing building, ramping at the doorway (at 1:10) up to the new bathroom finished floor level must occur (see detail).

new slab wet area floor to be not less than 50mm thick and be water proofed, fire, sound resistant and compatible with adjacent materials.

all adhesives used in a waterproofing system shall be waterproof and compatible with adjacent materials.

the ratio of falls in both shower and bathroom floor locations should be no less than 1:80. there will be

no sharp edges or significant liping in floor tiling. where required by manufacturer, materials shall be cured in accordance with the manufacturer's instructions.

bond breakers are required at all wall/floor, hob/wall and at movement joints where the membrane is bonded to the substrate.

Designer requires waterproofing to entire floor area. any changes made by builder should be no less than the requirements as listed or by AS 3740. Designer suggests use of Hardies Scyon wet area flooring.

Source - AS 3740

WD1 06.02.14 Final Wkg Dwgs	
Issu Date Issue Description	
Scale at A3 1 : 5 Designed ACB/PBL Drawn PBL Checked PBL	
Rev Date Revision Description	



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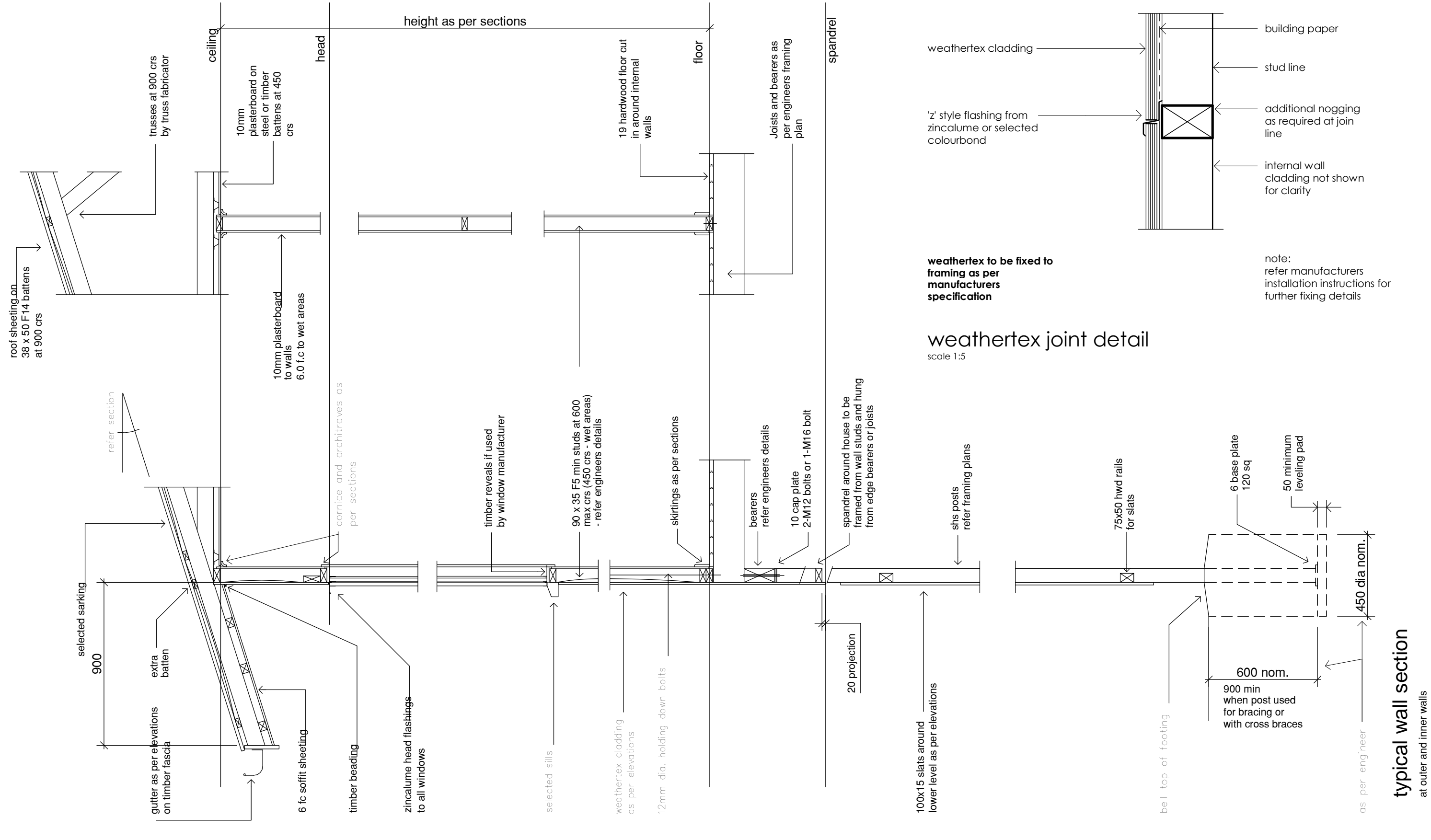
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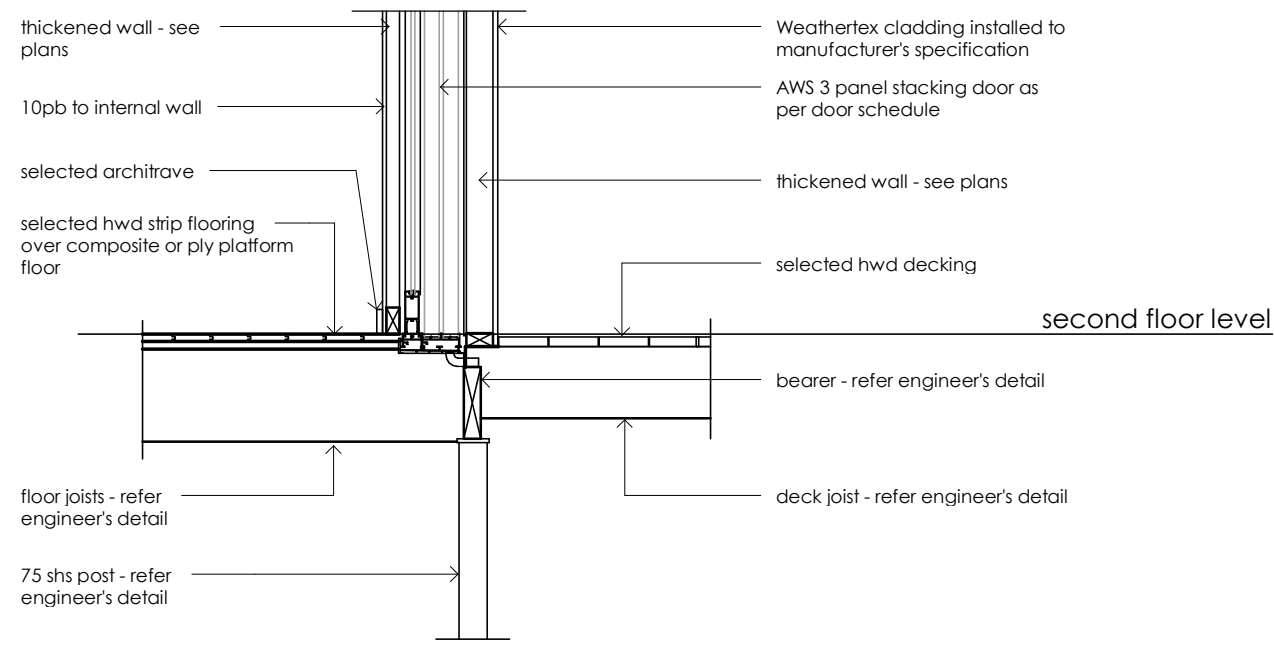
at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Details -  
Waterproofing Notes**

