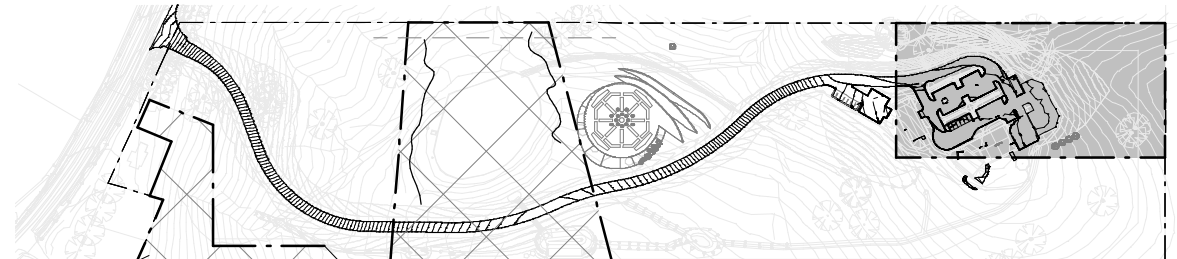


- Ci Corymbia intermedia 6
- Etr Eucalyptus tetracornis
- Ere Eucalyptus reinfera
- Lco Lophostemon confertus
- Lsa Lophostemon suaveolens
- Xc Xanthostomon chrythanthus

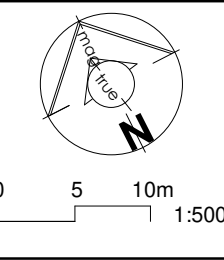


KEY PLAN

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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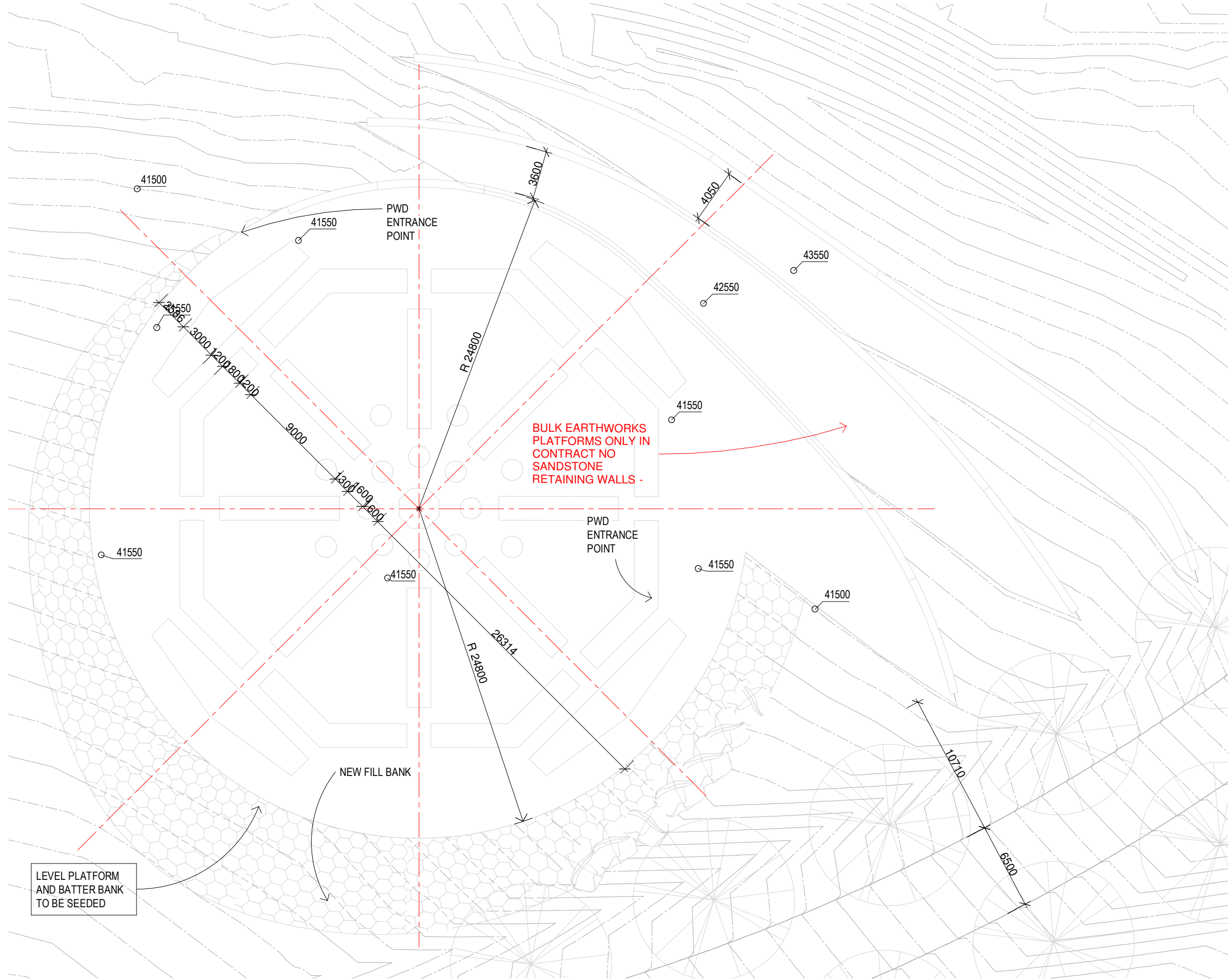
PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

LANDSCAPE REAR NORTH
 WORKING DRAWINGS

Scale at A3 AS INDICATED
 Designed MDW
 Drawn MDW
 Checked MDW

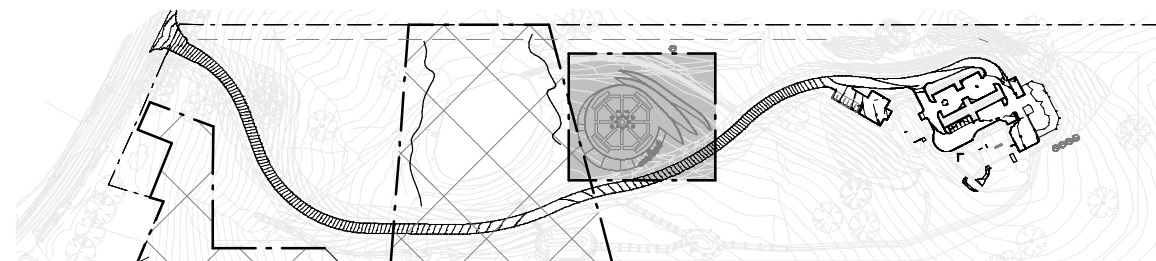
Job No #10122
 Dwg No 516LAI
 Issue WD32

SHEET 08 OF 09



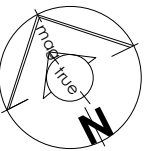
PLAN
1 : 300

FOR LANDSCAPING PLANTING SCHEDULE
REFER DRAWING 030GG1



KEY PLAN

CONSTRUCTION SET



Issue	Date	Issue Description

Scale at A3
A6
INDICATED
Designed
DESIGNER

Drawn
AUTHOR

Checked
CHECKER

Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

at 150 OCEANVIEW DRIVE
SEASIDE

for COMMUNITY PTY LTD

**LANDSCAPE
TRANQUILITY GARDENS**

WORKING DRAWINGS

Job No
#10722

Dwg No
580LAI

Issue
WD32

SHEET 99 OF 99

ENLARGE AND EXTEND TOP CHORD OF TRUSS OR PROVIDE RAFTERS FOR EXTENDED ROOF SECTION

hall roof top plate

ROOF SHEETING AND INSULATION AS SPECIFIED

POLE PLATE FOR RAFTERS REFER ENGINEERING

hall ceiling

GUTTER AS SPECIFIED

METAL FASCIA AS SPECIFIED

FC CEILING FIXINGS TO UNDERSIDE OF RAFTERS TO MANUFACTURERS RECOMMENDATIONS

stage ceiling

hall roof top plate

ALTER TRUSS TO SUPPORT OUTRIGGER PURLIN

hall ceiling

STEEL ROOF BEAM

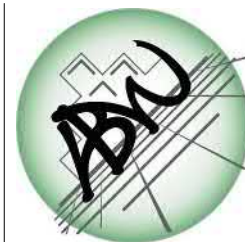
AC SUPPLY DUCT TO BE SHAPED TO FIT UNDER ROOF BEAM BUT TRANSITION TO ABOVE FLOOR STRUCTURE

DT41 Cross Section S13 CHAPEL - Callout 1

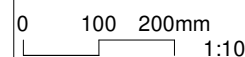
324ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

at 150 OCEANVIEW DRIVE SEASIDE

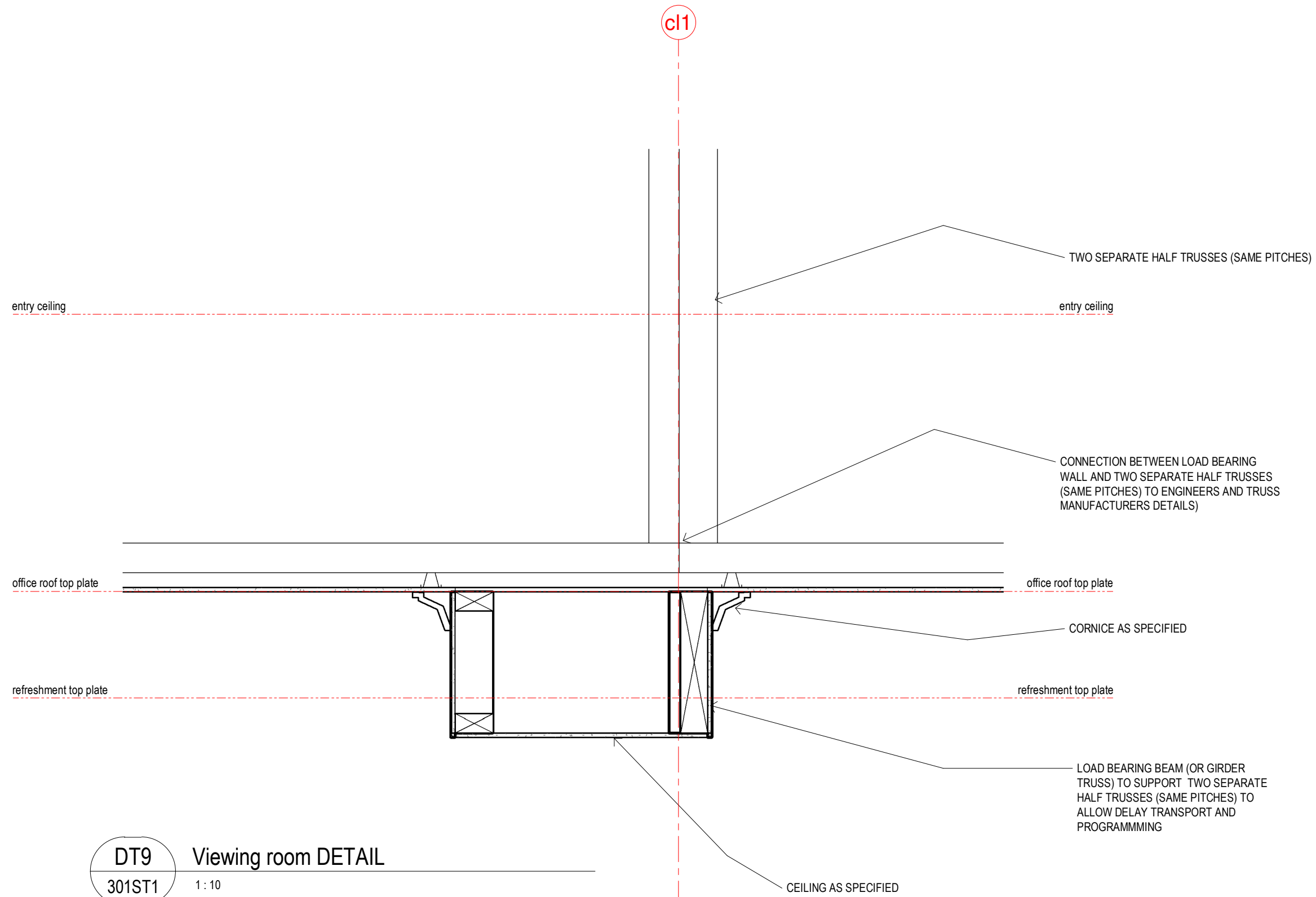
for COMMUNITY PTY LTD

HALL DT41 - AC DUCT RECESS DETAILS

WORKING DRAWINGS

Scale at A3
1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10722
 Dwg No 608DRI
 Issue WD32



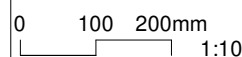
DT9 Viewing room DETAIL
 301ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

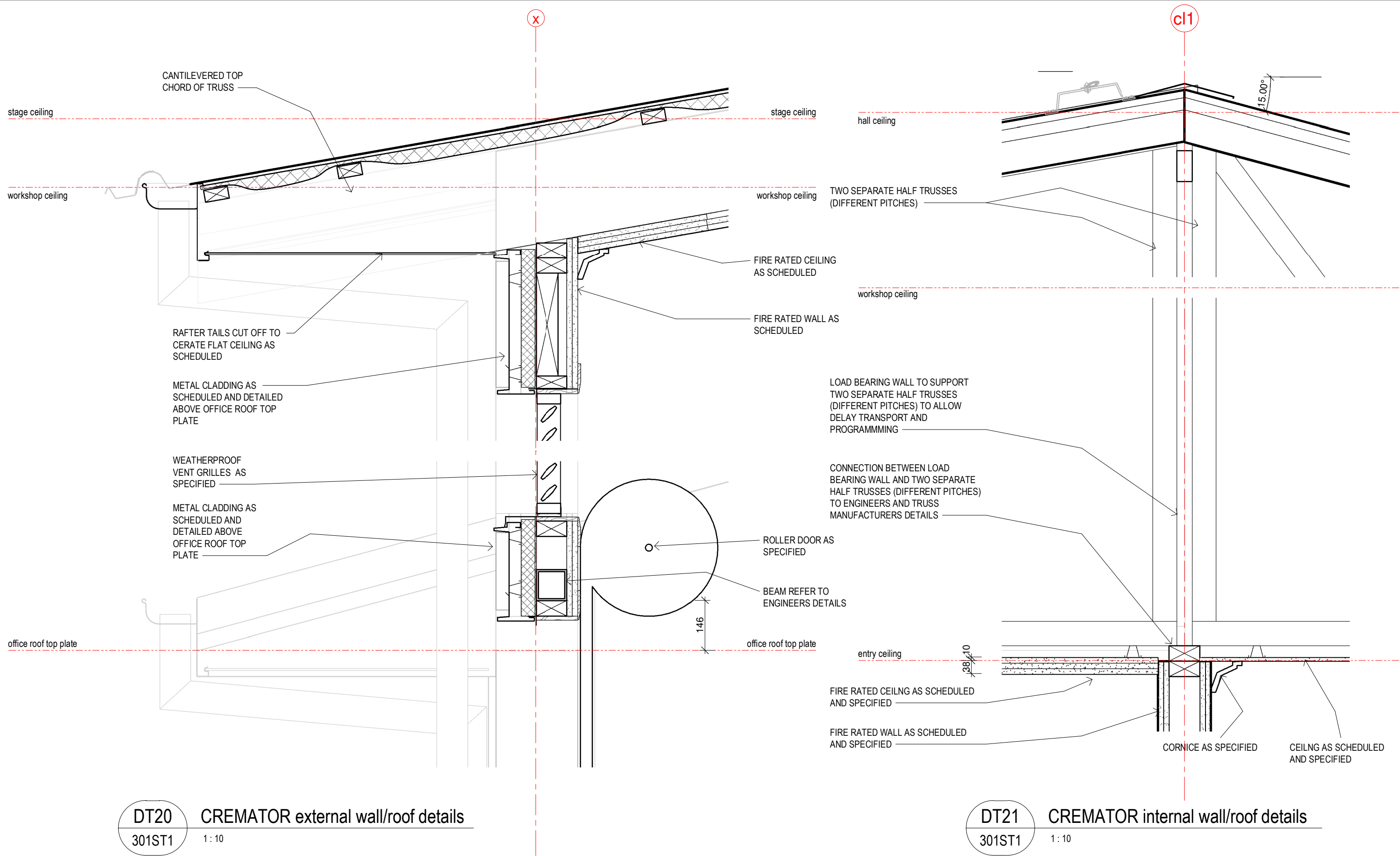
at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

ADMIN DT9 - VIEWING CEILING DETAILS

WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 609DCI
 Issue WD32



DT20 CREMATOR external wall/roof details
301ST1 1:10

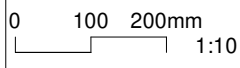
DT21 CREMATOR internal wall/roof details
301ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



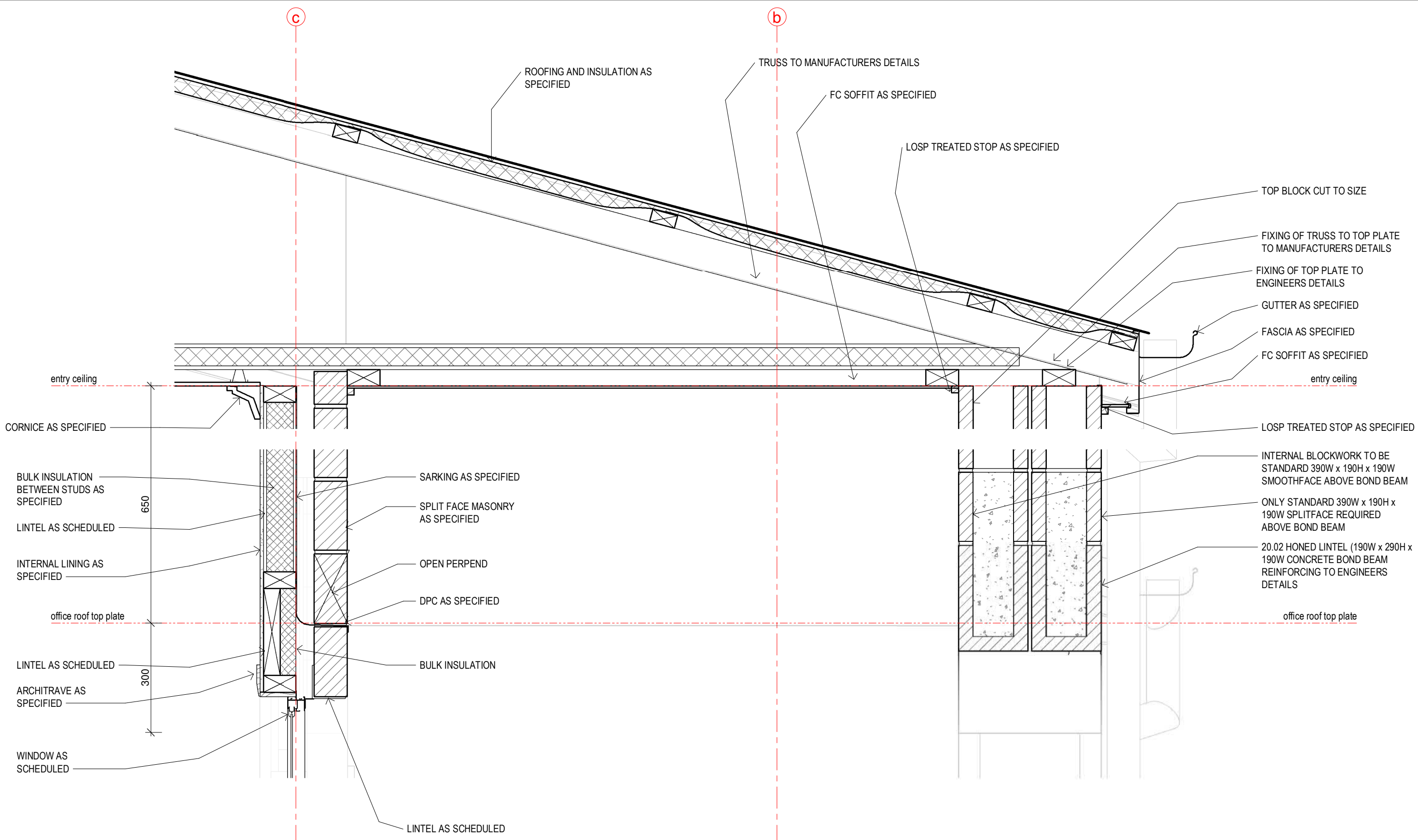
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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