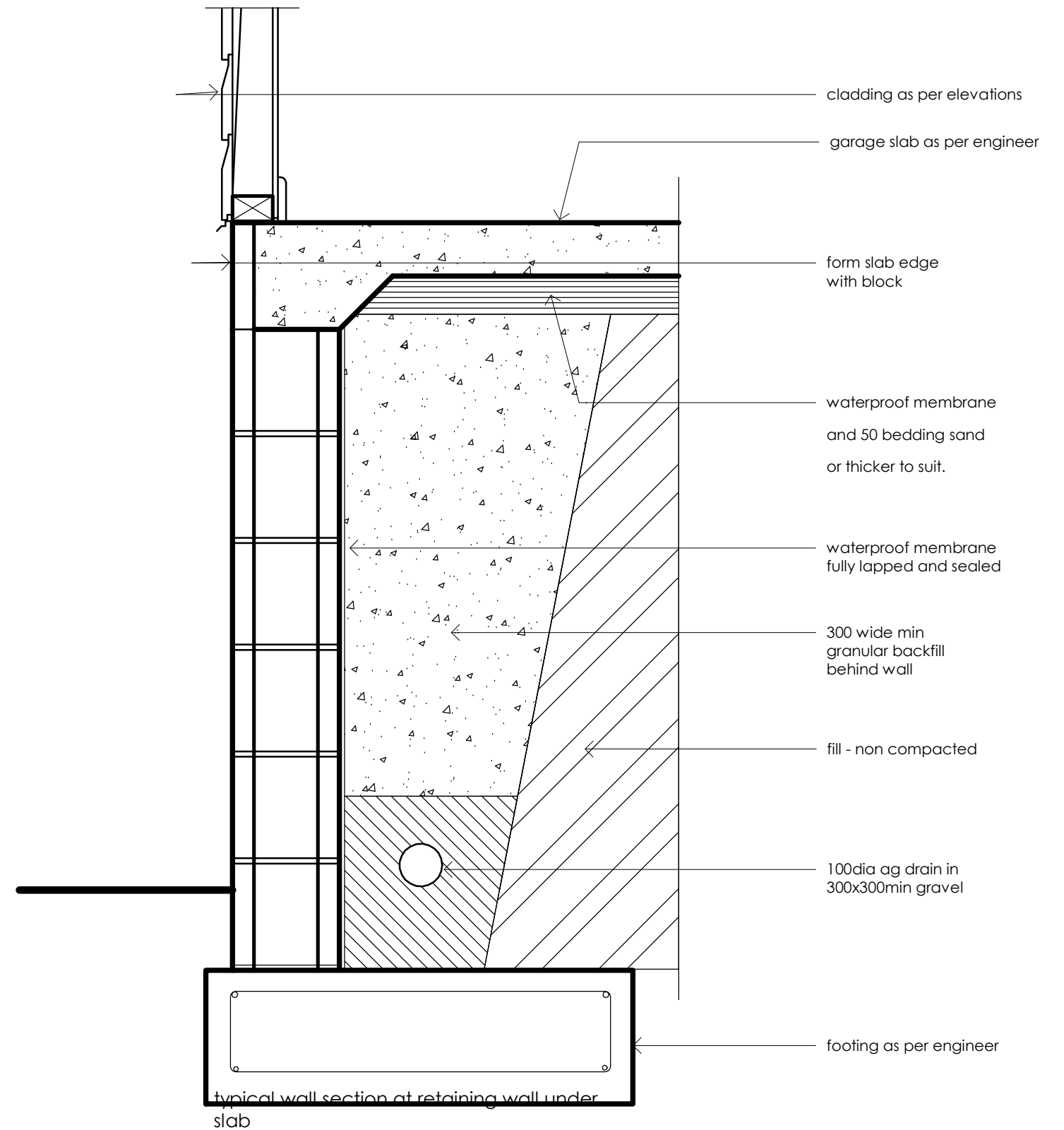
Construction

Job No  
**XXXXyyy**  
Dwg No  
**603DG**  
Issue  
**WD1**

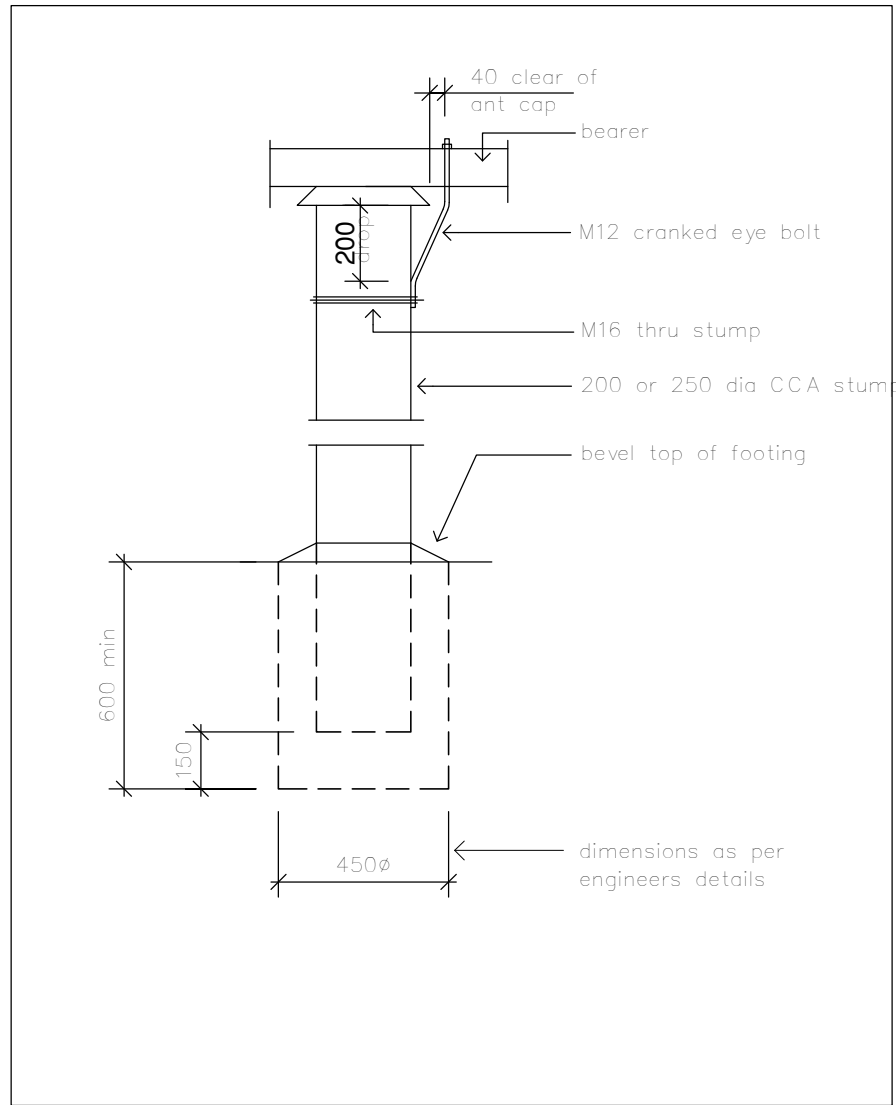




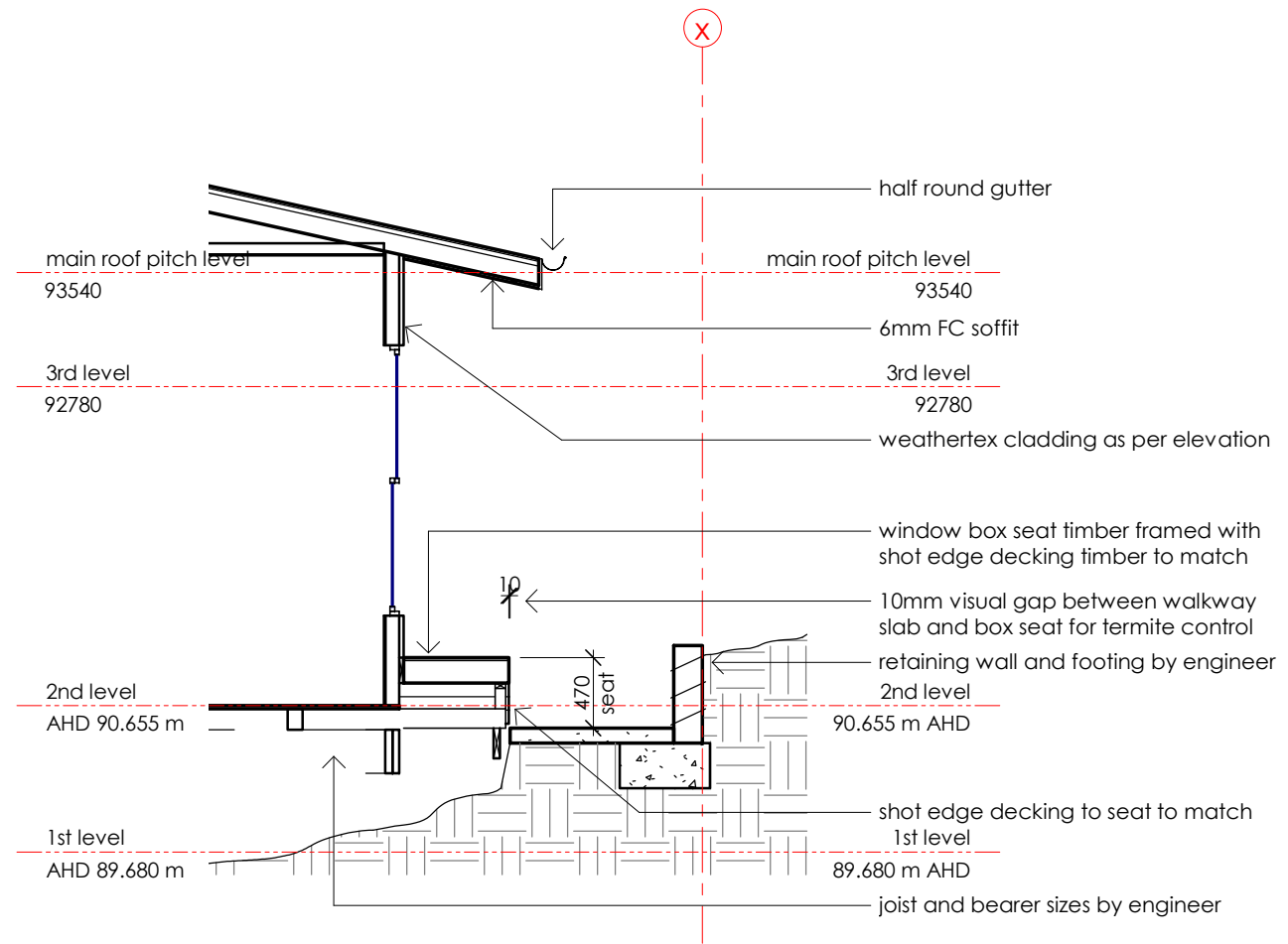
1 stacker door detail  
1 : 20



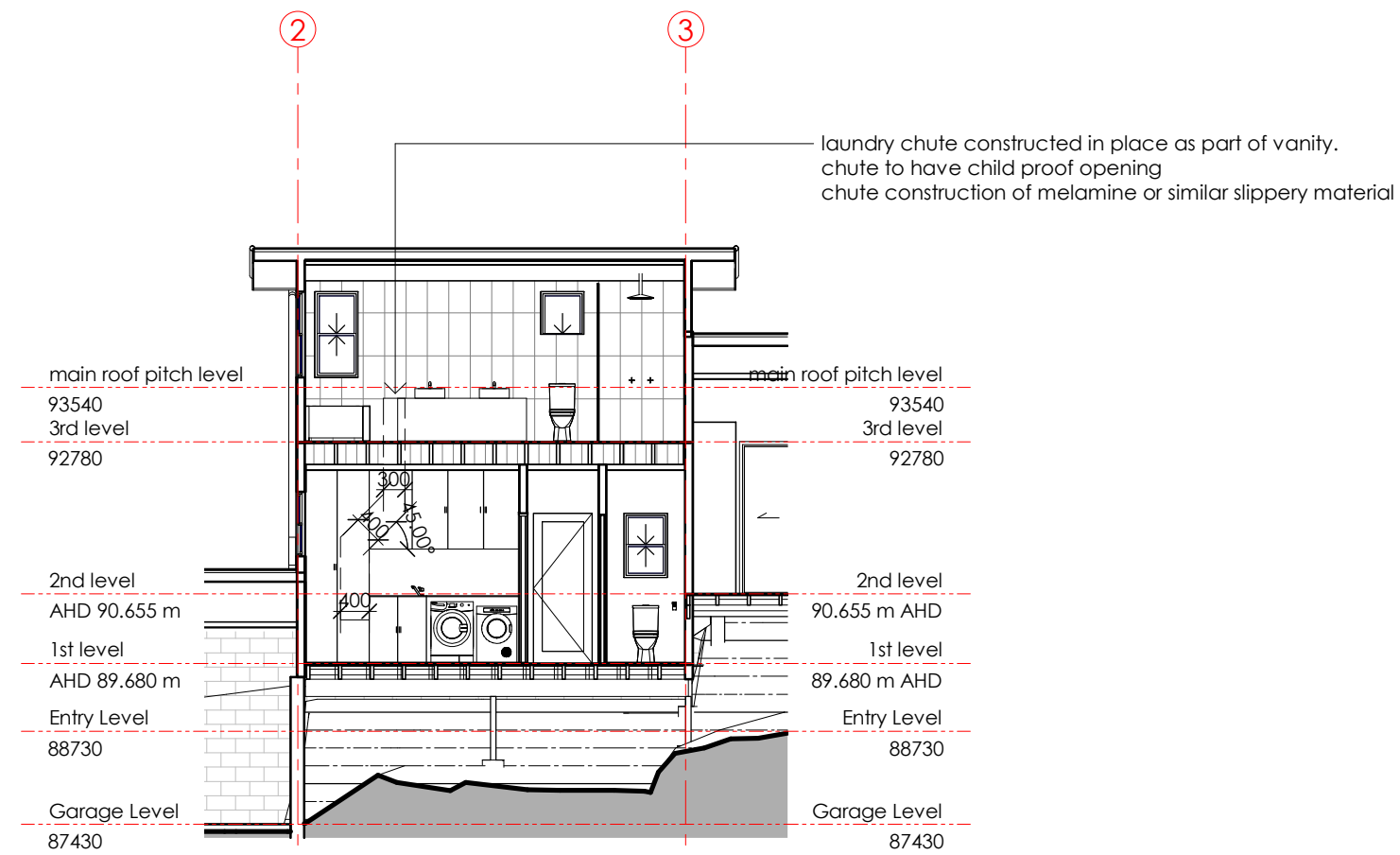
2 garage slab detail  
1 : 10



1 timber stump detail  
1:20



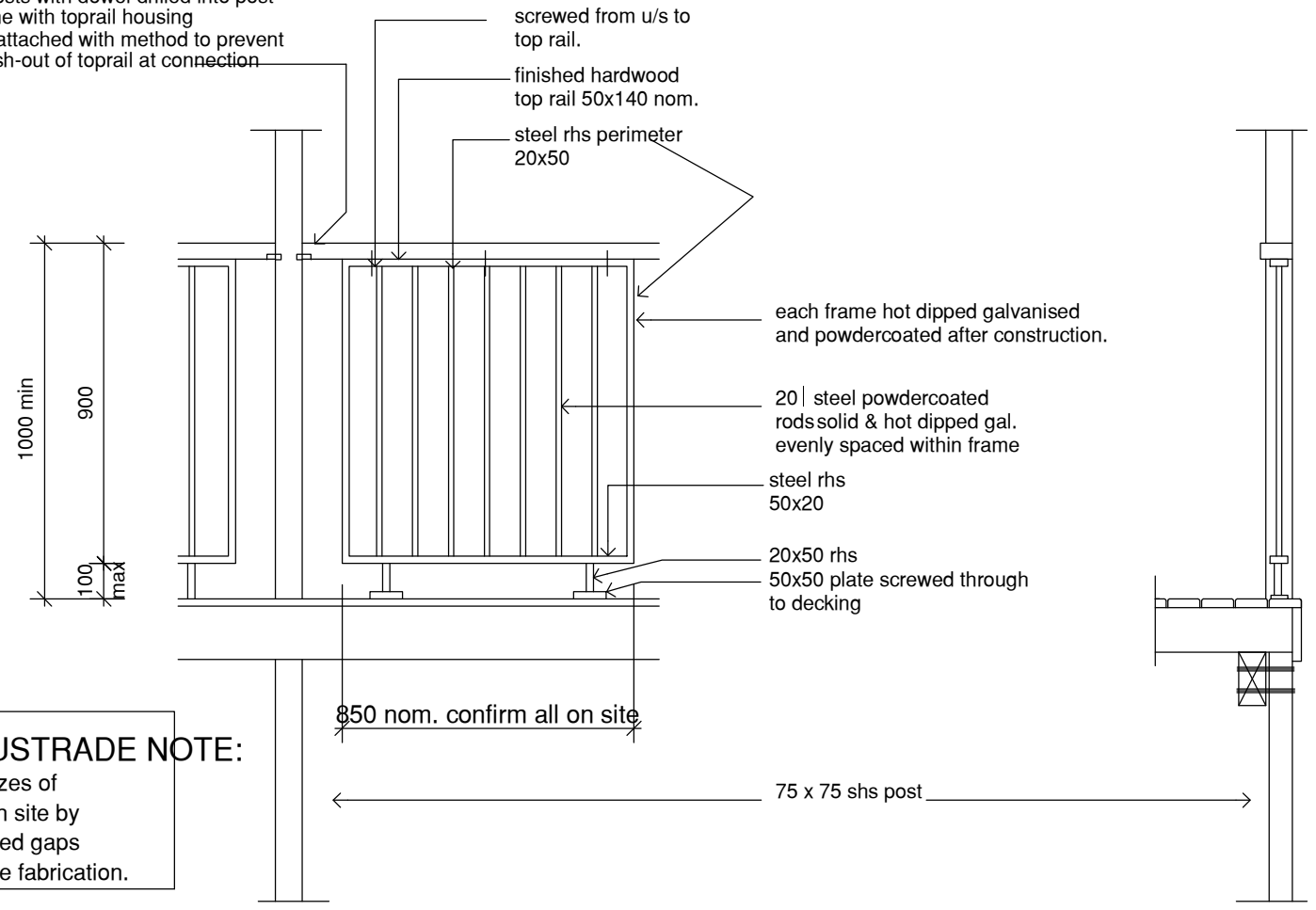
2 Section through window box seat  
1:50



1 Laundry and Bathroom section  
110FP 1:100



top rail to be securely fixed to posts with dowel drilled into post in line with top rail housing - or attached with method to prevent push-out of top rail at connection



**SIZE OF BALUSTRADE NOTE:**  
Please confirm all sizes of balustrade frames on site by measuring constructed gaps between posts before fabrication.

**handrail detail**  
steel rhs panels 1:20

**timber grade**  
all externally exposed handrails to constructed from naturally durable class 1 or 2 species, or softwood treated H3 or higher.  
timber to be free from major strength reducing features & straight grained.

**fixings**  
fixings to be minimum hot dip galvanized.

- (f) A wire balustrade must be constructed in accordance with the following and is deemed to meet the requirements of (c):
- (i) For horizontal wire systems—
    - (A) when measured with a strain indicator, it must be in accordance with the tension values in Table 3.9.2.1; or
    - (B) must not exceed the maximum deflections in Table 3.9.2.1.
  - (ii) For non-continuous vertical wire systems, when measured with a strain indicator, must be in accordance with the tension values in Table 3.9.2.1.
  - (iii) For continuous vertical or continuous near vertical sloped wire systems—
    - (A) must have wires of no more than 2.5 mm diameter with a lay of 7x7 or 7x19 construction; and
    - (B) changes in direction at support rails must pass around a pulley block without causing permanent deformation to the wire; and
    - (C) must have supporting rails, constructed with a spacing of not more than 800 mm, of a material that does not allow deflection that would decrease the tension of the wire under load; and
    - (D) when the wire tension is measured with a strain indicator, it must be in accordance with the tension values in Table 3.9.2.2 and measured in the furthest span from the tensioning device.

**Explanatory information:**

1. For the purpose of this clause, a wire balustrade consist of a series of tensioned wire rope connected to either vertical or horizontal supports serving as a guard to minimise the risk of a person falling from a roof, stairway, raised floor level or the like.
2. A wire balustrade excludes wire mesh fences and the like.
3. To assist in the application of 3.9.2.3(f), the the following terms have been defined:
  - (a) Continuous – where the wire spans three or more supports.
  - (b) Non-continuous – where the wire only spans between two supports.
  - (c) Pulley block – a device consisting of a wheel in which a wire runs around to change its direction.
  - (d) Permissible deflection – is the allowable bending of the wire.
  - (e) Support rails – are horizontal components of the balustrade system that span across the top and bottom to provide structural support.
4. Tables 3.9.2.1 and 3.9.2.2 contains tension and deflection requirements for wires in vertical and horizontal wire balustrades systems with varying post spacings, wire spacings and wire types. The figures contained in the table were derived from testing the spacing combinations in order to prevent the passage of a 125 mm diameter solid cone penetrating between the wires at a predetermined force.
5. Care needs to be taken to ensure that wire tension will be maintained during the life of the balustrade. In some situations, it may be necessary to incorporate "lock-off" devices to prevent to loosening of the wire.
6. Likewise, if a threaded anchor bears against a soft wood post or rail, the anchor may indent the post or rail, thus loosening the wire.