ADMIN DT20+DT21 - WORKSHOP WALL DETAILS
 WORKING DRAWINGS

Scale at A3 1:10
 Job No #10122
 Designed MDW
 Drawn MDW
 Checked MDW
 Dwg No 610DXI
 Issue WD32
 SHEET 3 OF 36



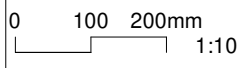
DT28 ENTRANCE wall/roof details
 301ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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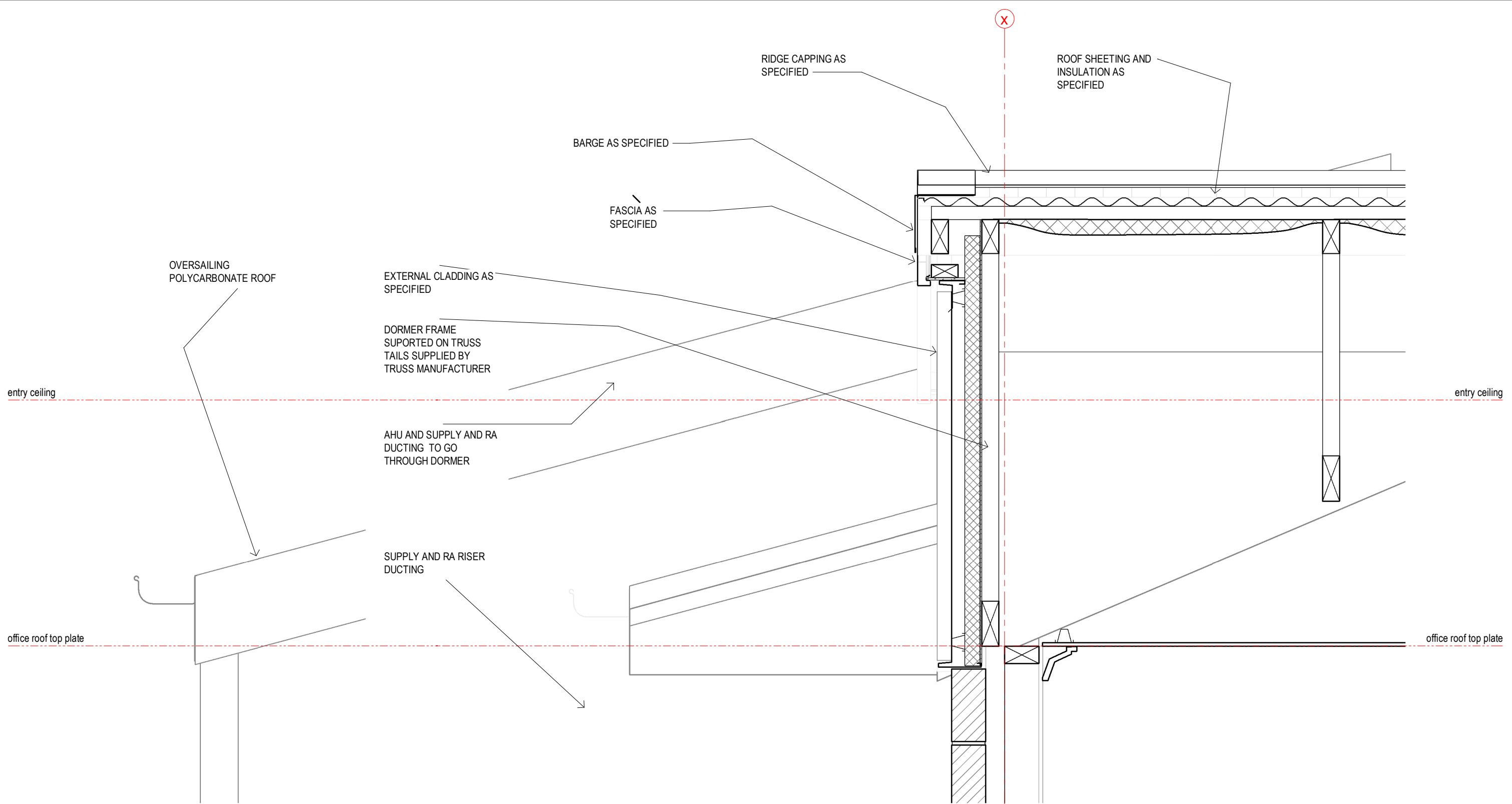


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

ADMIN DT28 - ENTRY CEILING/WALL DETAILS
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 611DXI
 Issue WD32
 SHEET 4 OF 36

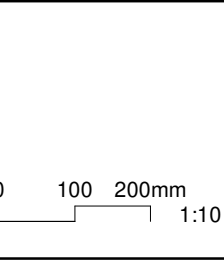


DT24 OVERSAILING ROOF wall/roof details
 303ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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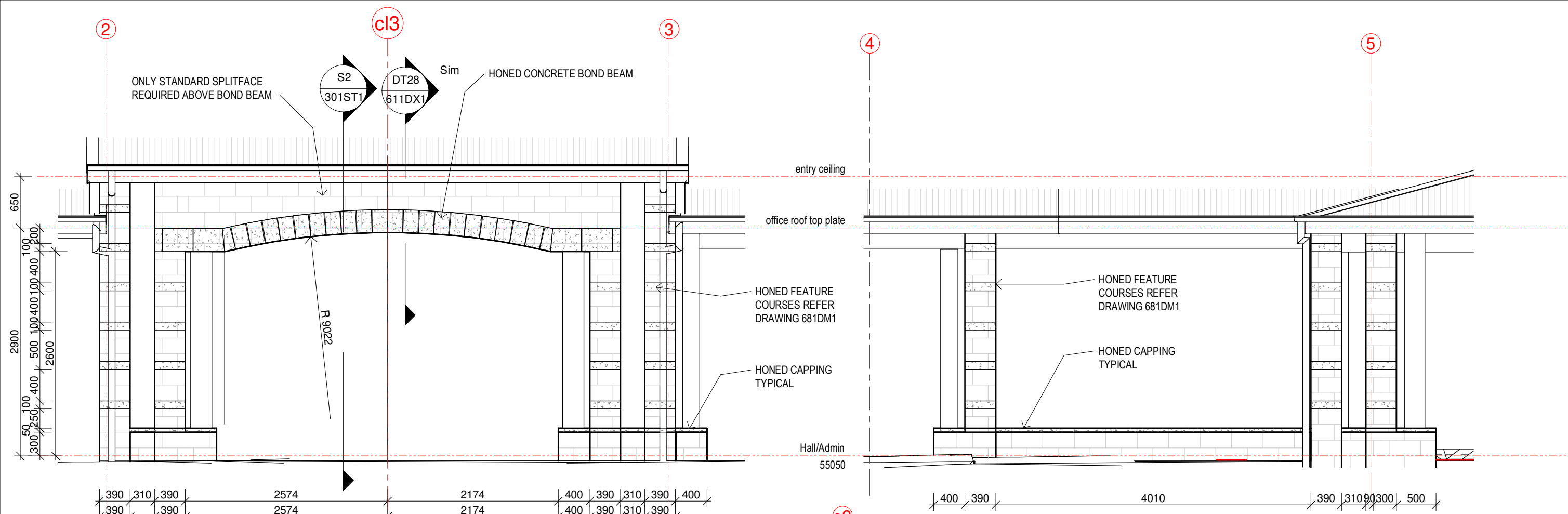


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

ADMIN DT24 - DETAILS AC DUCTING
 WORKING DRAWINGS

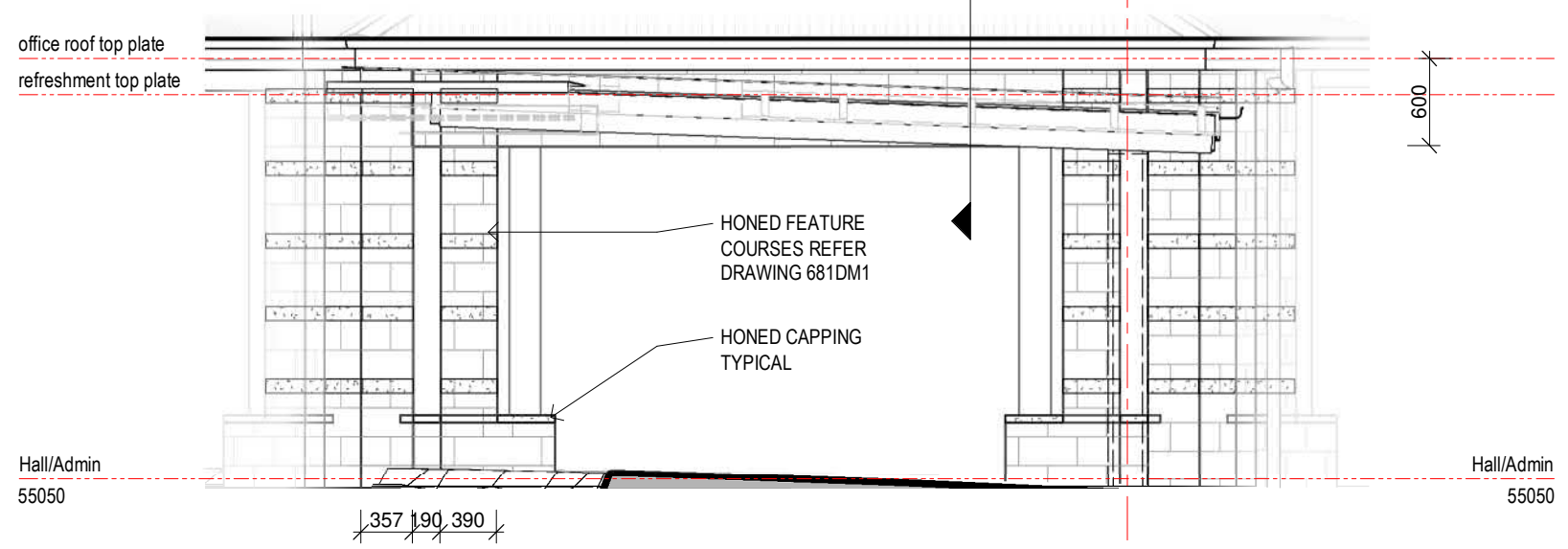
Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 612DC1
 Issue WD32
SHEET 5 OF 36



DT25 ENTRY ARCH Elevation
202EL1 1:50

DT26 WAITING DWARF WALL Elevation
202EL1 1:50

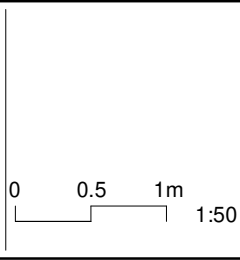


DT38 LINK LINTEL Elevation
111FP1 1:50

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

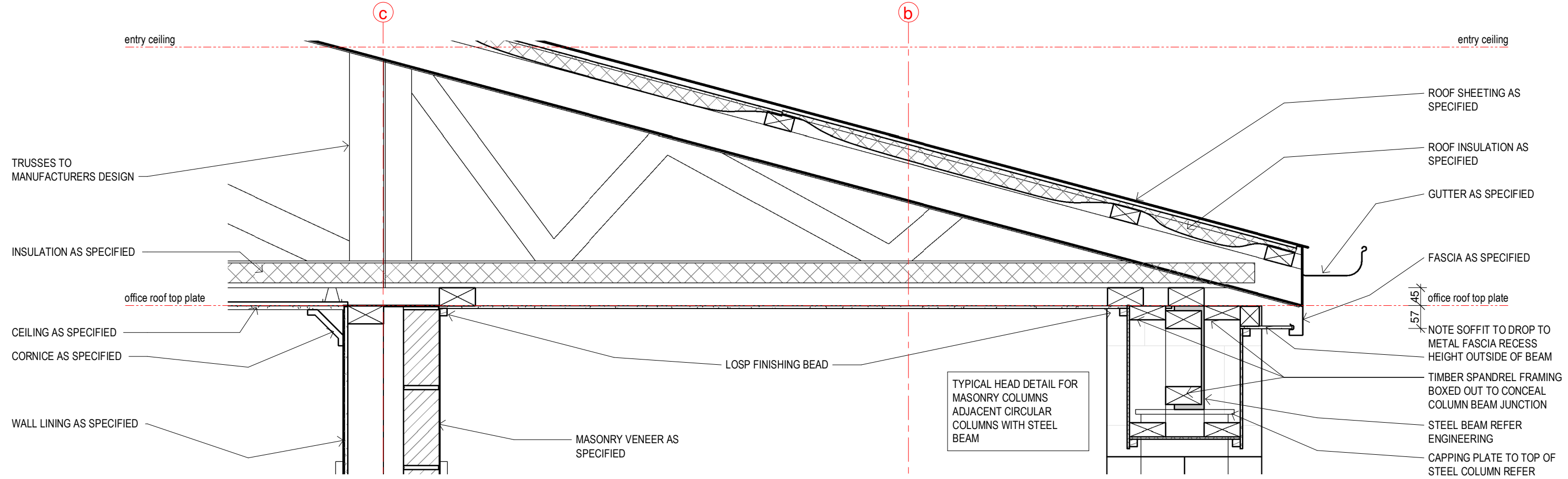
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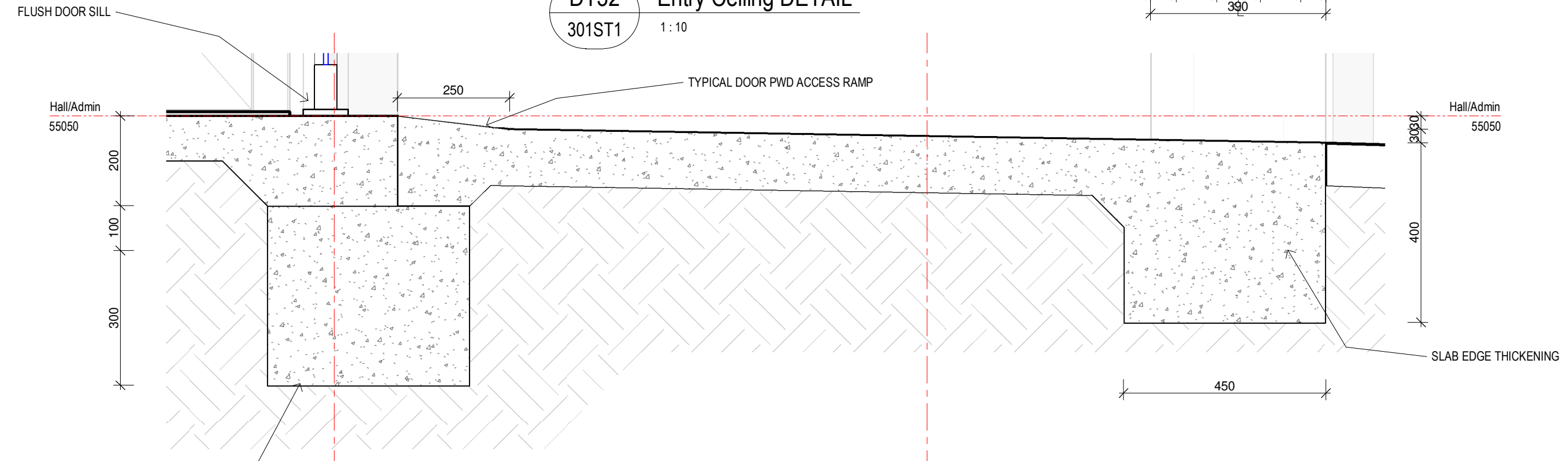
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

ADMIN DT25 + DT26 + DT38 - WALL ELEVATION DETAILS
WORKING DRAWINGS

Scale at A3
1:50
Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 613DWI
Issue WD32
SHEET 6 OF 36



DT32 Entry Ceiling DETAIL
301ST1 1:10

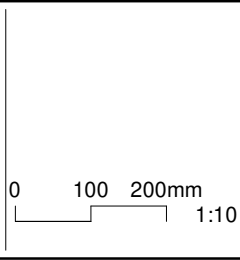


DT33 Entry floor DETAIL
301ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

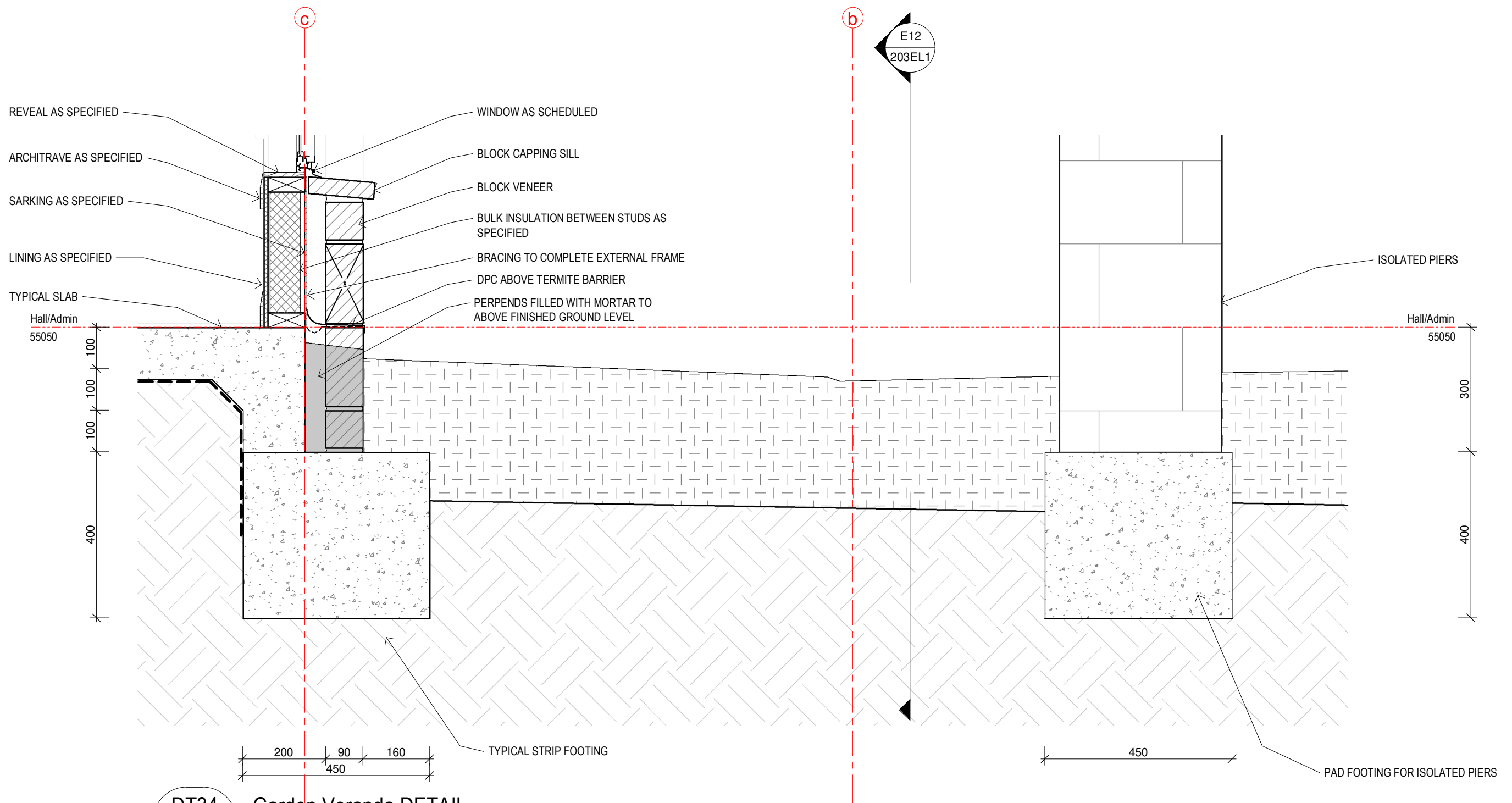
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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

ADMIN DT32+DT33 WALKWAY CEILING/FLOOR DETAILS
WORKING DRAWINGS

Scale at A3 1:10
Job No #10122
Designed MDW
Drawn MDW
Checked MDW
Dwg No 614DRI
Issue WD32
SHEET 1 OF 36

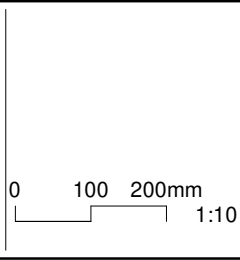


DT34 Garden Veranda DETAIL
303ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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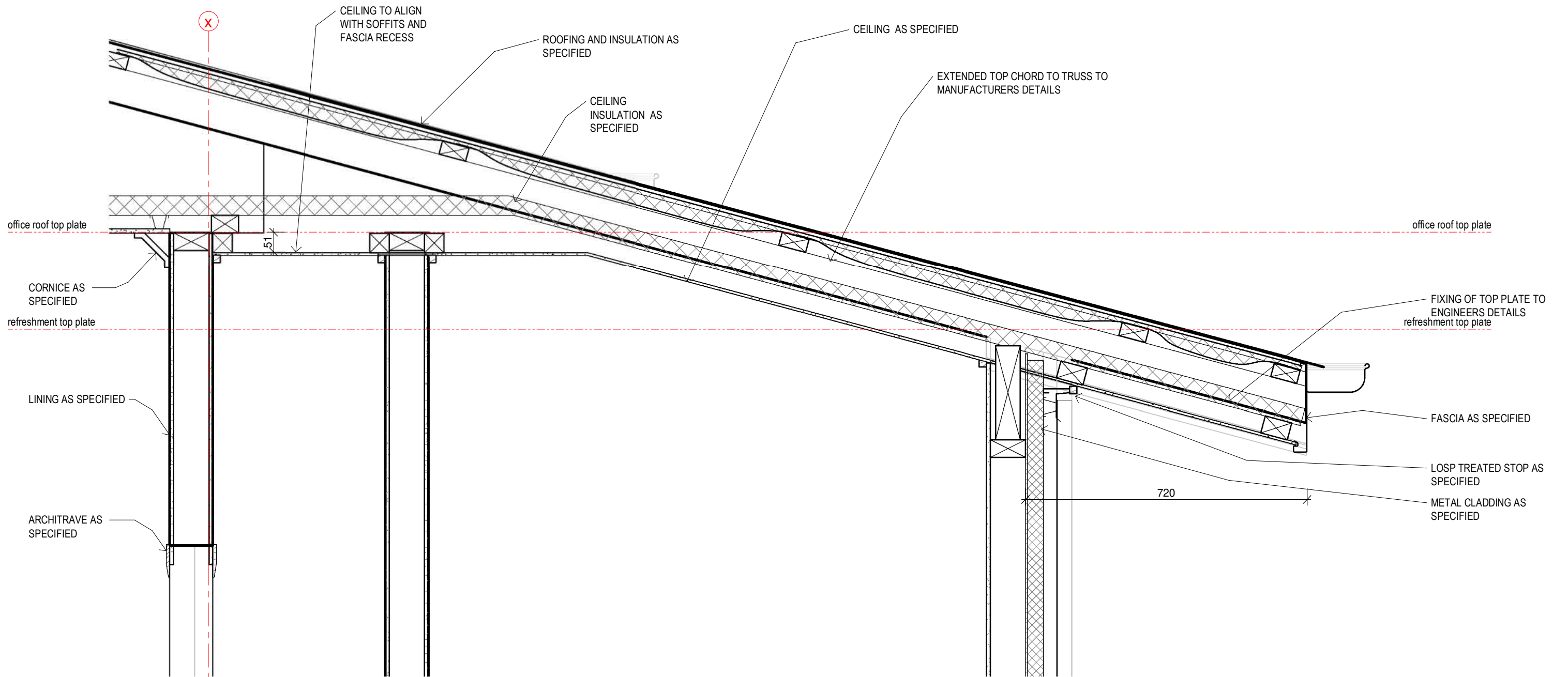


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

ADMIN DT34 GARDEN VERANDA DETAILS
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 615DRI
Issue WD32
SHEET 8 OF 36



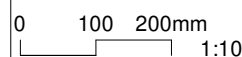
DT35 Distribution/Cleaner Room Details
303ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

ADMIN DT35 - DISTRIBUTION/CLEANER ROOM DETAILS
 WORKING DRAWINGS

Scale at A3
1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 616DWI
 Issue WD32
 SHEET 9 OF 36

2

ROOF BEAMS ALSO TO BE USED TO PROVIDE LATERAL STABILITY TO TOP OF ANGLED GLASS

LATERAL BRACING PFC REFER ENGINEERING DRAWINGS

PFC TURNED ON BACK TO PROVIDE LATERAL STABILITY AND SUPPORT TO TOP OF ANGLED GLASS

PLASTERBOARD INTERNAL CEILING

PROVIDE SECURE CONNECTION FOR TRANSFER OF LOAD BETWEEN PFC AND GLAZING FIXINGS

GLASS SUPPORT FIN AND PATCH FIXINGS AT INTERSECTION OF ANGLE GLASS TO EXTEND TO GROUND DESIGN TBC BY SPECIALIST CONTRACTOR

WATERPROOF EXTERNAL CEILING TO MATCH THICKNESS OF PLASTERBOARD INTERNAL CEILING

POSITION PFC TO PROVIDE CLEARANCE FOR LEVEL CEILING AND TO SUPPORT TIMBER ROOF TRUSSES

FC CEILING AS SPECIFIED

50
270
30

stage ceiling

workshop ceiling

DT1

Sloped Glazing Top Detail

322ST1

1 : 10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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0 100 200mm
 1:10

PROPOSED COMMUNITY PROJECT

at 150 OCEANVIEW DRIVE SEASIDE

for COMMUNITY PTY LTD

STAGE - DT1 ROOF/CEILING DETAILS

WORKING DRAWINGS

Scale at A3
 1 : 10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 617DWI
 Issue WD32
 SHEET 10 OF 36

Z

GLASS SUPPORT FIN AND
PATCH FIXINGS AT
INTERSECTION OF ANGLE
GLASS TO EXTEND TO GROUND
DESIGN TBC BY SPECIALIST
CONTRACTOR

COLUMN AS SPECIED

SKIRT SLAB

TILE AS SPECIFIED

Hall/Admin
55050

Hall/Admin
55050

50 COARSE SAND BED

FOOTING TO ENGINEERS
DETAILS

125

50

300

400

100

664

600

10

125

40

125

175

135

DT3


Stage Sloped Glazing Base Detail

322ST1

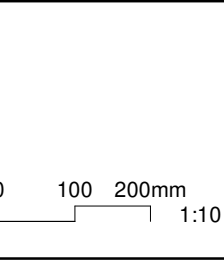
1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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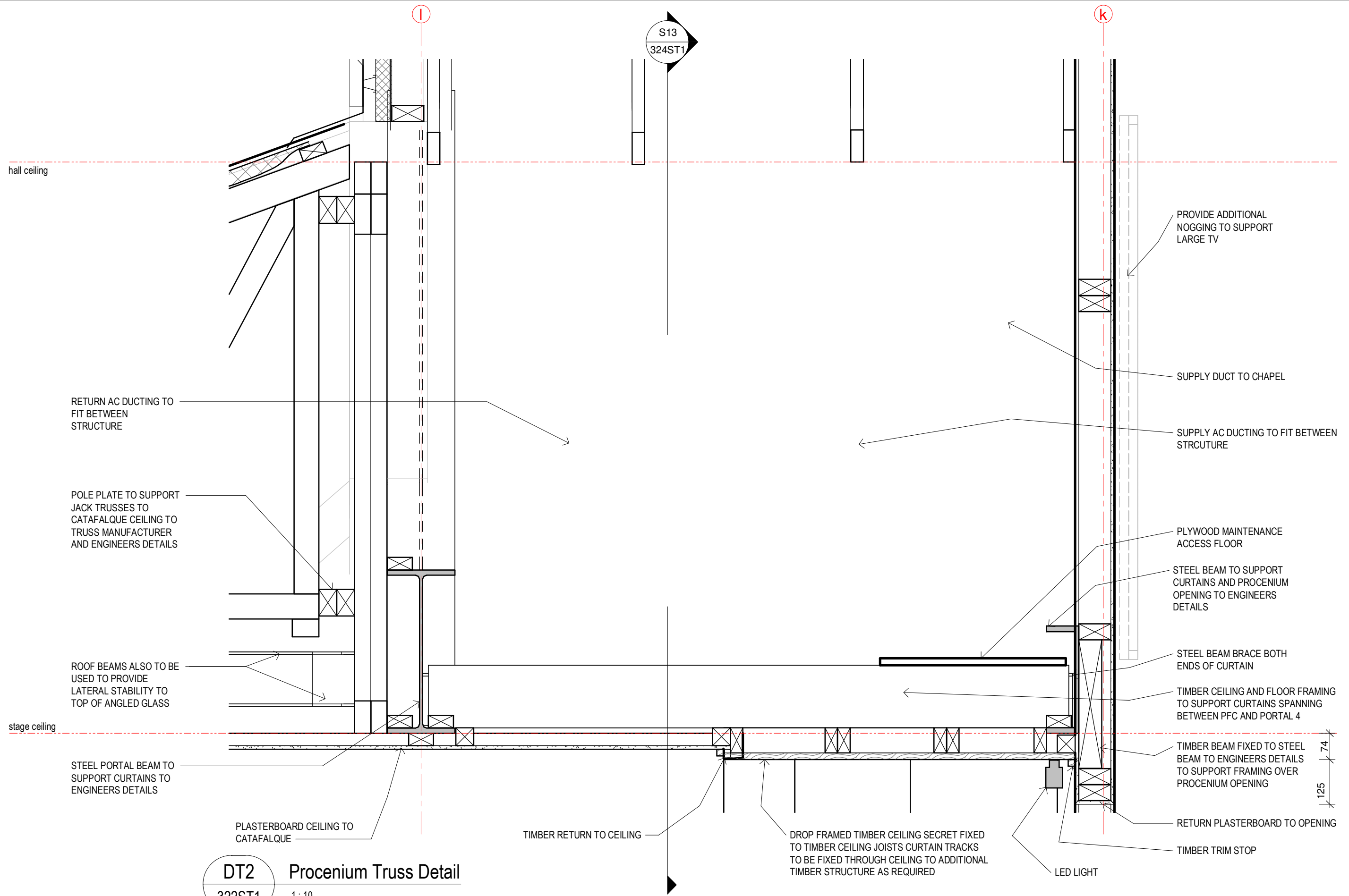


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

STAGE DT3 GLASS BASE DETAILS
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No
#10122
Dwg No
618DWI
Issue
WD32
SHEET 11 OF 36



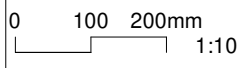
DT2 Procenium Truss Detail
322ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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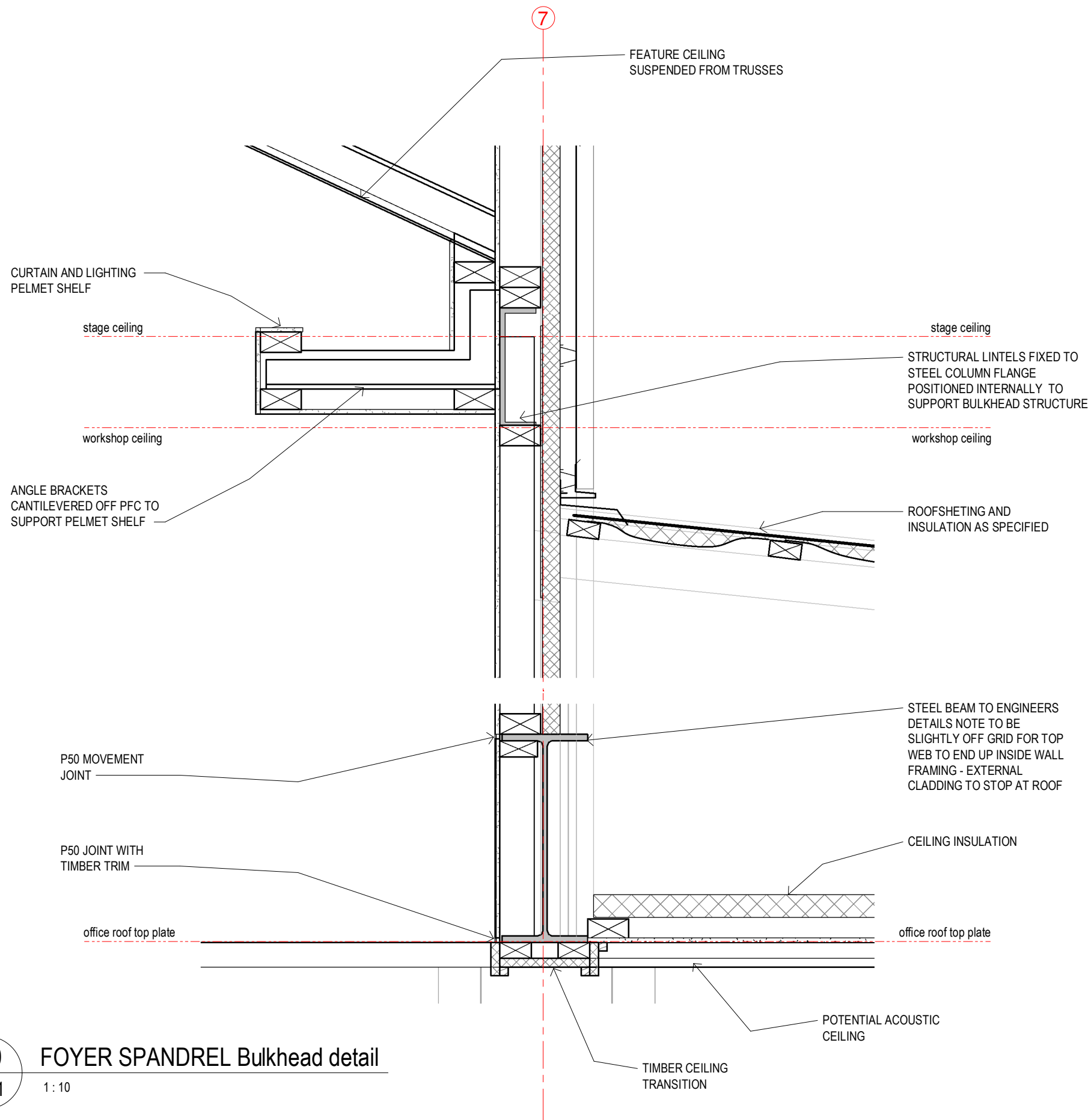


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

STAGE - DT2 ROOF/CEILING DETAILS
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 619DRI
Issue WD32
SHEET 12 OF 36



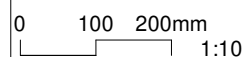
DT40 FOYER SPANDREL Bulkhead detail
 320ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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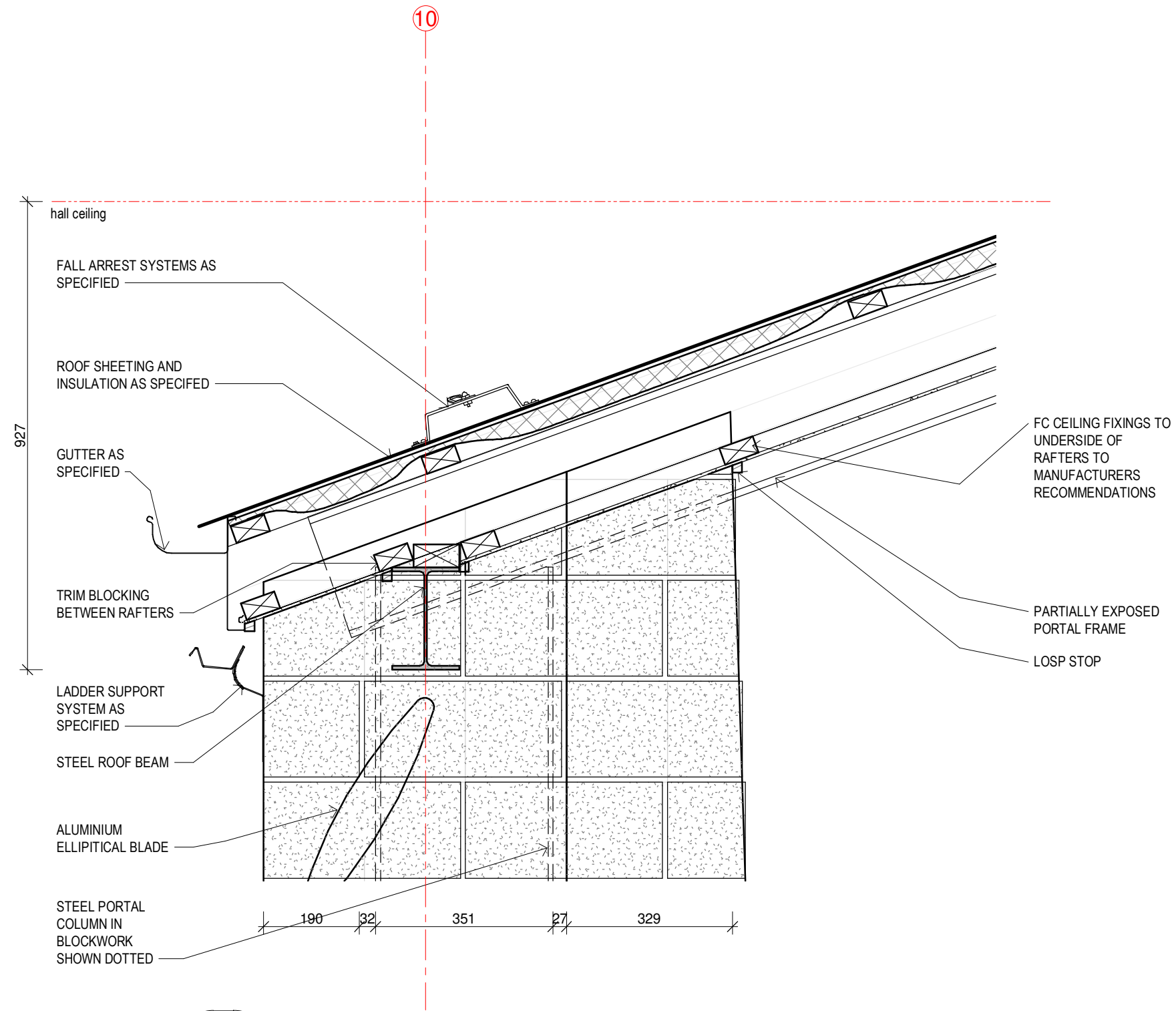


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

HALL DT 40 SPANDREL DETAILS
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

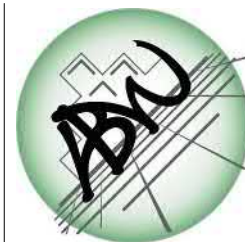
Job No #10122
 Dwg No 620DWI
 Issue WD32
 SHEET 13 OF 36



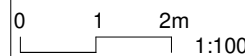
DT4 Detail HALL-Veranda Beam
321ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

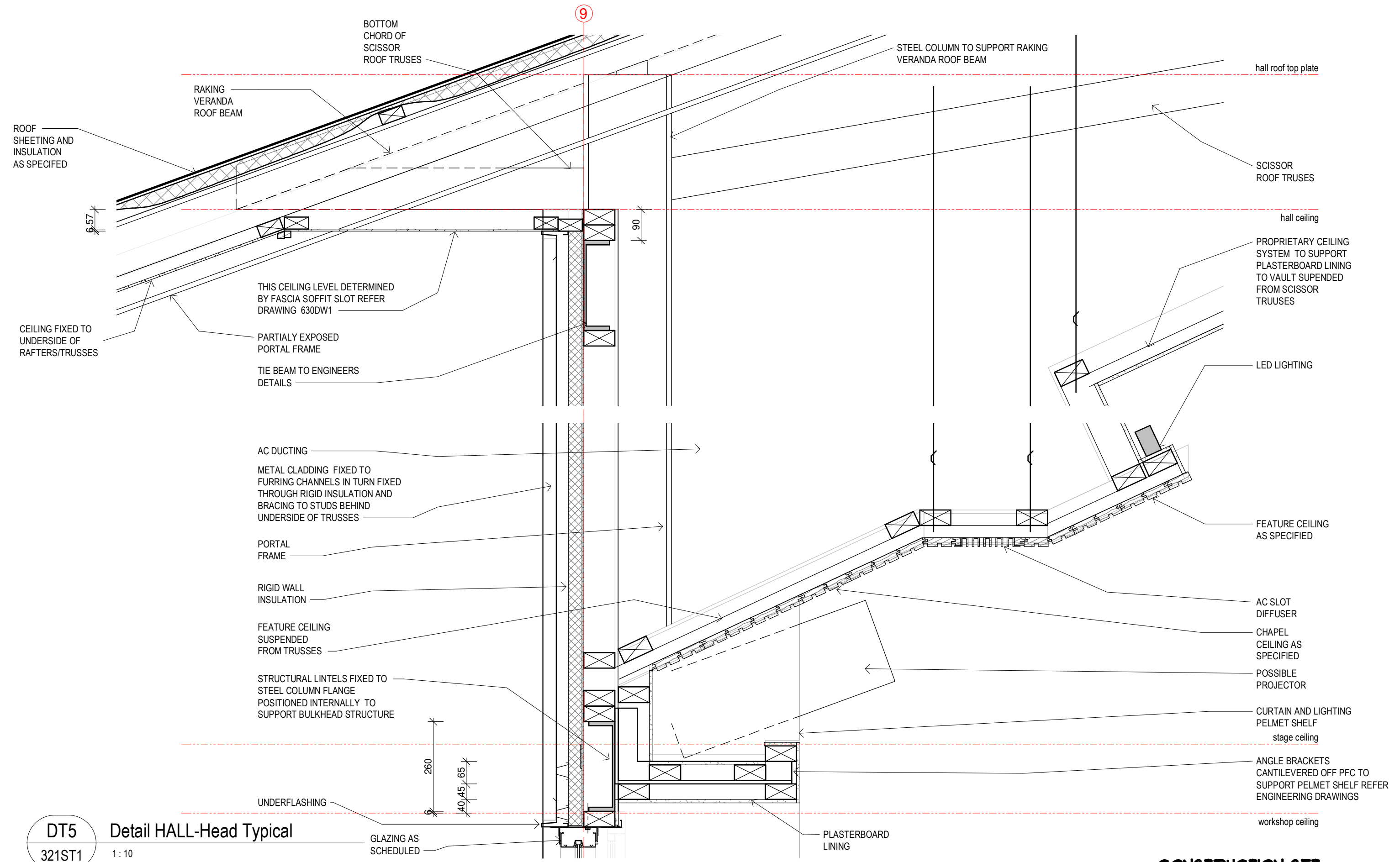
at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