7. Temperature effects on the tension of the wire may be significant but there is little that can be done to allow for temperature variation in service. The shorter the wire span, the lesser the effect will be.
8. Stainless steel wire with a lay of 1 x 19 has the greatest elastic modulus and will take up the same load with less extension than equivalent wires with other lays.

**Table 3.9.2.1 WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION (T) AND MAXIMUM PERMISSIBLE DEFLECTION (D)**

Support (post or rail) Spacing (mm)	Stainless Steel Wire												Galvanised Steel Wire				
	Wire Diameter (mm) and Lay																
	2.5	2.5	3.0	3.0	4.0	4.0	4.0	4.0	3.25								
	7 x 7	1 x 19	1 x 19	7 x 7	7 x 7	7 x 19	1 x 19	1 x 6	Wire Spacing (mm)								
	60	60	80	100	60	80	100	60	60	60	80	100	60	60	80	100	
600	T	8	35	420	1140	85	325	1090	81	29	155	394	1038	6	45	240	1060
	D	20	20	9	2	19	8	2	19	18	18	8	3	18	30	10	3
800	T	198	218	630	1565	183	555	1500	242	213	290	654	1412	127	140	537	1540
	D	13	13	7	2	16	6	2	16	14	14	7	3	14	23	7	3
900	T	294	310	735	N/A	261	670	1705	323	242	358	785	1598	242	188	685	1780
	D	11	11	5	N/A	13	6	2	13	12	12	6	3	12	20	6	3
1000	T	380	402	840	N/A	340	785	1910	404	329	425	915	1785	358	235	853	N/A
	D	10	10	5	N/A	11	6	2	11	10	10	5	3	10	17	6	N/A
1200	T	583	585	1050	N/A	520	1015	N/A	525	519	599	1143	2165	525	435	1190	N/A
	D	9	9	5	N/A	8	6	N/A	8	8	8	4	2	8	10	N/A	N/A
1500	T	860	810	1400	N/A	790	1330	N/A	681	785	860	1485	2745	785	735	N/A	N/A
	D	8	8	5	N/A	7	5	N/A	7	8	8	4	2	8	10	N/A	N/A
1800	T	1100	1125	1750	N/A	1025	1725	N/A	980	1050	1080	1860	N/A	1000	1150	N/A	N/A
	D	8	8	N/A	N/A	7	5	N/A	7	7	8	4	N/A	8	10	N/A	N/A
2000	T	1229	1325	N/A	N/A	1180	1980	N/A	1171	1188	1285	2105	N/A	1090	N/A	N/A	N/A
	D	8	8	N/A	N/A	7	5	N/A	7	7	7	4	N/A	7	N/A	N/A	N/A
2500	T	1581	N/A	N/A	N/A	N/A	N/A	N/A	1483	1719	1540	2615	N/A	1488	N/A	N/A	N/A
	D	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	7	7	4	N/A	7	N/A	N/A	N/A