HALL DT4 VERANDA BEAM DETAILS

WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 621DWI
 Issue WD32
 SHEET 14 OF 36

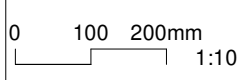


DT5 Detail HALL-Head Typical
321ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

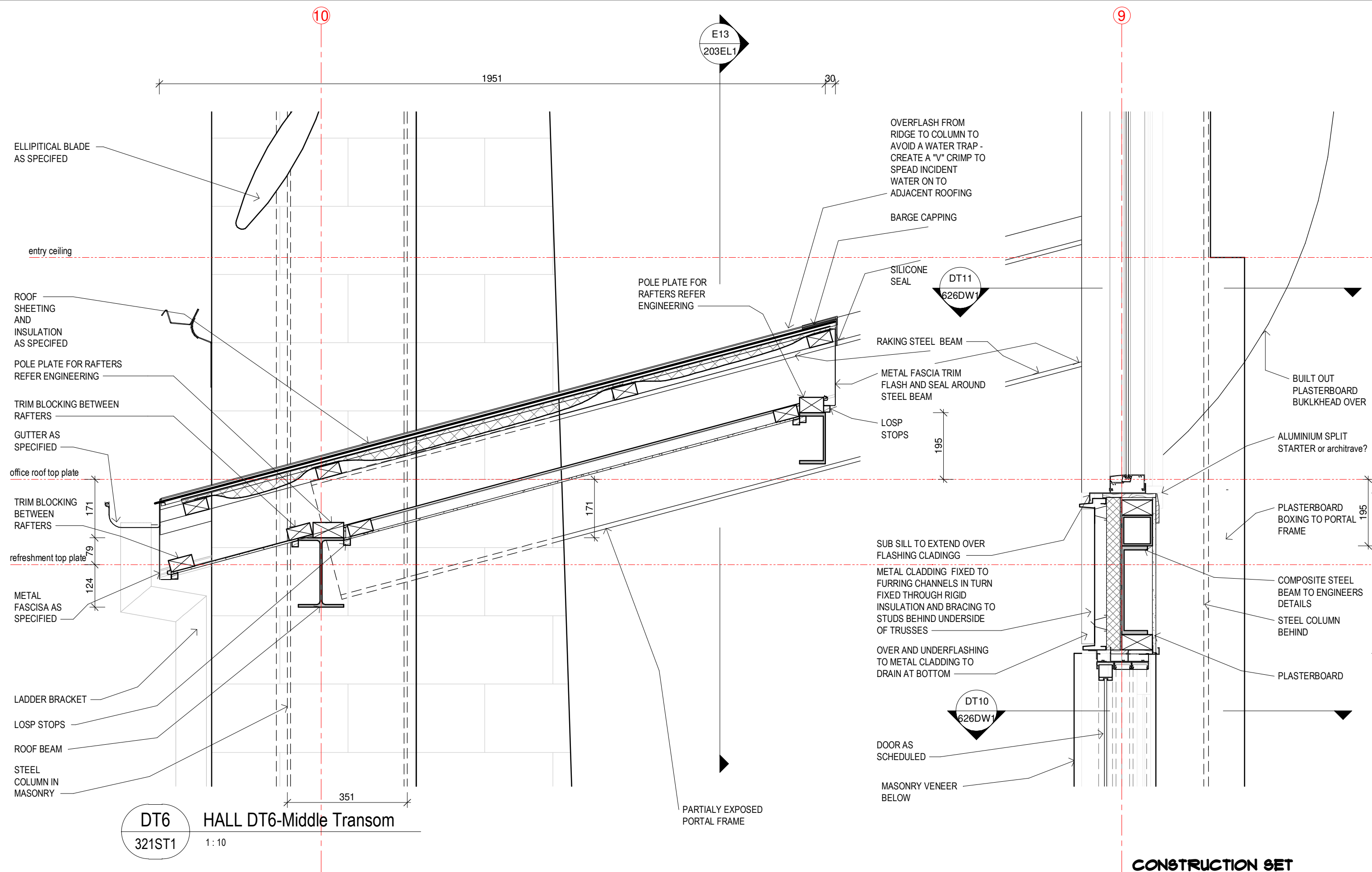
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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

HALL DT5- HEAD TYPICAL DETAILS
 WORKING DRAWINGS

Scale at A3 1:10	Job No #10722
Designed MDW	Dwg No 622DW1
Drawn MDW	Issue WD32
Checked MDW	SHEET 15 OF 36

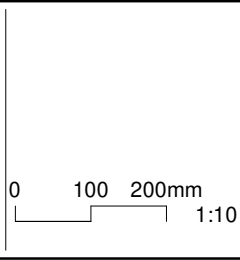


DT6 HALL DT6-Middle Transom
321ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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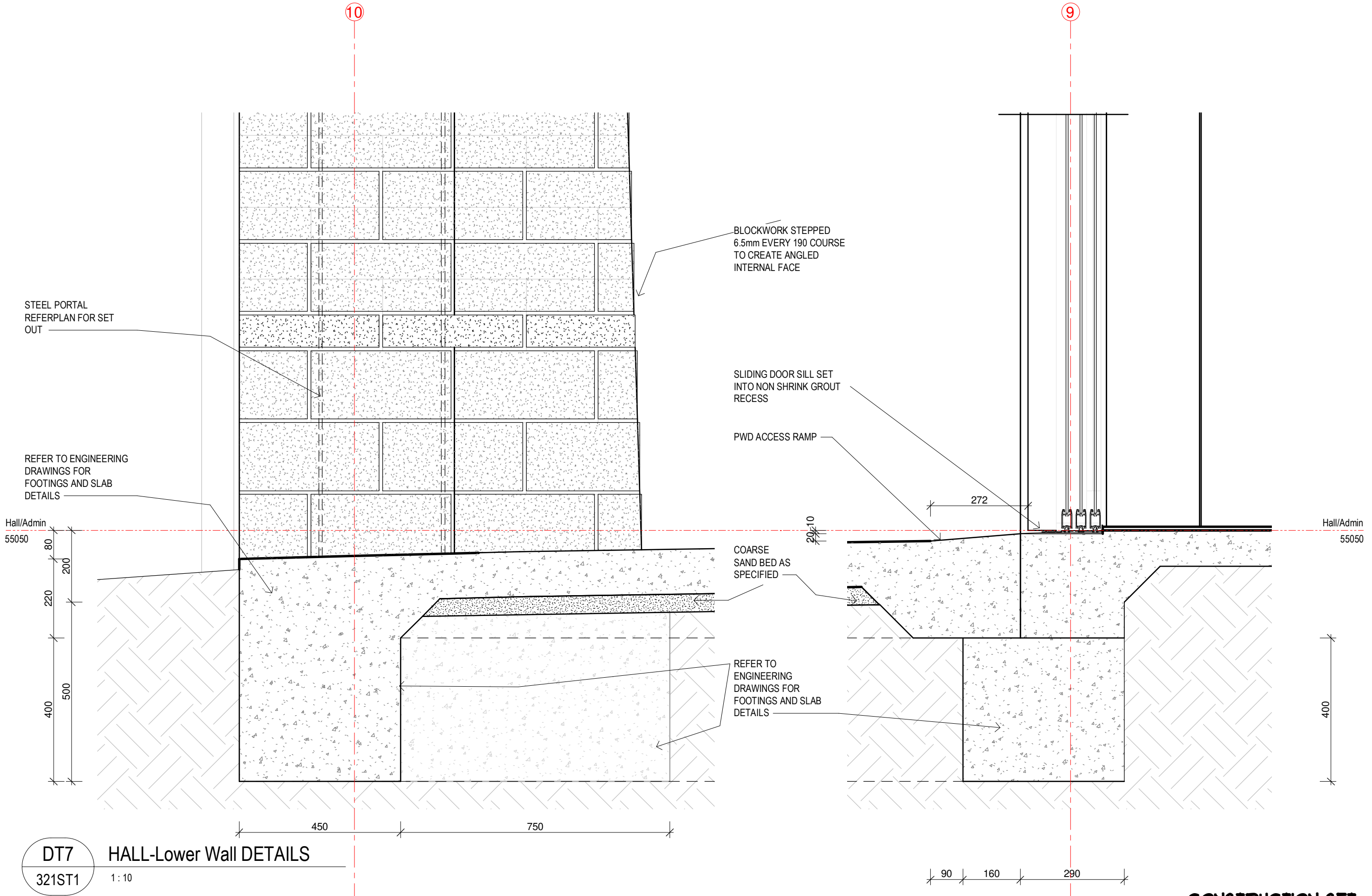
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

HALL DT6-MIDDLE TRANSOM DETAILS
WORKING DRAWINGS

Scale at A3
1:10

Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 623DW1
Issue WD32
SHEET 16 OF 36

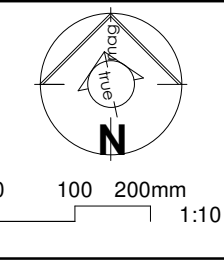


DT7 HALL-Lower Wall DETAILS
321ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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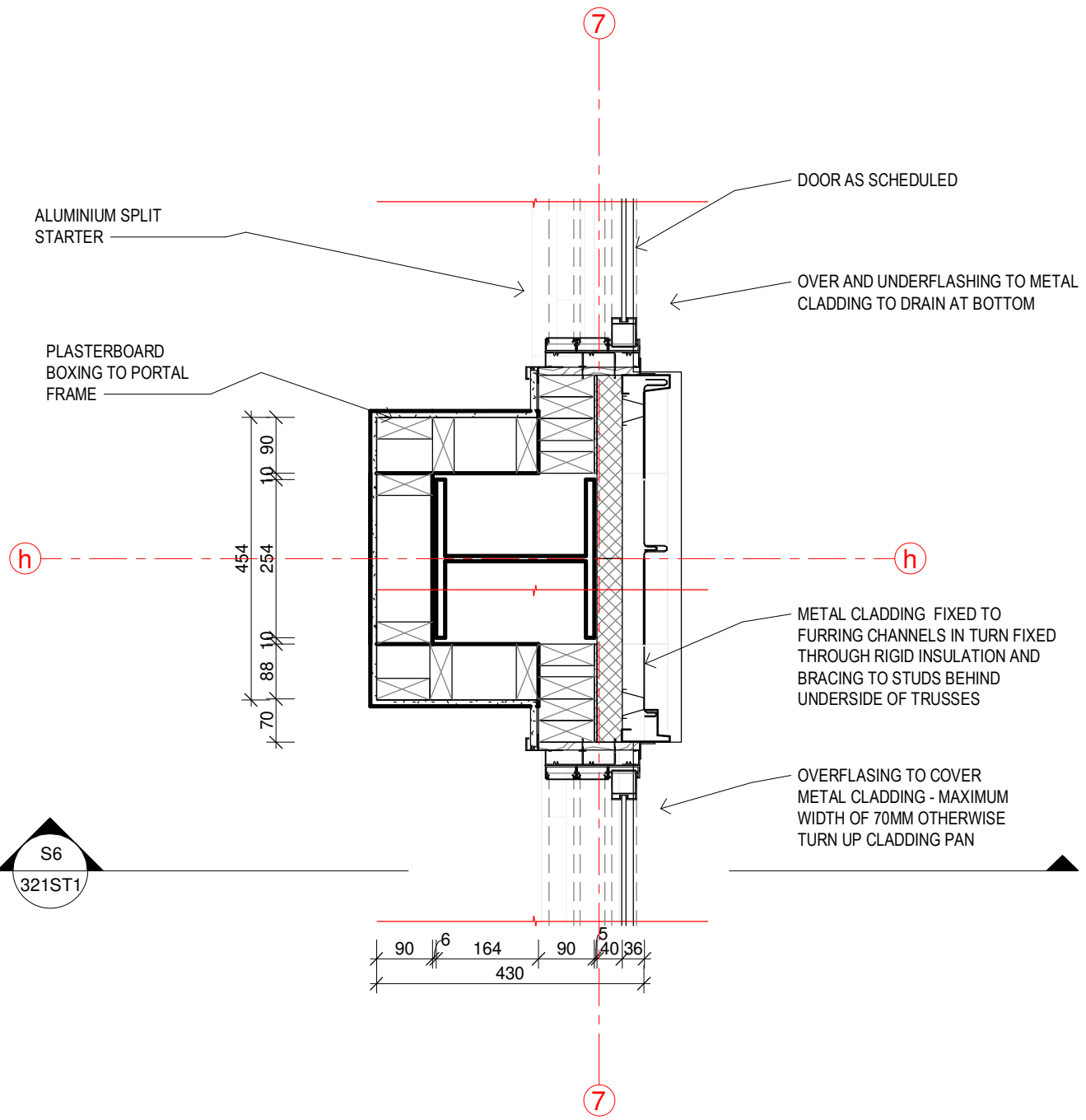


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

HALL DT1- LOWER WEST WALL DETAILS
WORKING DRAWINGS

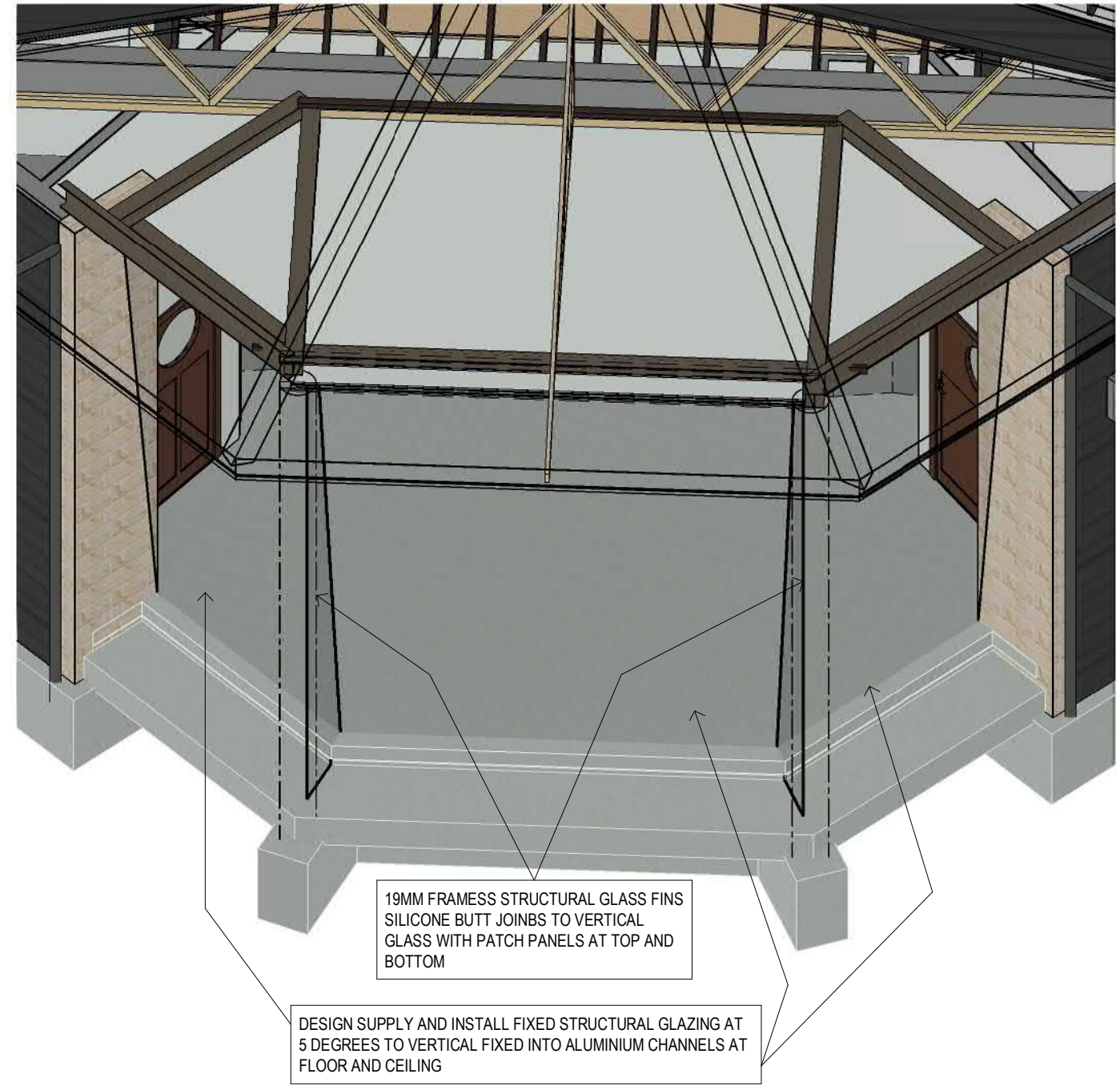
Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 624DWI
Issue WD32
SHEET 17 OF 36



S6
321ST1

DT8 Lower HALL Column H7 - METAL Cladding
111FP1 1:10

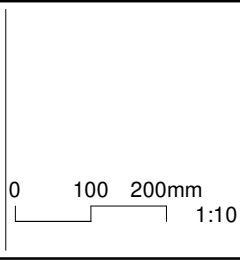


DT42 STAGE GLASS axonometric

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

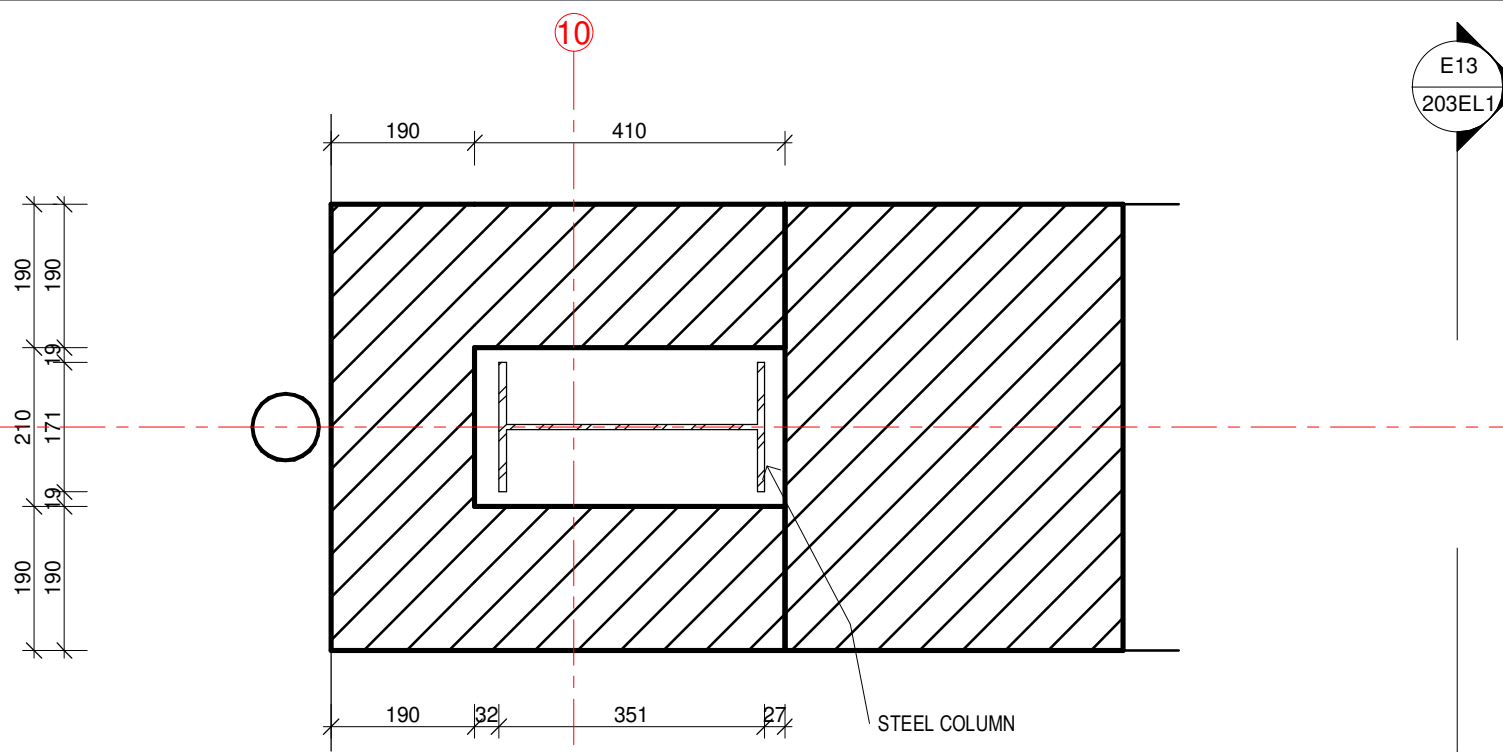
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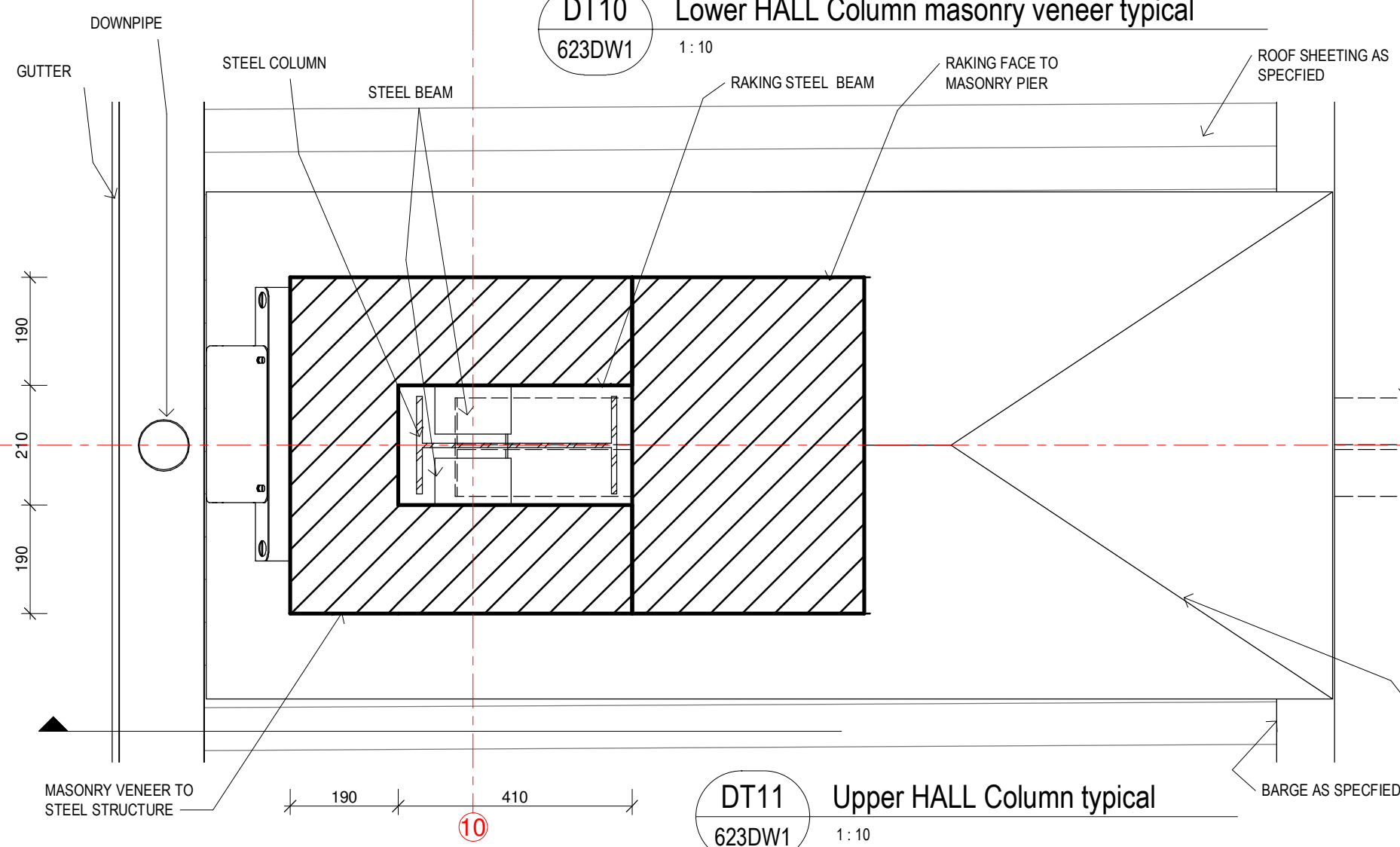
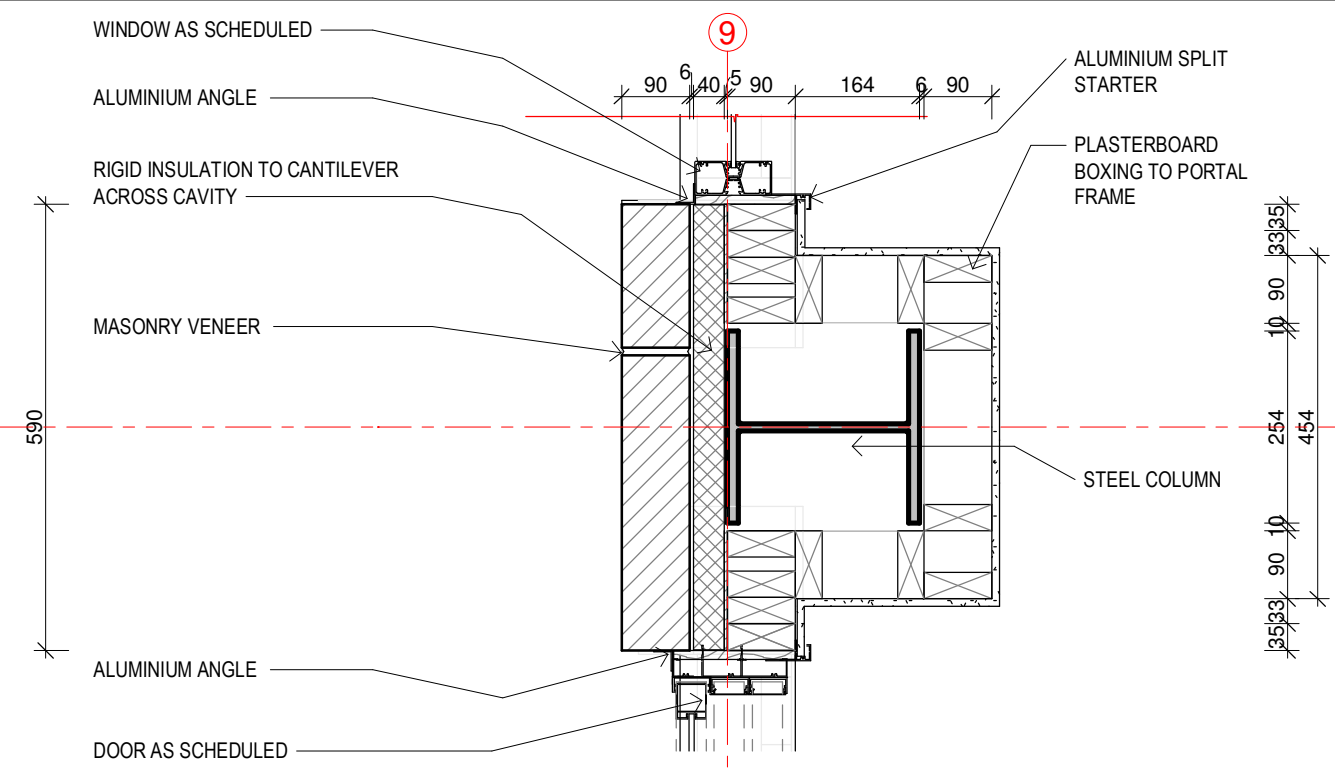
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

HALL DT8-COLUMNS UPPER+LOWER PLAN DETAILS + STAGE GLASS 3D
WORKING DRAWINGS

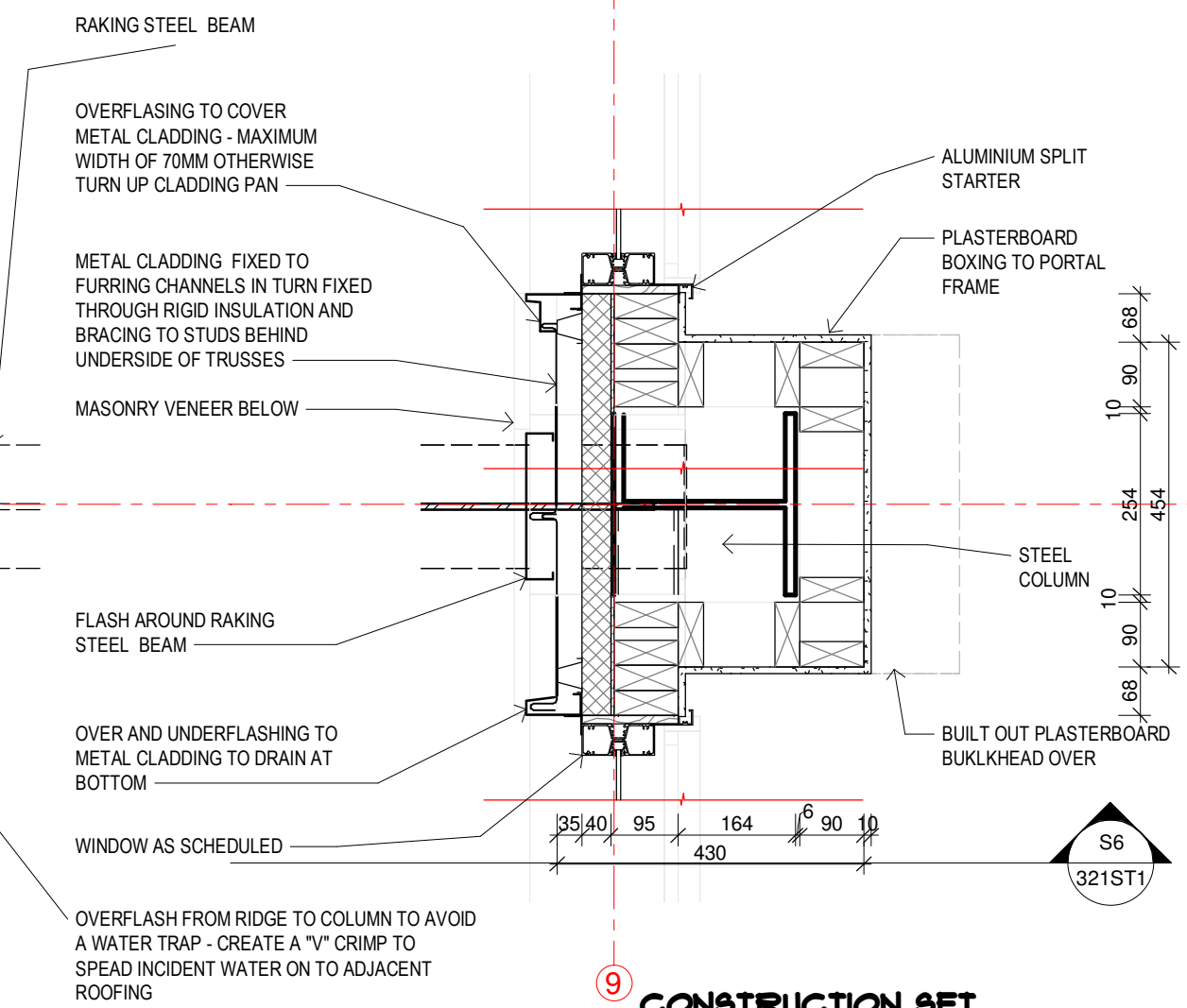
Scale at A3 1:10
Job No #10122
Designed MDW
Drawn MDW
Checked MDW
Dwg No 625DWI
Issue WD32
SHEET 18 OF 36



DT10
623DW1
Lower HALL Column masonry veneer typical
1:10



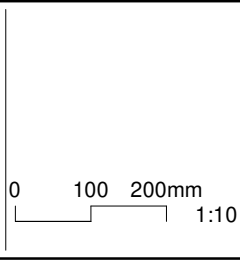
DT11
623DW1
Upper HALL Column typical
1:10



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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HALL DT10+DT11 - COLUMNS-UPPER+LOWER PLAN DETAILS
WORKING DRAWINGS

Scale at A3
1:10
Job No #10722
Dwg No 626DW1
Issue WD32
SHEET 19 OF 36

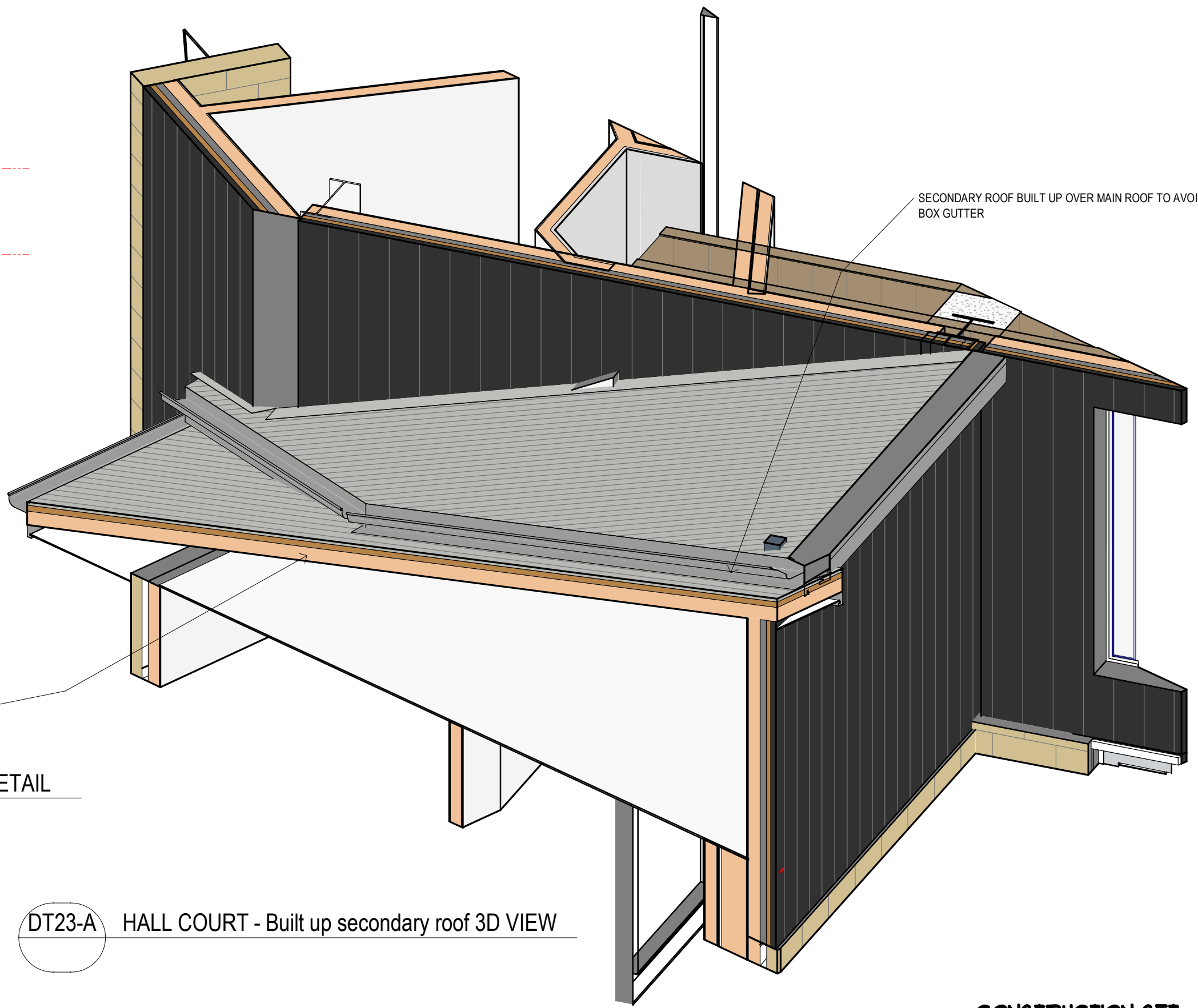
i

stage ceiling

workshop ceiling

SECONDARY ROOF BUILT UP OVER MAIN ROOF TO AVOID BOX GUTTER

SECONDARY ROOF BUILT UP OVER MAIN ROOF TO AVOID BOX GUTTER - SEE 3D

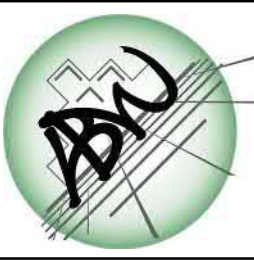


DT23 HALL COURT - Built up secondary roof DETAIL
325ST1 1:10

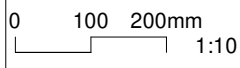
DT23-A HALL COURT - Built up secondary roof 3D VIEW

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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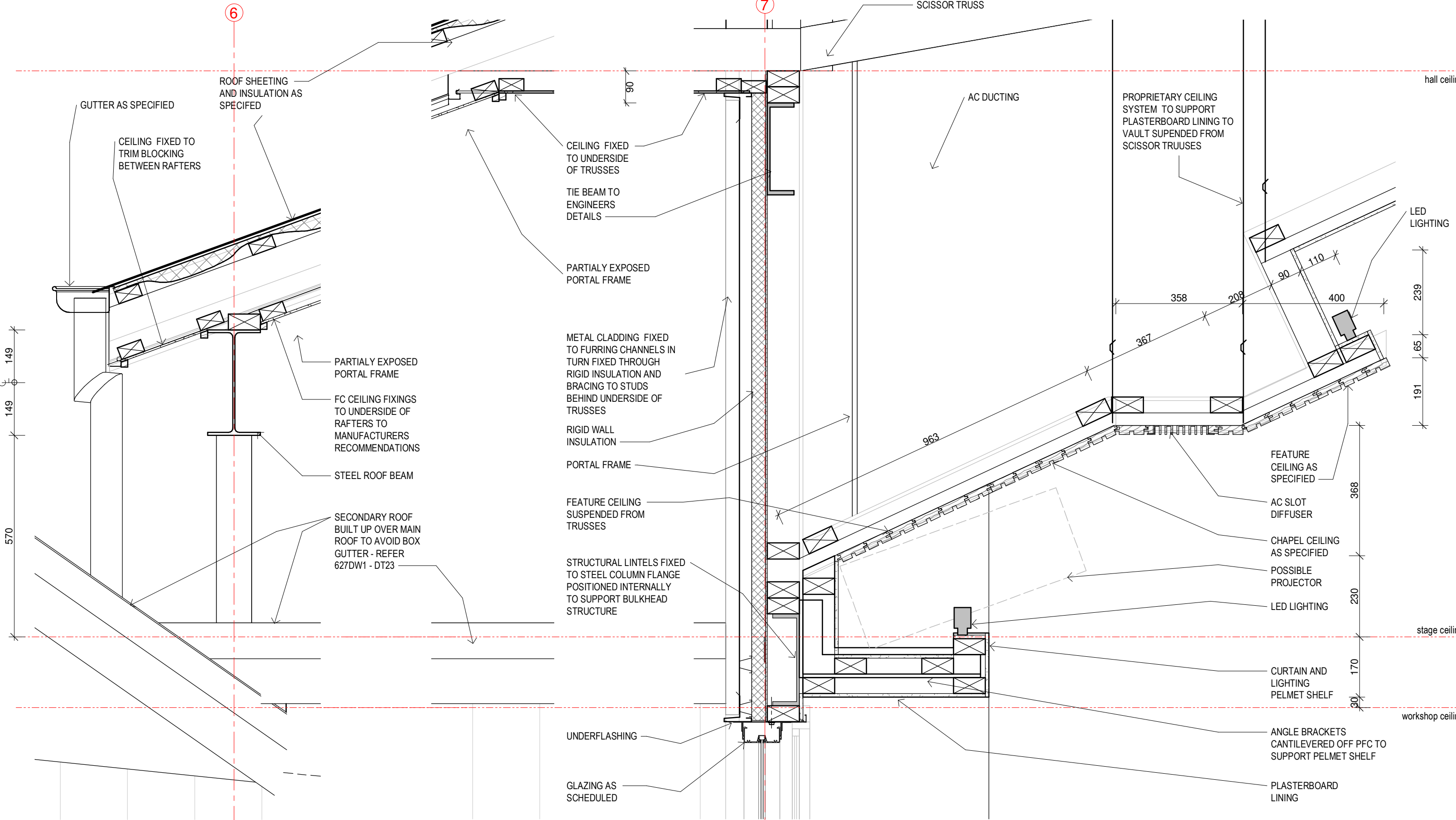