**Notes:**

1. Tension (T) = when measured with a strain indicator the minimum required tension of the wire balustrades in Newtons (N)
2. Deflection (D) = maximum permissible deflection in (mm) of the wire balustrades when a 2 kg mass is suspended mid-span between the posts
3. Lay = number of strands by the number of individual wires in each strand. For example 7 x 19 = 7 strands, each with 19 individual wires in each strand
4. Galvanised Steel Wire is only to be used in straight run applications
5. Where a change of direction is made in the run of a wire , the tensioning device is to be placed at the end of the longest span.
6. N/A = wire balustrades not allowed in this situation

**Table 3.9.2.2 CONTINUOUS VERTICAL WIRE BALUSTRADE CONSTRUCTION – REQUIRED WIRE TENSION**

Minimum Lay	Widest Spacing Between Wires (mm)	Tension (N)
7x7	80	20
or	105	285
7x19	120	850

**Note:**

Lay = number of strands by the number of individual wires in each strand. For example:  
Lay 7 x 19 = 7 strands, each with 19 individual wires in each strand

**Explanatory Information**

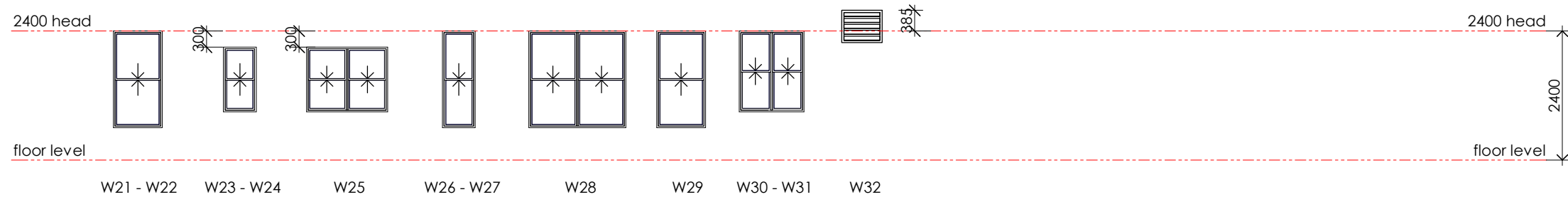
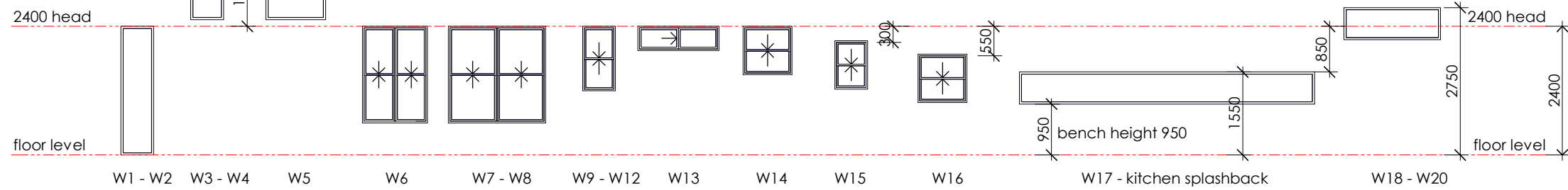
The Table only includes 7 x 7 and 7 x 19 wires due to other wires not having sufficient flexibility to make the necessary turns.

window schedule new										
Mark	Qty	Level	Head	Height	Width	Frame Material	Window Style	Type Comments	Glazing	Comments
1	1	Entry Level	2400	2400	610	aluminium	fixed	single light	6.38 laminated	to meet BAL 19
2	1	Entry Level	2400	2400	610	aluminium	fixed	single light	6.38 laminated	to meet BAL 19
3	1	Entry Level	3725	1200	610	aluminium	fixed	single light	6.38 laminated	to meet BAL 19
4	1	Entry Level	3725	1200	610	aluminium	fixed	single light	6.38 laminated	to meet BAL 19
5	1	Entry Level	3725	1200	1110	aluminium	fixed	single light	6.38 laminated	to meet BAL 19
6	1	1st level	2400	1800	1210	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19
7	1	1st level	2400	1800	1810	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
8	1	1st level	2400	1800	1810	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
9	1	1st level	2400	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
10	1	1st level	2400	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
11	1	1st level	2400	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
12	1	1st level	2400	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
13	1	1st level	2400	600	1510	aluminium	slider	single light	6.38 laminated	with screens to meet BAL 19
14	1	1st level	2400	900	910	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
15	1	1st level	2100	900	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
16	1	2nd level	1850	900	910	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
17	1	2nd level	1550	600	5500	aluminium	fixed	single light	6.38 laminated	full kitchen splashback window to meet BAL 19
18	1	2nd level	2750	300	1800	aluminium	fixed	single light	6.38 laminated	high window for light to meet BAL 19
19	1	2nd level	2750	300	1800	aluminium	fixed	single light	6.38 laminated	high window for light to meet BAL 19
20	1	2nd level	2750	300	1800	aluminium	fixed	single light	6.38 laminated	high window for light to meet BAL 19
21	1	2nd level	2400	1800	910	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
22	1	2nd level	2400	1800	910	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
23	1	3rd level	2100	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
24	1	3rd level	2100	1200	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
25	1	3rd level	2100	1200	1510	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
26	1	3rd level	2400	1800	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19 lower pane max opening 125mm
27	1	3rd level	2400	1800	610	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
28	1	3rd level	2400	1800	1810	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19
29	1	3rd level	2400	1800	910	aluminium	double hung	single light	6.38 laminated	with screens to meet BAL 19
30	1	3rd level	2400	1500	1210	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19
31	1	3rd level	2400	1500	1210	aluminium	double hung	double light	6.38 laminated	with screens to meet BAL 19
32	1	3rd level	2785	600	750	aluminium	louvres		6.38 laminated	with screens to meet BAL 19

**window & door notes**

1. read schedules in conjunction with floor plans and elevations. all joinery viewed from outside, uno, but note that floor plans take precedence over legend views on this sheet, in regards to door swings or sliding direction.
2. this drawing to be read in conjunction with energy assessment.
3. clear glass uno (some windows or doors may be low e-glass).
4. where glazing specified, also means "or similar".
5. refer owner for frame colours on aluminium framed items.
6. refer owner if flyscreens are required.
7. all windows with sills below 900 above floor, and over 1000 above outside level, to have fixed lower panels opening 125 max.
8. all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from

all windows and doors to be **vantage** as supplied by **architectural windows & doors - 3870-2100** or **bretts - 3267 4888**  
**all louvres - breezway altair, no exceptions.**



legend window  
1 : 100

notes:  
as per point 7 above, any window above 1m fall to outside level (ie: all windows on level 3), cannot have an opening greater than 125mm sphere where sill is above 900mm above FFL.  
kitchen splashback method of construction is yet to be determined as glass is not delivered in 5500mm lengths  
All glazing to meet BAL 19 requirements for Bushfire Region

**N2/W33N**

WD1 06.02.14 Final Wkg Dwgs  
PD1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design  
Issue Date Issue Description