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

HALL DT23 - BUILT UP ROOF DETAIL
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 621DWI
 Issue WD32
 SHEET 20 OF 36



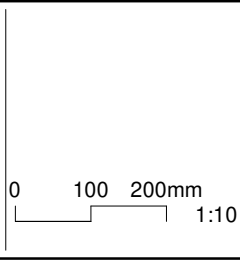
DT22 HALL- Court Roof Edge DETAIL
323ST1 1:10

DT22-A HALL - Court Roof/Wall DETAIL
323ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

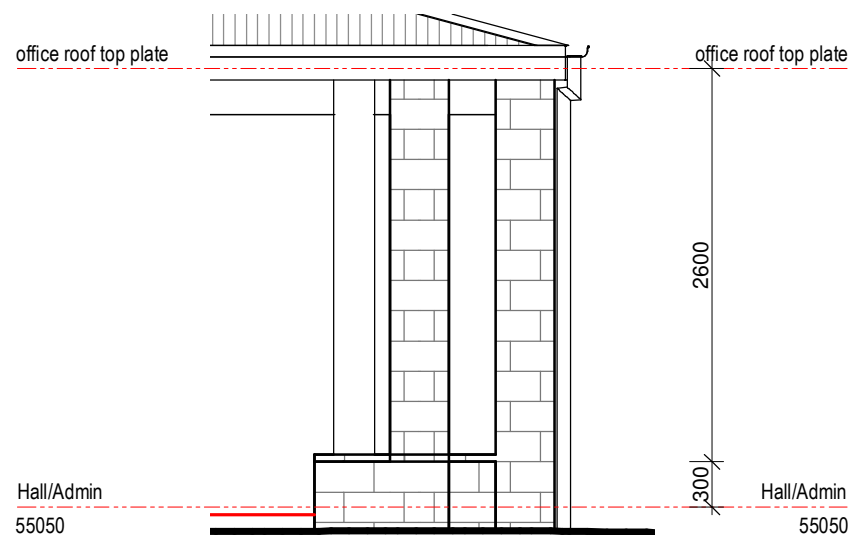
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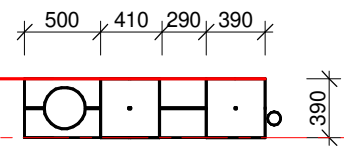
HALL DT22+DT22-A - COURT ROOF DETAIL
WORKING DRAWINGS

Scale at A3 1:10	Job No #10722
Designed MDW	Dwg No 628DW1
Drawn MDW	Issue WD32
Checked MDW	SHEET 21 OF 36



DT27-A PORTE COCHERE COLUMNS Elevation

111FP1 1:50



DT27-A
629DW1

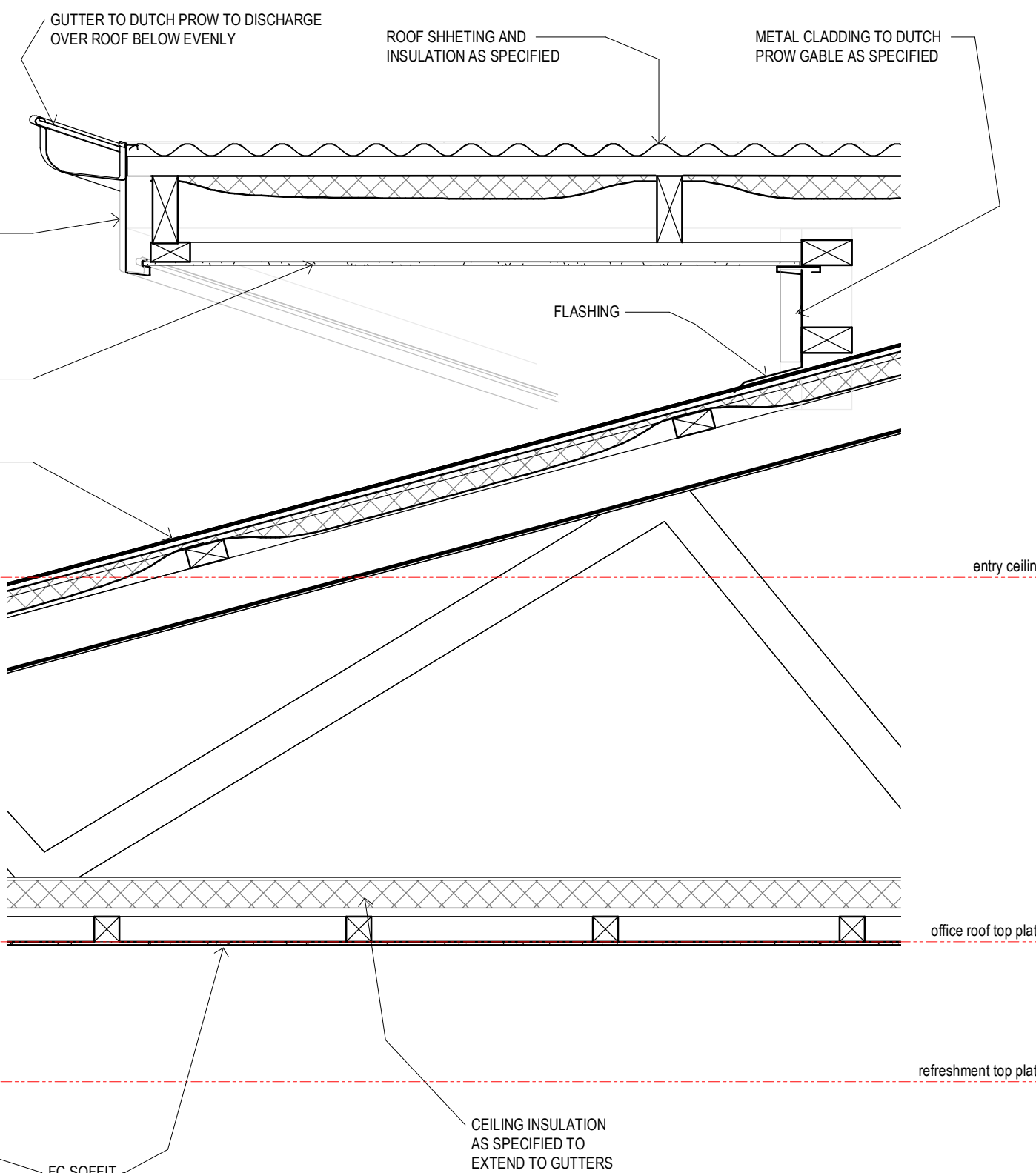
DT27 PORTE COCHERE COLUMNS Plan

111FP1 1:50

- GUTTER AS SCHEDULED
- FASCIA AS SCHEDULED
- FC SOFFIT NOTE SOFFIT TO DROP TO METAL FASCIA RECESS HEIGHT OUTSIDE OF BEAM
- BEAM AS SCHEDULED
- CUT OUT COLUMNS TO ALLOW BEAM TO PASS THROUGH WELD FIXING BRACKETS TO COLUMN TO ENGINEERS DETAILS
- FRAME OUT BEAM TO CONCEAL FIXINGS TO COLUMNS SHEETED AS SCHEDULED
- COLUMN AS SCHEDULED

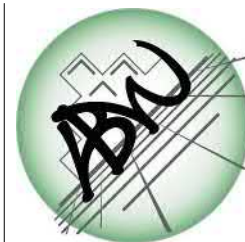
DT37 HALL Porte Cochere - DETAIL

321ST1 1:10



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

at 150 OCEANVIEW DRIVE SEASIDE

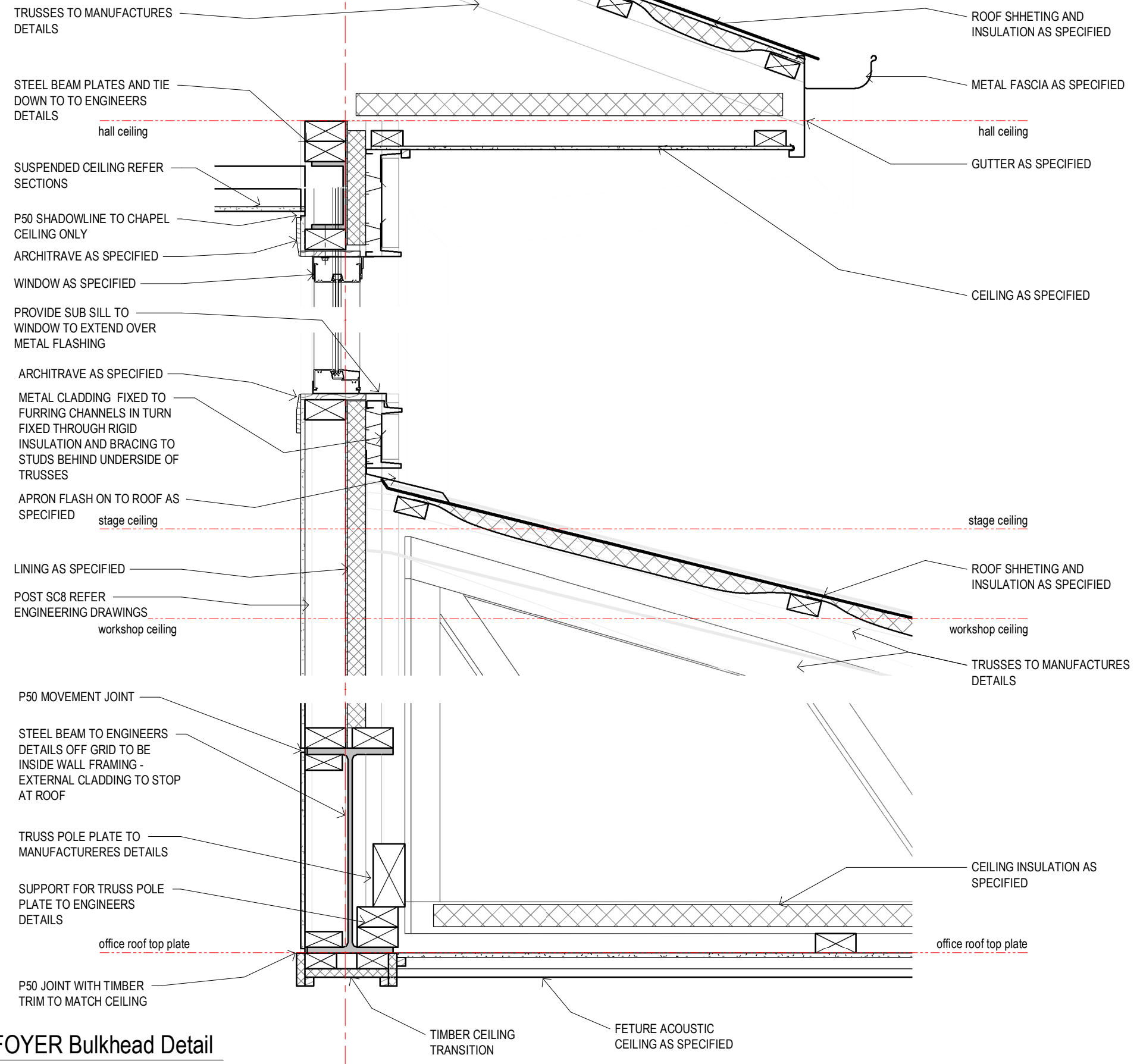
for COMMUNITY PTY LTD

HALL DT21 + DT21-A + DT31 - PORTE COCHERE COLUMNS DETAILS

WORKING DRAWINGS

Scale at A3
 A4 INDICATED
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 629DW1
 Issue WD32
 SHEET 22 OF 36

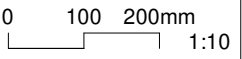


DT29 Foyer Bulkhead Detail
 322ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

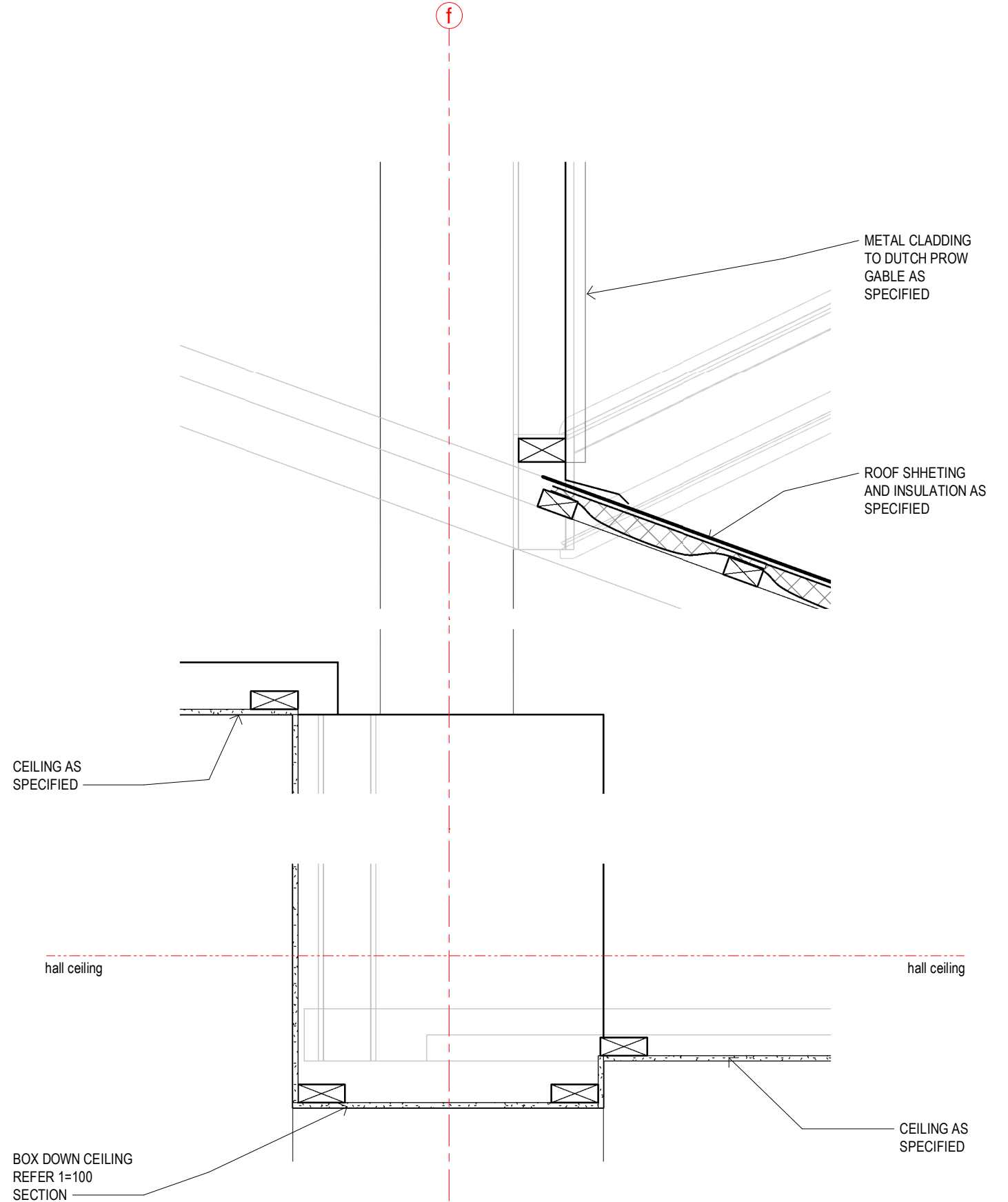
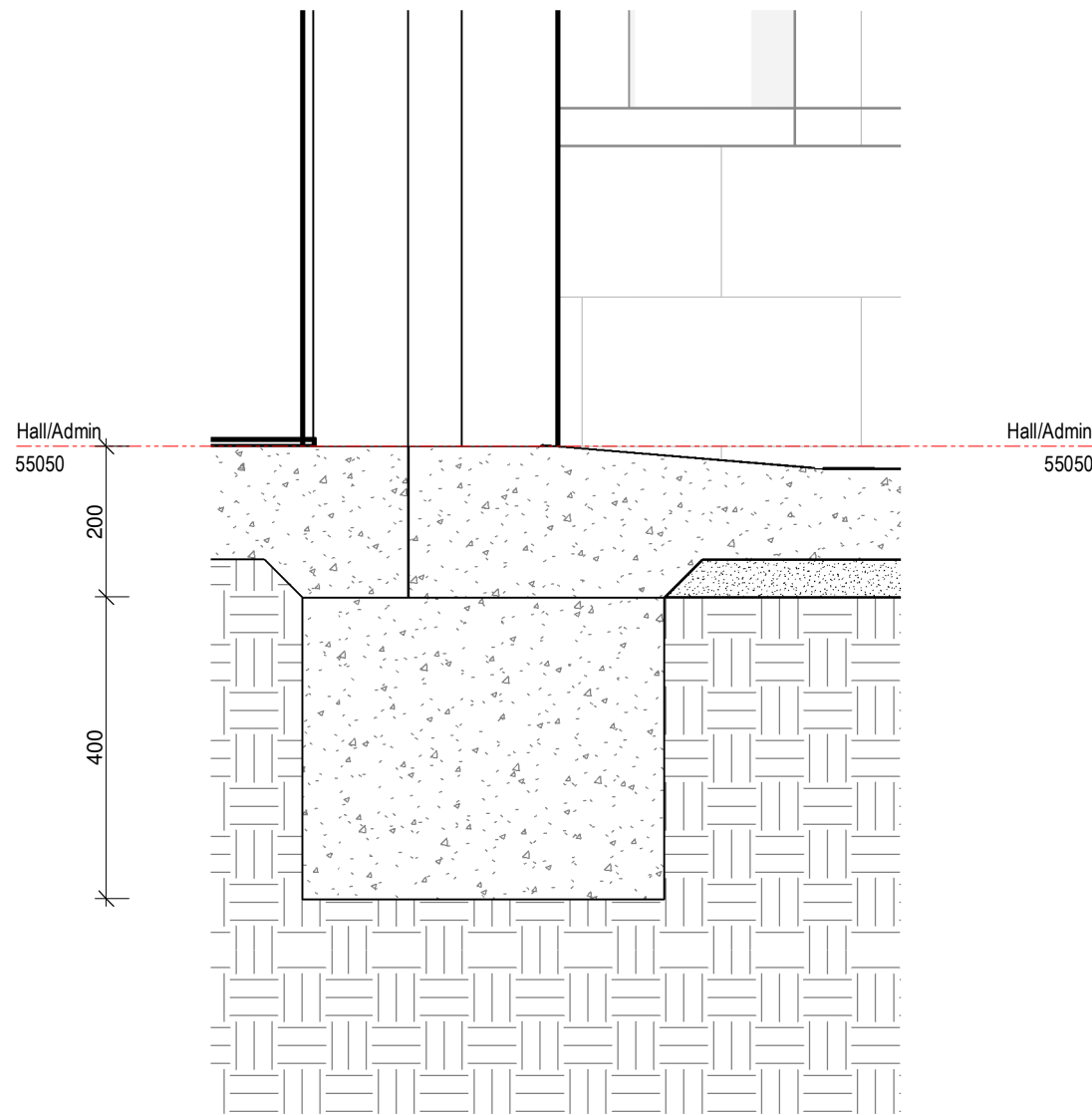
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PROPOSED COMMUNITY PROJECT
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HALL DT29 - FOYER BULKHEAD DETAILS
 WORKING DRAWINGS

Scale at A3 1:10
 Job No #10122
 Designed MDW
 Drawn MDW
 Checked MDW
 Dwg No 630DWI
 Issue WD32
 SHEET 23 OF 36