Rev Date Revision Description



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**New Residence**

at 00 Long Rd  
Acreage Suburb 4000  
for Fun Clients

**Window Schedule**

Construction

Scale at A3  
1 : 100  
Designed  
ACB/PBL  
Drawn  
ACB  
Checked  
PBL

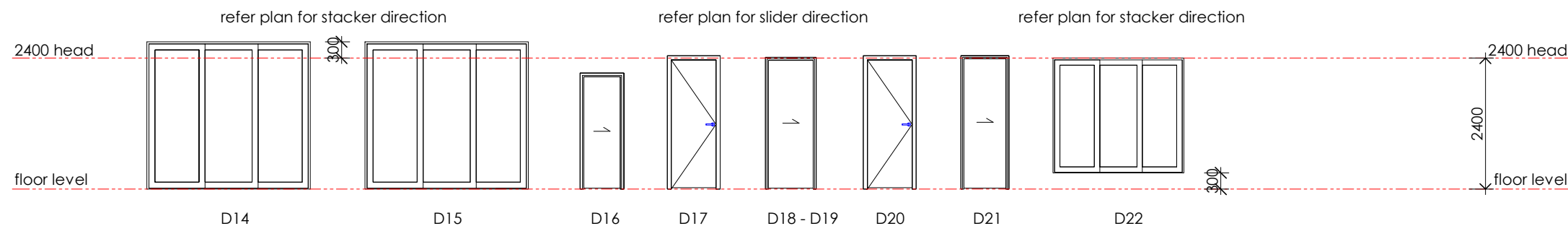
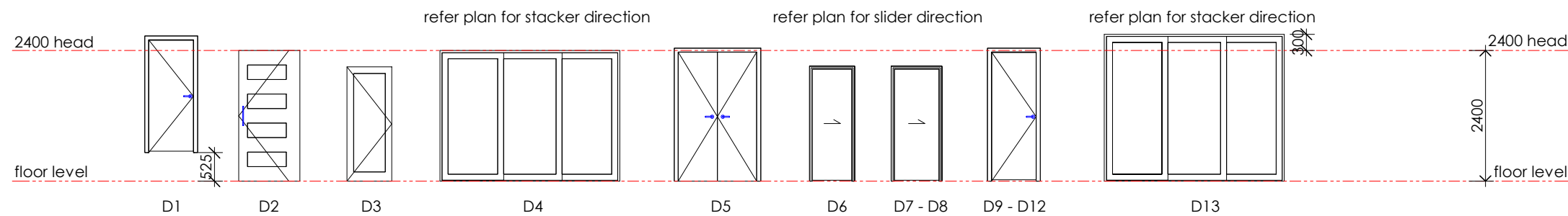
Job No  
**XXXXyy**  
Dwg No  
**701SC**  
Issue  
**WD1**

door schedule new										
Mark	Qty	Level	Nom Head	Height	Width	Frame Material	Door Style	Type Comments	Glazing	Comments
1	1	Garage Level	2100	2070	820	timber	solid core flush	2040x820x40 panel		
2	1	Entry Level	2400	2400	1120	aluminium or timber	single light or as selected	Feature entry door	6.38 laminated to meet BAL 19	as selected by owner
3	1	1st level	2100	2100 2340	820	aluminium	single light or as selected	820 single light entry door	6.38 laminated to meet BAL 19	
4	1	1st level	2400	2400	3300	aluminium	stacker slider		6.38 laminated to meet BAL 19	
5	1	1st level	2400	2370	1440	timber	flush panel french doors			on parliament hinges for full swing (check measurement dependant on fish tank position)
6	1	1st level	2100	2340	720	timber	hollow core door	cavity slider		
7	1	1st level	2100	2340	820	timber	hollow core door	cavity slider		
8	1	1st level	2100	2340	820	timber	hollow core door	cavity slider		
9	1	1st level	2400	2340	820	timber	hollow core door	2340x820x50 panel		
10	1	1st level	2400	2370	820	timber	hollow core door	2340x820x50 panel		
11	1	1st level	2400	2370	820	timber	hollow core door	2340x820x50 panel		
12	1	1st level	2400	2370	820	timber	hollow core door	2340x820x50 panel		
13	1	2nd level	2700	2700	3300	aluminium	stacker slider		6.38 laminated to meet BAL 19	
14	1	2nd level	2700	2340	3000	aluminium	stacker slider		6.38 laminated to meet BAL 19	
15	1	2nd level	2700	2700	3000	aluminium	stacker slider		6.38 laminated to meet BAL 19	
16	1	2nd level	2100	2340	670	timber	hollow core door	cavity slider		
17	1	3rd level	2400	2340	820	timber	hollow core door	2340x820x50 panel		
18	1	3rd level	2400	2340	820	timber	hollow core door	cavity slider		
19	1	3rd level	2400	2340	820	timber	hollow core door	cavity slider		
20	1	3rd level	2400	2370	820	timber	hollow core door	2340x820x50 panel		
21	1	3rd level	2400	2370	770	timber	hollow core door			
22	1	3rd level	2100	2100	2400	aluminium	stacker slider		6.38 laminated to meet BAL 19	door with railing to prevent falling

**window & door notes**

1. read schedules in conjunction with floor plans and elevations. all joinery viewed from outside, uno, but note that floor plans take precedence over legend views on this sheet, in regards to door swings or sliding direction.
2. this drawing to be read in conjunction with energy assessment.
3. clear glass uno (some windows or doors may be low e-glass).
4. where glazing specified, also means "or similar".
5. refer owner for frame colours on aluminium framed items.
6. refer owner if flyscreens are required.
7. all windows with sills below 900 above floor, and over 1000 above outside level, to have fixed lower panels opening 125 max.
8. all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from

all windows and doors to be **vantage** as supplied by **architectural windows & doors - 3870-2100** or **bretts - 3267 4888**  
**all louvres - breezway altair, no exceptions.**



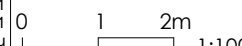
legend door  
1 : 100

Notes:  
All exterior doors to meet BAL 19 requirements for Bushfire Region  
As D24 is in fact a window, it is required to meet BAL 19 and therefore is required to have screens fitted to meet that code.

N2/W33N

WD1 06.02.14 Final Wkg Dwgs  
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 Issue Date Issue Description

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**New Residence**

at 00 Long Rd  
 Acreage Suburb 4000  
 for Fun Clients

**Door Schedule**

Construction

Scale at A3  
1 : 100  
 Designed  
ACB/PBL  
 Drawn  
ACB  
 Checked  
PBL

Job No  
**XXXXyy**  
 Dwg No  
**711SC**  
 Issue  
**WD1**

**GENERAL NOTES**

1. All dimensions in millimetres.
2. Dimensions take preference to scale and are to structure not finish on new work. existing walls may be nominally dimensioned.
3. Check and verify dimensions and confirm any existing dimensions.
4. Work shall comply with the Building Code of Australia, Building Act Qld, and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
5. Manufacturer's specification means a current approved specification for use under the conditions applicable these drawings are available digitally, if required.
6. Disclaimer:  
Any data supplied by others and shown on these drawings are not the responsibility of this designer. All users of these drawings are advised to check other supplied data. Owner remains responsible for ongoing maintenance of building. Structural elements in particular are to remain protected by the methods shown and listed in these drawings.

**SITE WORKS**

1. Site to be prepared in accordance with engineers report, if applicable. site to be excavated and/or filled to levels shown. Construction area to be cleared of vegetation, all topsoil and upper strata containing organic matter.
2. Prepare foundations so footings shall be placed on level undisturbed material. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
3. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur.
4. Dish drains and ag pipes to be provided as required or indicated to facilitate drainage of water away from building.
5. Temporary downpipes to be provided at dp locations

**DESIGN LOADS**

1. Decking and Cladding: Owner to provide ground level and refer drawings for building standard deductions
2. All floors to be finished with a 20mm concrete slab on compacted fill
3. All walls to be finished with a 20mm concrete slab on compacted fill
4. All walls to be finished with a 20mm concrete slab on compacted fill
5. All walls to be finished with a 20mm concrete slab on compacted fill
6. All walls to be finished with a 20mm concrete slab on compacted fill
7. All walls to be finished with a 20mm concrete slab on compacted fill

**SUBSTITUTION NOTE**

Substitution of any structural members, and/or any variation to any part of the design WILL VOID any responsibilities of the designer for the structural integrity and performance of the building.

**DESIGN REPEAT NOTE**

The design represented within this set of drawings is for an individual building. It cannot be used again on another site, without prior checking with designer. This applies also to all consultant documents that support these drawings.

**SET of DOCUMENTS NOTE**

The builder is advised to provide full set of these drawings to all supporting trades and suppliers, so that each has full knowledge of the project. If separated, builder to ensure the recipient has all necessary drawings.

**MATERIALS AND CONSTRUCTION - AS APPLICABLE - REFER DRAWINGS FOR MATERIALS USED**

**A MATERIALS GENERALLY**

1. All materials shall be new UNO.
2. Builder to obtain manufacturer's installation guide for all propriety products.

**B REINFORCED CONCRETE**

1. Concrete to be in accordance with current editions of following codes & codes referenced therein :
  - AS3600 - SAA Concrete Structures Code
  - AS1379 - Readymixed Concrete
  - Slab & footings to be constructed in accordance with AS 2870.1 1988
2. Strength of concrete at 28 days:
  - slabs 25 MPa
  - footings 20 MPa
3. Max nominal aggregate size 20mm.
4. Sample and test in accordance with AS 3600.
5. Slump: 80mm (Grade N20).
6. Consolidate by vibration.
7. Termite protection to slabs to AS 3660. Owner is responsible for maintaining Termite protection.
8. Fix reinforcement as shown or noted on drawing.
9. Concrete cover to reinforcement:
  - footings 65
  - slabs 20 interior, 40 exterior
  - beams 50
  - stairs 30 top 20 bottom
10. Correct cover to be obtained using plastic chairs, conc blocks or plastic tipped steel chairs.
11. Thoroughly scabble concrete on which new concrete is to be poured.
12. Slabs on ground:
  - Remove all topsoil and upper strata containing organic matter. Replace with approved consolidated fill compacted to 95% M.M.D.D. in accordance with AS1289E2.1.
13. Bar Schedule - all to AS1302 & AS1304

**C BLOCKWORK**

1. R.G. Blockwork to conform to AS3700.
2. All cores containing reinforcing to be filled with 20 MPa grout.
3. DPC 150 above ground.
4. Cleanout all cores after each day's laying.
5. Provide vertical control joints at 6m max centres, preferably beside

**D BRICKWORK**

1. Brickwork to conform to current Australian Standards.
2. Approved galvanised ties at 600x600 crs. Also at 300 crs to raised floor levels. Use medium duty type.
3. Standard reinforcement every 4th course.
4. DPC 150 above ground.
5. Walls to have a continuous cavity kept clear of mortar droppings.
6. All openings to be fully flashed with standard damp proof course material to prevent water penetration to internal areas.
7. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx 1 brick sized vent every 2 metres).
8. All pendants to be fully filled with mortar.

**E STEELWORK**

1. Fabricate and erect in accordance with current editions of:
  - AS 4100 - SAA Steel Structures Code
  - AS1554 - SAA Code for Welding in Building
2. 10mm plate & 6 CFW (cont fillet weld) to be used UNO.
3. Steelwork to be coated with red oxide zinc chromate paint before erection. All steel in exposed locations to be galvanised or propriety galvanised product.
4. All bolts steel/steel to be M16 8.8/s UNO.
5. All connections to be 2-M16 8.8/s UNO.

**F TIMBER**

1. HARDWOOD - MIN STRESS GRADE F14 UNO
  - S3 Strength group, J2 Joint group.
2. SOFTWOOD - MIN STRESS GRADE mgp10/F5 UNO
  - SD6 Strength group, JD4 Joint group.
3. All structural timberwork to be in accordance with current edition of:
  - AS1684 - SAA Timber Framing Code.
4. Bolts: All nuts & bolts to be provided with washers. All bolts to be tightened finally before handover. Bolt holes to be 2mm oversize in unseasoned timber.
5. Unless detailed otherwise timber members to be fixed with nominal nailing as specified in AS1684.
6. Sizes and details not shown shall comply with AS1684.
7. Timber roof trusses to be to manufacturer's design with installation strictly in accordance with manufacturer's specification.
8. HANDRAILS
  - All stairs and handrails to be in accordance with part 3.9.1 and 3.9.2 of the NCC.
  - All new handrails to be 1000 high min, with balustrading at 125 max clear spacings, stair handrail at 865 with top rail & midrail minimum. Where floor is 4000 or more above lower level, handrails to have horizontal members between 150 & 760 above floor, that facilitate climbing. Where a balcony is over a pool: 1000 high handrails, if floor is over 2100 above pool, otherwise 1200 high.
9. All openings to be fully flashed with standard galvanised sheet steel flashing.
10. All bolts,nuts,washers to be hot dipped galvanised.
11. All bolts to have mild steel galvanised washers:
  - Bolts up to 12mm dia - 50x50x3 washers.
  - Bolts up to 20mm dia - 65x65x5 washers.

**G TIMBER TERMITE PROTECTION**

1. Where decking fully exposed to weather, only timber of durability class 1 or treated to H3 level to be used.
2. Barriers to be installed as per drawings or in accordance with NCC
3. All timbers subject to full weather exposure as per AS1684 - B1 durability to be primed or painted, or clear sealed to similar level.
4. Builder to confirm with owner the chosen method of timber protection.
5. All engineered timbers in external applications (including framing timber elements) must be primed and painted.
6. Where concrete slab forms barrier, slab to be constructed as per AS2870. Slab & footings to be monolithic. Termimesh flange to be clamped to pipes and set in slab. 75mm min of exposed slab edge to remain above finished perimeter level. Exposed edge not to be covered by soil, rendered or tiled, but may be painted.
7. Where brickwork conceals edge of slab, in addition to above, provide termimesh barrier below d.p.c. fixed to slab edge.
8. Install ant cappings to all brick piers, timber or conc stumps. Keep timber clear of ground when on steel anchors.
9. Wet areas (eg steel posts) need no protection from water.
10. All timber in direct contact with conc to be separated by G.I. flashing.
11. Floor surface to bath & laundry shall be impervious, with junctions in showers between walls & floor, and wall & bath flashed to prevent moisture penetration into walls.
12. Ceramic tiles or other approved impervious material to walls around showers to 1800mm min above floor including 100mm minimum from edge of shower.
13. Where shower has no tub, impervious material to floor to be placed in a radius of 1500 away from shower head.
14. All timber framed walls to wet areas to be lined with Hardies 6FC.

**H WET AREA SURFACES**

1. Wet areas (eg steel posts) need no protection from water.
2. All timber in direct contact with conc to be separated by G.I. flashing.
3. Floor surface to bath & laundry shall be impervious, with junctions in showers between walls & floor, and wall & bath flashed to prevent moisture penetration into walls.
4. Ceramic tiles or other approved impervious material to walls around showers to 1800mm min above floor including 100mm minimum from edge of shower.
5. Where shower has no tub, impervious material to floor to be placed in a radius of 1500 away from shower head.
6. All timber framed walls to wet areas to be lined with Hardies 6FC.

**New Residence**  
at 00 Long Rd  
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**I FLOOR COVERINGS/SMOKE ALARMS**

1. Floor finishes -refer owner or builder spec, unless shown on drawings.
2. Provide smoke alarms between all bed regions & rest of house in accordance with part 3.7.2 of the NCC and AS 3786.

**J CLADDING AND MOULDINGS**

1. EXTERNAL TIMBER
  - a. Treated pine and Western Red Cedar cladding to be fixed & finished in accordance with manufacturers' specification.
  - b. Chamferboards & Weatherboards (including treated boards) to be primed nearly all around before fixing. One third of back face to remain bare for moisture escape. Chamferboard fixing: Up to 75mm - single nailed. Over 75mm - double nailed. Weatherboard fixing : - all single nailed. Onto hardwood frames - 60 x 2,8 nails. Onto softwood frames - 60 x 3.15 deformed shank nails.
  - c. Vapour permeable Sarking to be provided between cladding and frame, except for pre-primed or treated boards, at owner discretion.
2. INTERNAL TIMBER
  - a. Nailing:
    - Single nailed up to 100mm wide, double nailed over 100mm wide.
    - 12 or 15mm thick - 30 x 2.0 nails.
    - 19 or 21mm thick - 50 x 2.5 nails.
  - b. Lining boards nailing centres:
 

	Walls	Ceilings
12 or 15mm thick - steel	800	560
19 or 21mm thick - steel	1800	1200

**3. OTHER CLADDINGS**

- a. All other external & internal claddings to be fixed & finished in accordance with manufacturer's specification.

**4. MOULDINGS GUTTERS**

- a. On renovations or extensions, match existing, uno or owner specified.
- b. On new houses, build-ins and separated extensions the following are to be adopted uno or owner specified:
  - cornice: standard 90 plasterboard.
  - architrave: Pine finger jointed 70 x 19.
  - skirting: Pine finger jointed 140 x 19.
  - sills: dressed standard hardwood sills.
  - c. others (if required by owner):
    - picture rail: Colonial 42 x 19.
    - dado rail: Colonial 66 x 31.
    - d. fascia: 190 pre-primed, uno.