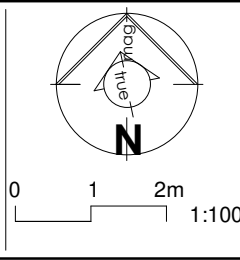
DT30 Atypical Brick Veneer Detail - through corner
 322ST1 1:10

DT31 Dutch Prow Gable Detail
 322ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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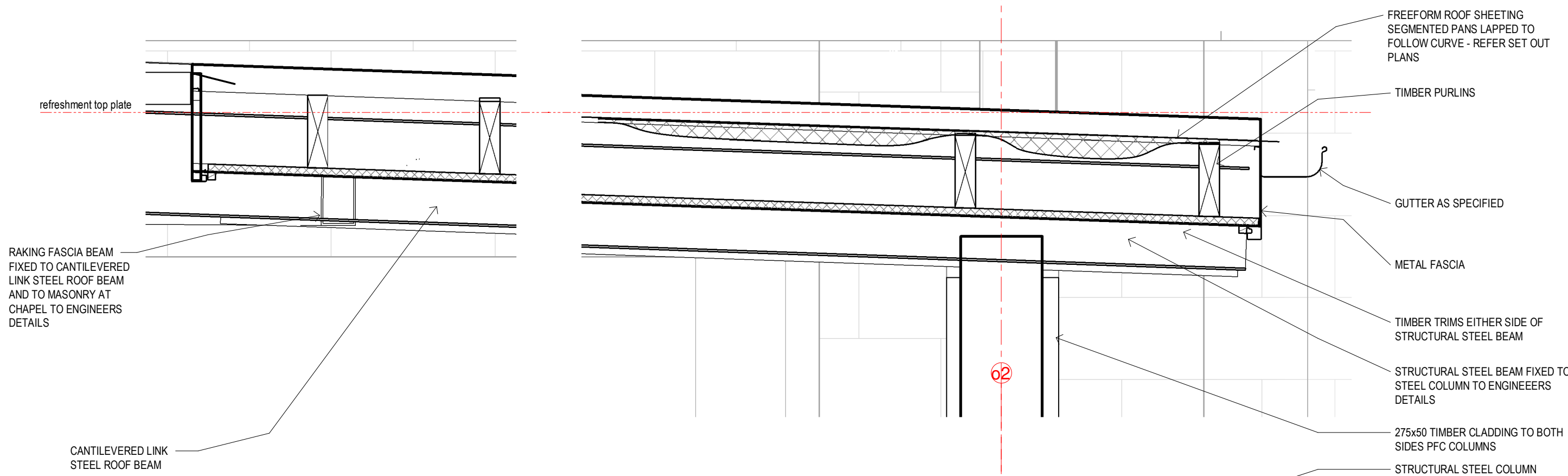


PROPOSED COMMUNITY PROJECT
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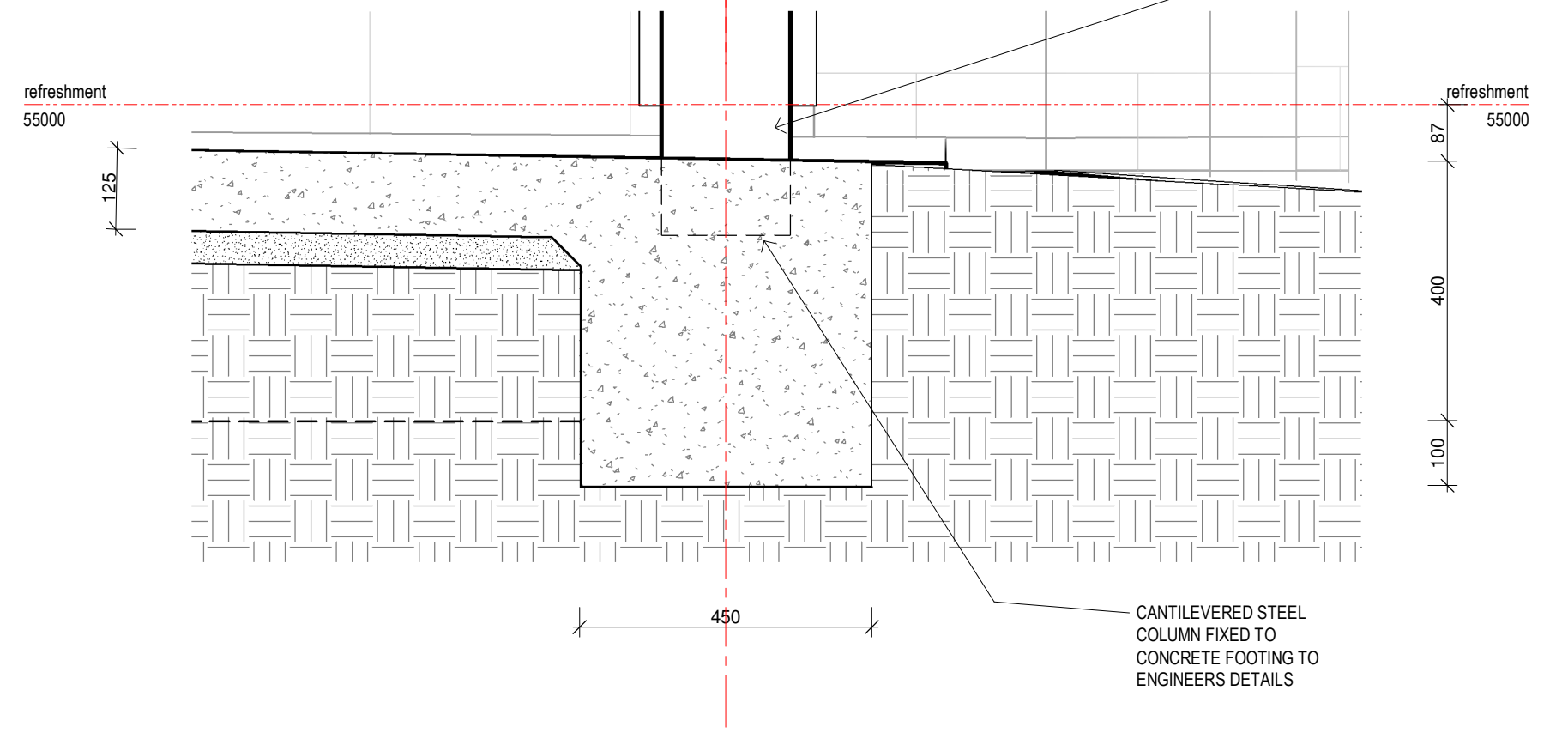
HALL DT30+DT31 - FOYER FOOTING + GABLE DETAIL
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 631DWI
 Issue WD32
SHEET 24 OF 36



DT12 Link Cross Section to Chapel - Callout 1
 333ST1 1:10

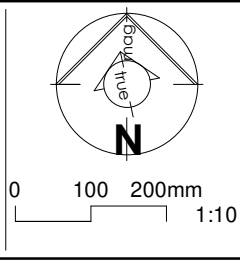


DT13 Link Cross Section to Chapel - Callout 2
 333ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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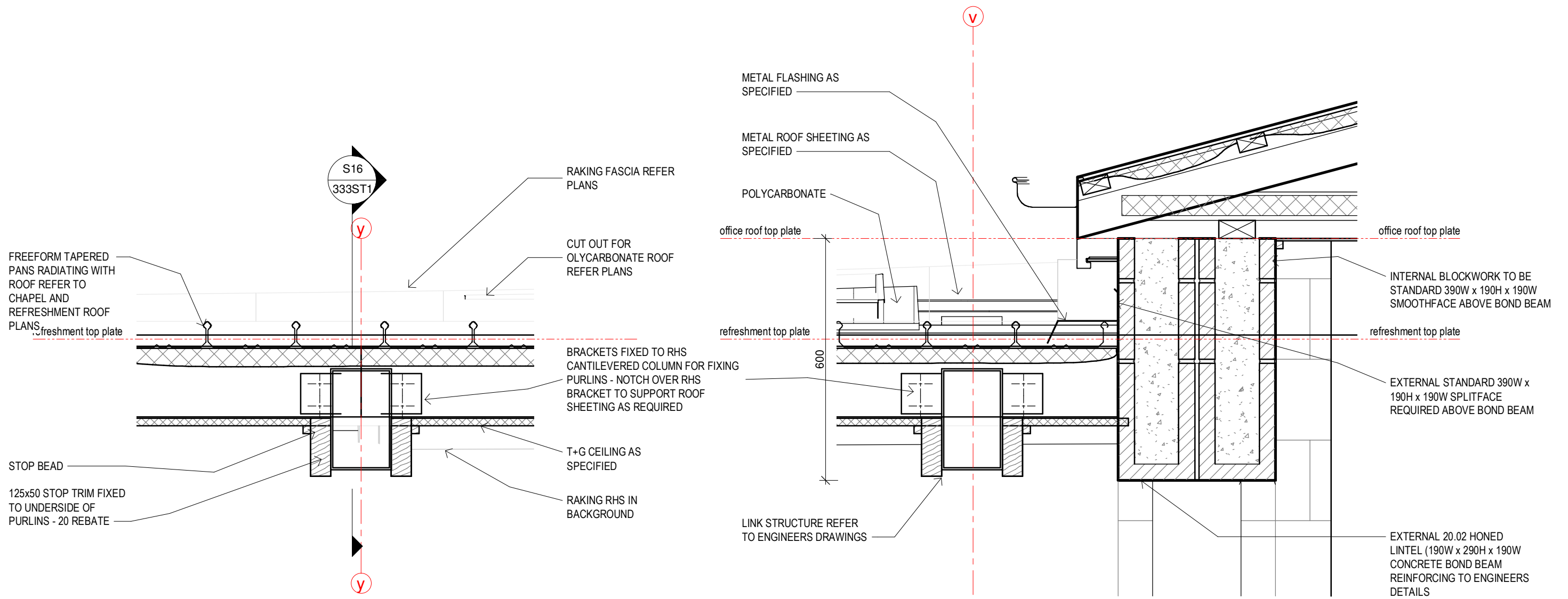


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

LINK DT12+DT13 - HALL END
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10722
 Dwg No 632DWI
 Issue WD32
 SHEET 25 OF 36



DT39 Link Long Section - Callout 2
333ST1 1:10

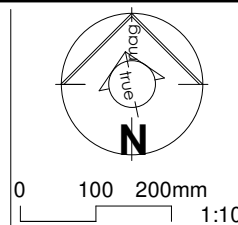
DT14 Link Long Section - Callout 1
333ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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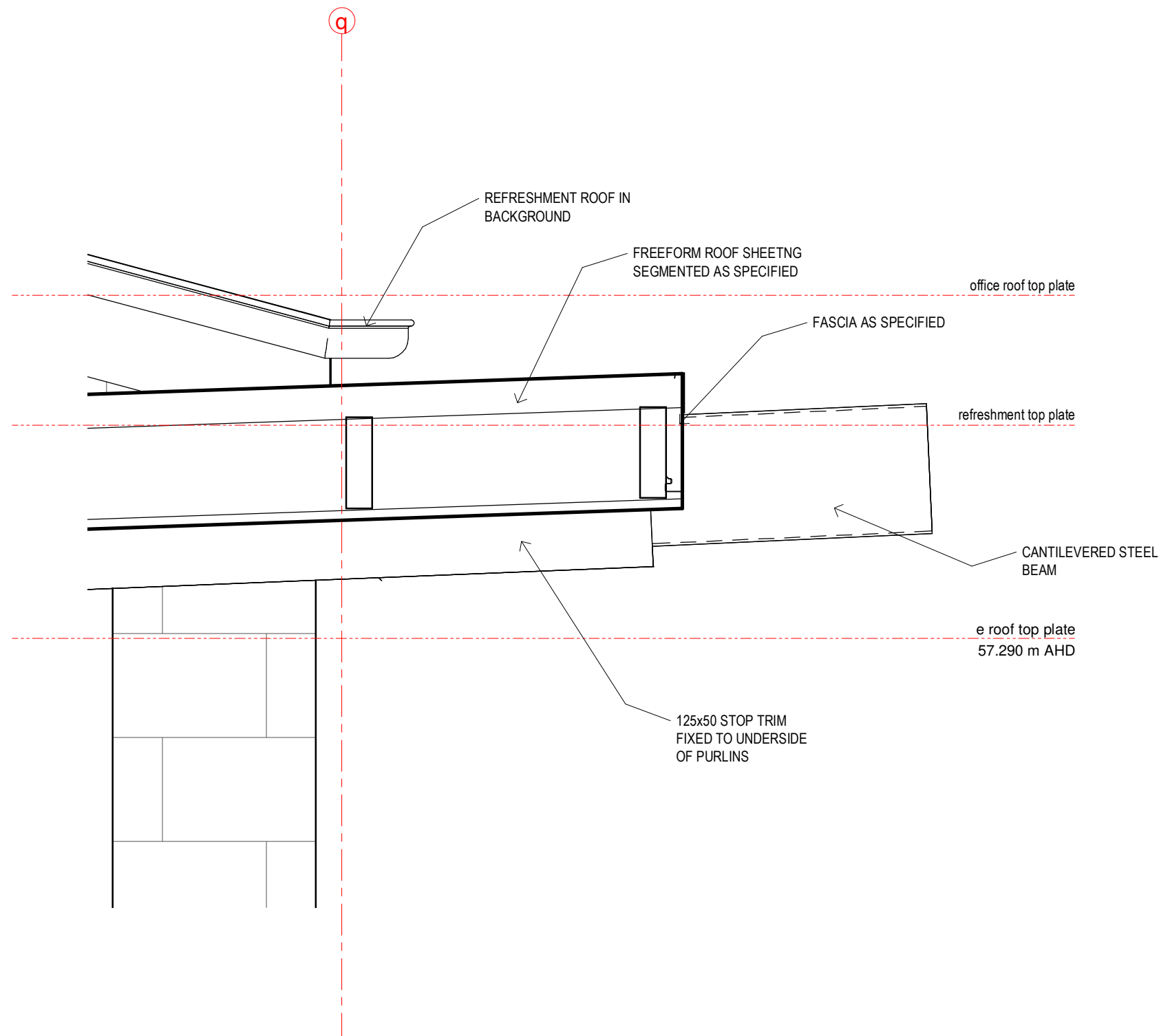


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

LINK DT14+DT15 - TYPICAL CROSS AND LONG SECTIONS
 WORKING DRAWINGS

Scale at A3
1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 634DWI
 Issue WD32
 SHEET 26 OF 36



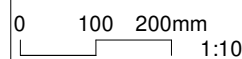
DT15 Link typical END
333ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

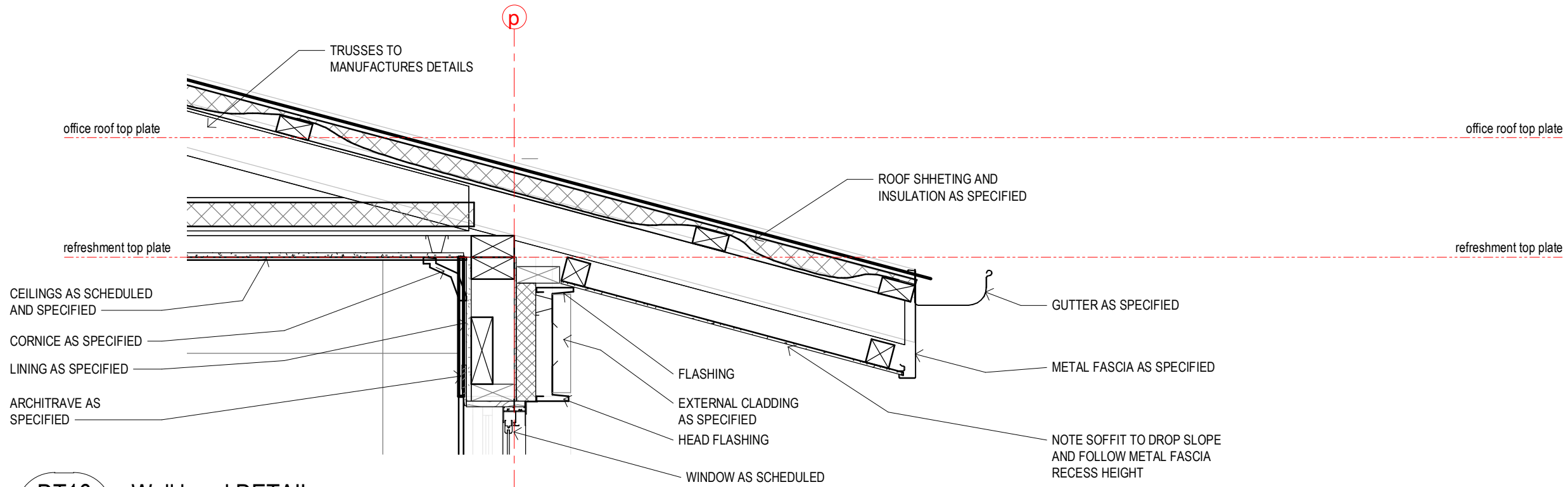
at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

LINK DT15 - TYPICAL END

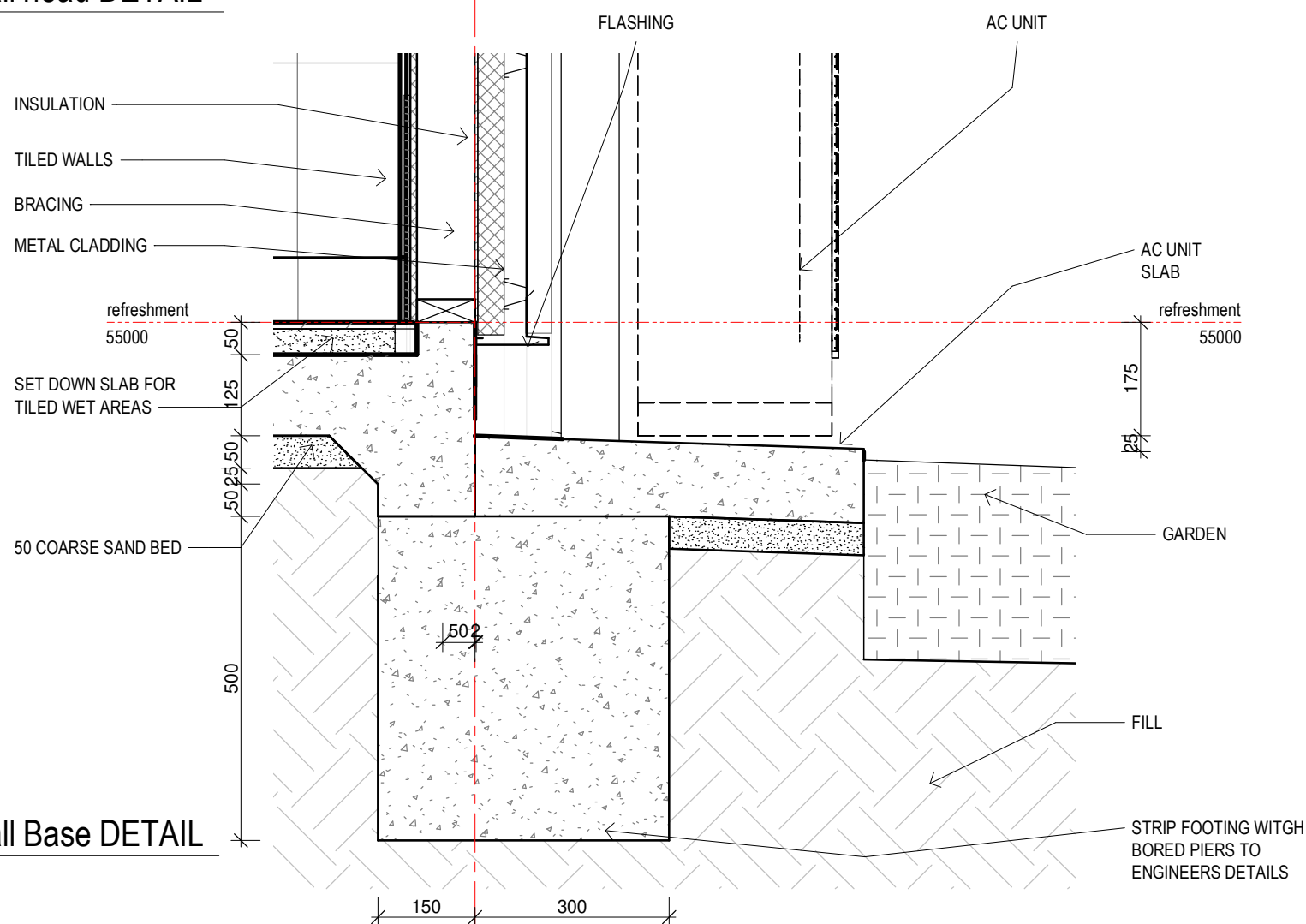
WORKING DRAWINGS

Scale at A3
1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 635DWI
 Issue WD32