**K PROJECT SPECIFIC NOTES**


1. Refer drawings for 150 Quad Gutter, uno.
2. Refer drawings for upvc, uno.

**GENERAL LEGEND & ABBREVIATIONS**

refer drawings for specific legends

uno	unless noted otherwise	i/s	inside
nts	not to scale	u/s	underside
cos	confirm on site	o/h	overhang
omp	outer most projection	o/s	outside
rl	reduced level	ffi	finished floor level
ms	mild steel	dpc	damp proof course
ss	stainless steel		

**IF IN DOUBT ASK**

WD1 06.02.14 Final Wkg Dwgs PD1 13.12.13 Prelim Wkg Dwgs DA1 11.12.13 D.A. DD1 15.10.13 Design Development SK1 18.09.13 Sketch Design Issue Date Issue Description	Rev Date Revision Description	 <p>Latemore Design Pty Ltd ©                  59 Cherside St                  Grange Qld 4051                  QBSA 1055247</p> <p>ABN 39 010 895 682                  p 07 3356 9051                  f 07 3356 9071                  www.latemoredesign.com.au</p>	<p style="text-align: center;"><b>General Notes</b></p> Scale at A3 1 : 1 Designed ACB/PBL Drawn PBL Checked PBL	Job No <b>XXXXYyy</b> Dwg No <b>731NT</b> Issue <b>WD1</b>
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<p><b>Sustainability Notes</b> as extracted from QDC MP4.1 - SUSTAINABLE BUILDINGS, &amp; MP4.2 - RAINWATER TANKS ETC Update Feb 2013 - (Builder to obtain latest copies)</p>	<p><b>Water Supply:</b> In a service area for retail water service under the Water Act 2000, the water supplied to a new Class 1 building does not exceed pressure levels set out in AS/NZ 3550.1:2003 and if the main water pressure exceeds or could exceed 500 Kpa, a water pressure limiting device is installed to ensure that the maximum operating pressure at the outlet within the boundaries of the property does not exceed 500 Kpa.</p>
<p><b>MP4.1 - Acceptable Solutions for Sustainable Buildings</b> For new Class 1 &amp; 2 buildings, and renovated Class 1 buildings &amp; sole-occupancy Class 2 units.</p> <p><b>Energy Efficiency</b> <b>P1-Thermal Performance - Class 1 Buildings:</b> <b>P2-Thermal Performance - Class 2 Buildings:</b> Refer Energy Efficiency Assessment by others.</p> <p><b>Energy Efficient Services</b> <b>P3-Lighting - Class 1 Buildings:</b> <b>P4-Lighting - Class 2 Buildings:</b> 80% of total fixed artificial lighting to be energy efficient (including verandahs &amp; balconies). <b>P5-Hot Water Systems - Class 1 Buildings:</b> HWS to comply with Qld Plumbing &amp; Wastewater Code. A water heater in a hot water supply system can be an electrical resistance heater or any other type of heater. HWS to be located as close as practicable to common bathroom (most frequently used). <b>P6-Shower Roses:</b> Shower Roses to be minimum 3 star rated under the Water Efficiency Labelling Standards (WELS). <b>P7-Toilets:</b> Toilet cisterns to have dual flush function and minimum 4 star rated under the Water Efficiency Labelling Standards (WELS), and be compatible size for toilet bowl. <b>P8-Tapware:</b> Tapware for laundry tubs, kitchen sinks and basins, to be minimum 3 star rated under the Water Efficiency Labelling Standards (WELS).</p> <p><b>Electricity Sub-metering - (Class 2 Buildings only)</b> <b>P9/10/11-Meterable &amp; Installation:</b> Each premises to have individual electricity sub-meter. Sub-meters to be in common area, easily accessible for reading or maintenance. Sub-meters to be labelled as per premises.</p> <p><b>End of Trip Facilities - (Class 5, 6, 7 or 8 Buildings only)</b> Refer separate summary details.</p>	<p><b>MP4.2 - Acceptable Solutions for Rainwater Tanks etc</b> For installation of any tank.</p> <p><b>P6-Rainwater Tanks:</b> Tank to be provided with 1mm screen mesh, or flap valve; a vermin trap; screening for any wet supply system. (all as per MP4.2).</p> <p><b>P7-Tanks Contaminants:</b> If tank connected to potable use fittings, provide diverter for first 20 litres min of roof catchment prior to entering tank. Screened downpipe rainhead for all that connect to tank(s). Screen mesh 4-6mm and designed to shed leaves.</p> <p><b>P8-Backflow:</b> A suitable backflow device must be installed to protect potable water within the reticulated supply in accordance with AS/NZS 3500:2003 Plumbing and Drainage.</p> <p><b>P9-Materials:</b> Materials as per A9 of code - refer manufacturer.</p> <p><b>P10-Signage:</b> Signage as per A10 of code - refer manufacturer.</p> <p><b>P11-Support Structure:</b> Tank stand or other supporting structure must comply with AS/NZS 1170.1:2002 permanent, imposed and other actions and AS/NZS 1170.2:2002 wind actions.</p> <p><b>P12-Openings:</b> Openings sealed or positioned as per A12 of code - refer manufacturer.</p> <p><b>P13-Overflow:</b> Overflow into legal point of discharge, as defined by local authority, via air break or non-return valve.</p>
	<p><b>MP4.2 - Acceptable Solutions for Rainwater Tanks etc</b> For installation of a tank, only if mandatory by Local Authority, Class 1 only.</p> <p><b>P1-Tank Required:</b> Tank to be provided in addition to reticulated water supply, or greywater treatment plant, or supplementary water supply system.</p> <p><b>P2-Tank Installation &amp; Size:</b> Min tank size: 5000 litres, for detached Class 1 building, 3000 litres for other Class 1 building. Min roof catchment: 50% total roof area or 100sqm, whichever is lesser. Tank connected to building's toilet cisterns &amp; washing machine cold tap, and an external fixture.</p> <p><b>P3-Continuous Supply:</b> If tank supplies water to internal fixture, automatic switching device to provide potable water from reticulated water supply.</p> <p><b>P4&amp;P5-Greywater:</b> If Greywater treatment plant is installed, refer A4&amp;A5 of code for full details.</p>

<p>WD1 06.02.14 Final Wkg Dwgs PD1 13.12.13 Prelim Wkg Dwgs DA1 11.12.13 D.A. DD1 15.10.13 Design Development SK1 18.09.13 Sketch Design Issu Date Issue Description</p>	
<p>Rev Date Revision Description</p>	<p>Scale at A3 1 : 1 Designed ACB/PBL Drawn ACB Checked PBL</p>



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<p><b>Sustainability Notes</b>  Construction</p>	<p>Job No <b>XXXXyyy</b>  Dwg No <b>771NT</b>  Issue <b>WD1</b></p>
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## 1. FALLS, SLIPS, TRIPS

### a) WORKING AT HEIGHTS

#### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

**For houses or other low-rise buildings where scaffolding is appropriate:**

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

**For buildings where scaffold, ladders, trestles are not appropriate:**

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

### b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

#### FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

#### source:

BDAQ Mar 2012

## 2. FALLING OBJECTS

### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that persons are prevented or restricted.

## 3. TRAFFIC MANAGEMENT

### For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

### For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

#### For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

## 4. SERVICES

### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

#### Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

#### Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

## 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

## 6. HAZARDOUS SUBSTANCES

### ASBESTOS

#### For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain **asbestos**

1986 - it therefore is likely to contain **asbestos**

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not breathe dust.

### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation.

### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

## 7. CONFINED SPACES

### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

### ENCLOSED SPACES

**For buildings with enclosed spaces where maintenance or other access may be required:**

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

### SMALL SPACES

**For buildings with small spaces where maintenance or other access may be required:**

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be avoided in these spaces.

## 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

## 9. OPERATIONAL USE OF BUILDING

### RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

## 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace*, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*. All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

**THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.**

**THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS**

WD1 06.02.14 Final Wkg Dwgs  
PD1 13.12.13 Prelim Wkg Dwgs  
DA1 11.12.13 D.A.  
DD1 15.10.13 Design Development  
SK1 18.09.13 Sketch Design

Issue	Date	Issue Description	Rev	Date	Revision Description



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## Safety in Design Notes

**Safety Report in compliance with Work Health and Safety Act 2011**

Construction

Scale at A3 1 : 1	Job No <b>XXXXYyy</b>
Designed ACB/PBL	Dwg No <b>781SD</b>
Drawn ACB	Issue
Checked PBL	<b>WD1</b>