DT16 Wall head DETAIL
332ST1 1:10



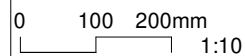
DT17 Wall Base DETAIL
332ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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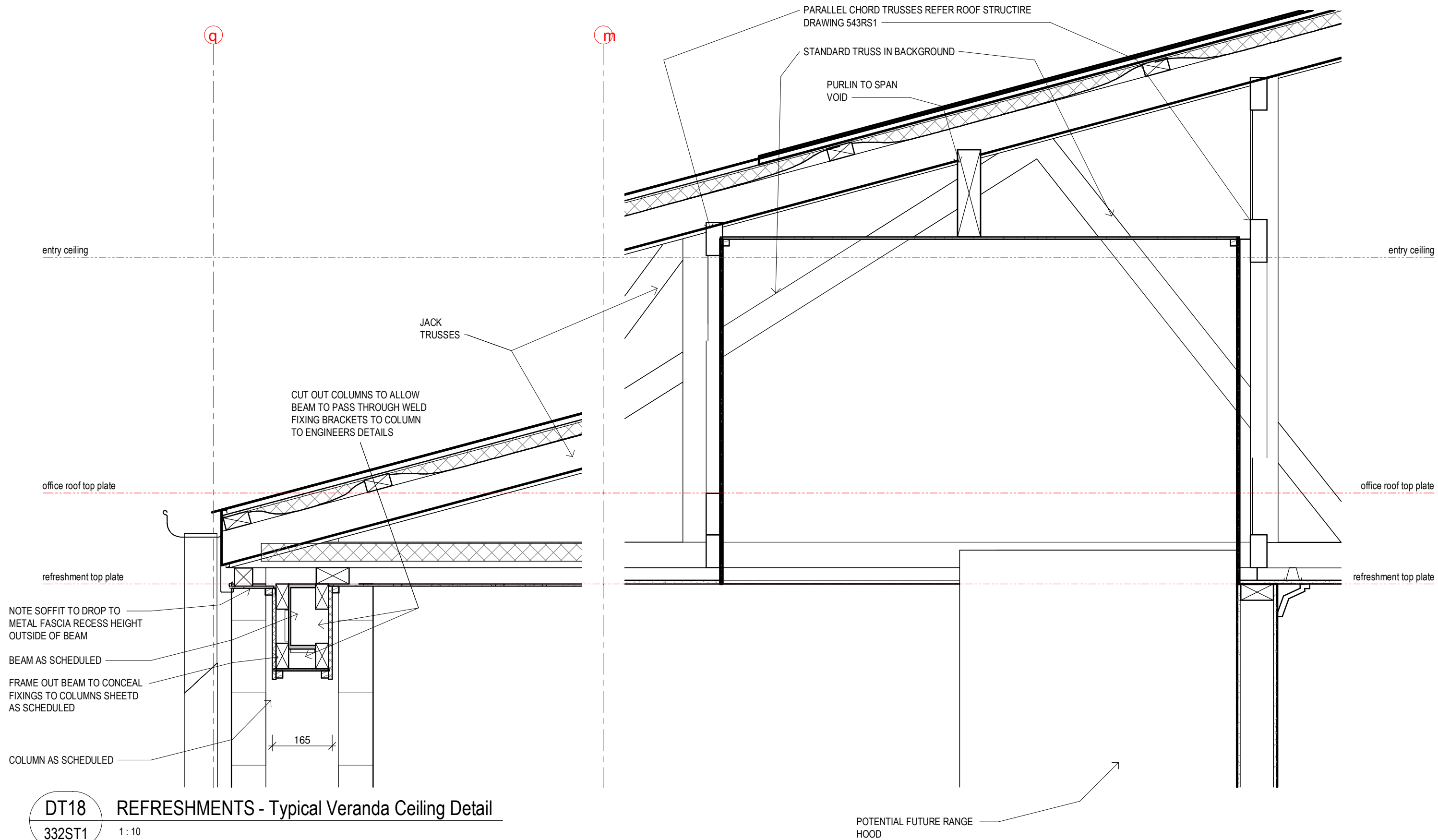


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

REFRESHMENTS DT16+DT17 - WALL DETAILS
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 636DWI
Issue WD32
SHEET 28 OF 36



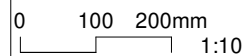
DT18 REFRESHMENTS - Typical Veranda Ceiling Detail
 332ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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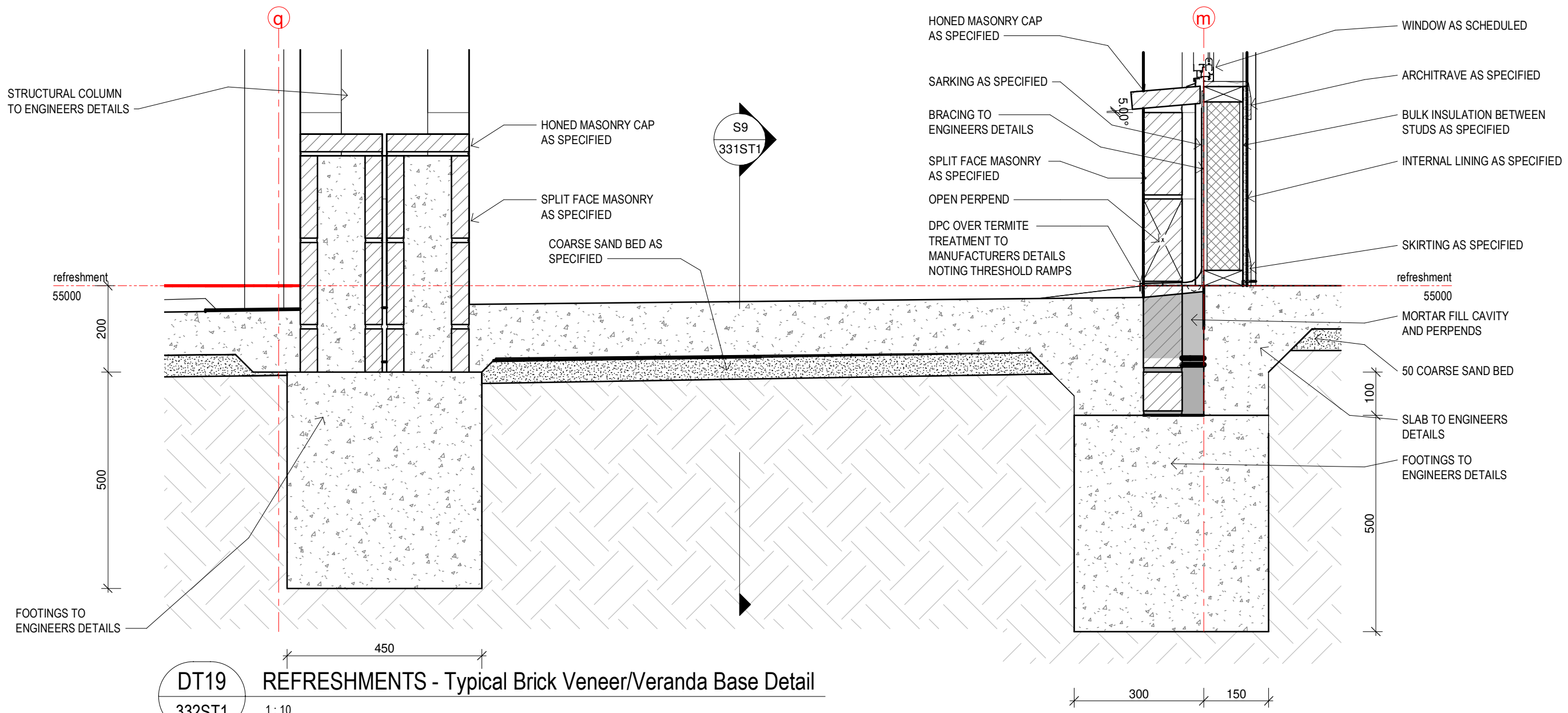


PROPOSED COMMUNITY PROJECT
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 for COMMUNITY PTY LTD

REFRESHMENTS DT18 - CEILING DETAILS
 WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 631DC1
 Issue WD32
 SHEET 29 OF 36

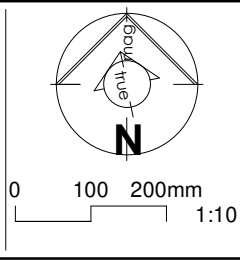


DT19 REFRESHMENTS - Typical Brick Veneer/Veranda Base Detail
 332ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

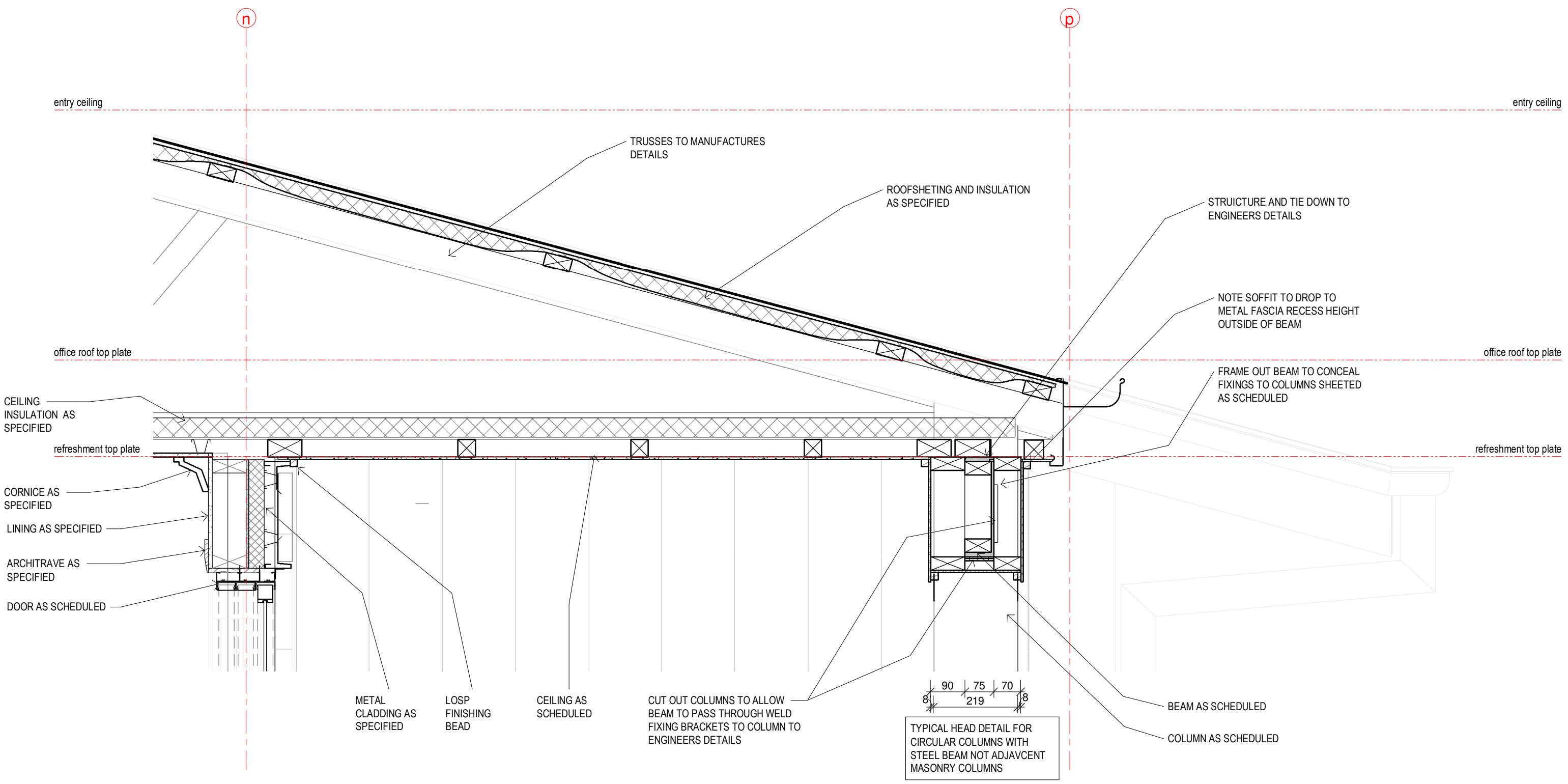
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PROPOSED COMMUNITY PROJECT
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REFRESHMENTS DT19 - WALL DETAILS
 WORKING DRAWINGS

Scale at A3 1:10
 Job No #10122
 Designed MDW
 Drawn MDW
 Checked MDW
 Issue WD32
 SHEET 30 OF 36

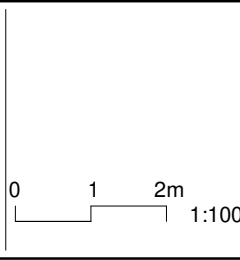


DT36 REFRESHMENTS Veranda
 332ST1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

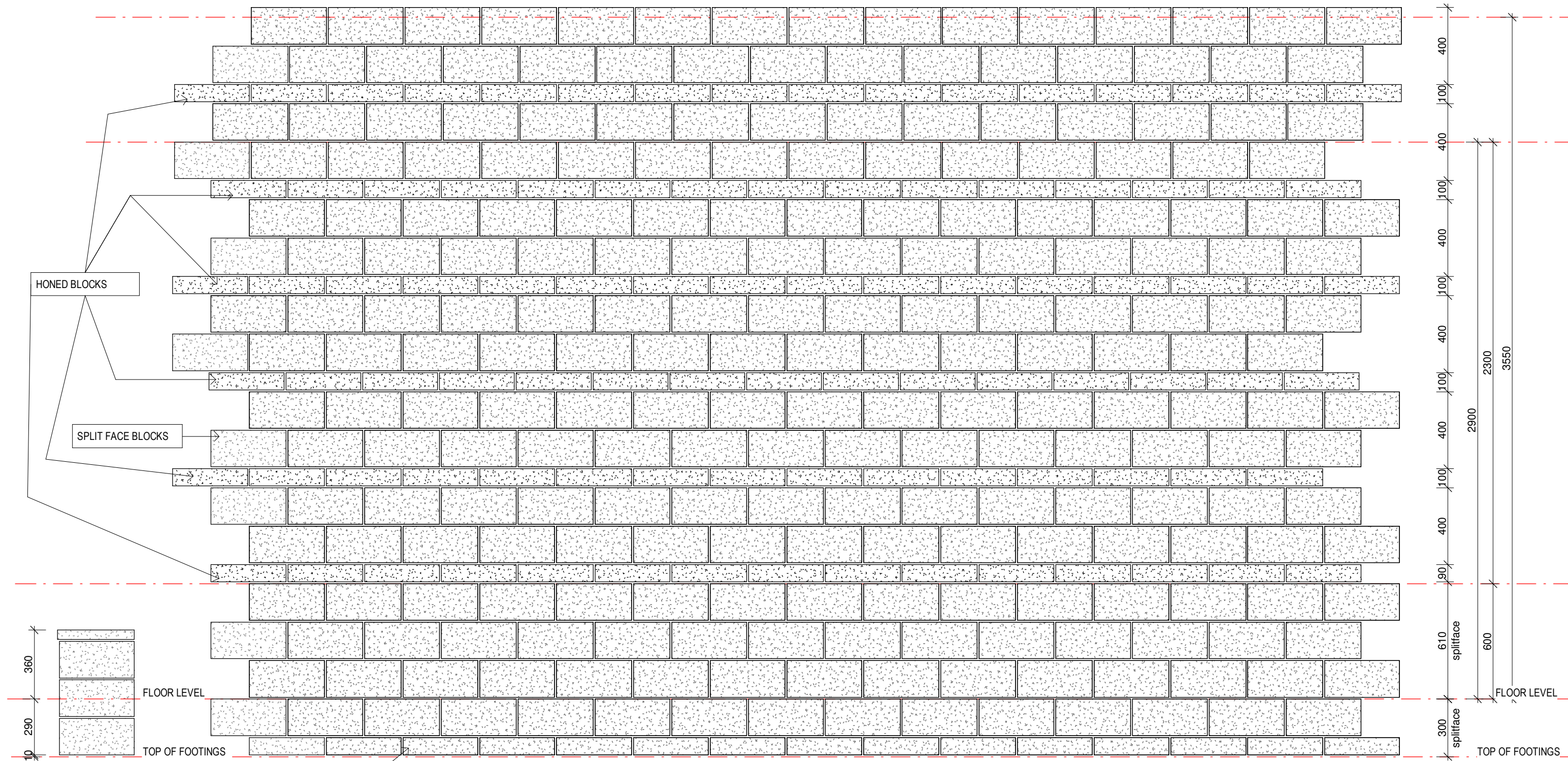
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PROPOSED COMMUNITY PROJECT
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REFRESHMENTS DT36 VERANDA CEILING DETAILS
 WORKING DRAWINGS

Scale at A3
 1:100
 Designed MDW
 Drawn MDW
 Checked MDW
 Job No #10722
 Dwg No 639DWI
 Issue WD32
 SHEET 31 OF 36



TYPICAL BANDED BLOCK COURSING PATTERN

band pattern all standard length blocks with 90 high

BANDED MASONRY TO BE PRICED SEPARATELY AS A SAVING OPTION IN CONTRACT - REFER SPECIFICATION

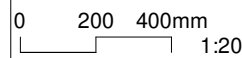
TYPICAL DWARF PIERS COURSING

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

BLOCK DETAILS
 WORKING DRAWINGS

Scale at A3
 1 : 20
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 681DMI
 Issue WD32
 SHEET 32 OF 36

window schedule new

Mark	Qty	Level	Head	Size		Description				Manufacturer	Comments
				Height	Width	Frame Material	Window Style	Type	Comments		
01	1	Hall/Admin	2310	2110	2110	aluminium	6 panel fixed			'Viridian' Neutral 59_	
02	1	Hall/Admin	2310	2110	2110	aluminium	6 panel fixed			'Viridian' Neutral 59_	
03	1	Hall/Admin	2310	2110	2110	aluminium	6 panel fixed			'Viridian' Neutral 59_	
04	1	Hall/Admin	2310	1810	1810	aluminium	6 panel awning over fixed	3 top panels awning		'Viridian' Neutral 59_	
05	1	Hall/Admin	2310	1810	1810	aluminium	6 panel awning over fixed	3 top panels awning		'Viridian' Neutral 59_	
06	1	Hall/Admin	2310	910	2410	aluminium	awning fixed awning fixed			'Viridian' Neutral 59_	
07	1	Hall/Admin	2110	1210	610	aluminium	double hung			'Viridian' Neutral 59_	
08	1	Hall/Admin	1810	910	1510	aluminium	XO slider			'Viridian' Neutral 59_	
09	1	Hall/Admin	1200	900	2400	aluminium	4 panel fixed			DOUBLE GLAZED	for sound resistance
10	1	Hall/Admin	2410	2110	2110	aluminium	6 panel awning over fixed	3 top panels awning		'Viridian' Neutral 59_	
11	1	Hall/Admin	2410	2110	2110	aluminium	6 panel awning over fixed	3 top panels awning		'Viridian' Neutral 59_	
12	1	Hall/Admin	2100	1200	1800	aluminium	single fixed			DOUBLE GLAZED	for sound and fire resistant
13	1	Hall/Admin	2100	1200	900	aluminium	single fixed			DOUBLE GLAZED	for sound and fire resistant
14	1	Hall/Admin	1910	910	1510	aluminium	XO slider			'Viridian' Neutral 59_	
15	1	office roof top plate	1710	1750	2100	aluminium	2 panel fixed			'Viridian' Neutral 59_	
16	1	office roof top plate	1710	1750	3600	aluminium	3 panel fixed			'Viridian' Neutral 59_	
17	1	office roof top plate	1710	1750	4200	aluminium	3 panel fixed			'Viridian' Neutral 59_	
18	1	office roof top plate	1710	1750	4200	aluminium	3 panel fixed			'Viridian' Neutral 59_	
19	1	office roof top plate	3250	1000	3600	aluminium	4 panel fixed			'Viridian' Neutral 59_	
20	1	Hall/Admin	2100	1200	1200	aluminium	awning over fixed			'Viridian' Neutral 59_	
21	1	Hall/Admin	2310	1200	1800	aluminium	XO slider			'Viridian' Neutral 59_	
22	1	refreshment	2410	610	1210	aluminium	XO slider			OBSCURE glass	
23	1	refreshment	2410	610	1210	aluminium	XO slider			OBSCURE glass	
24	1	refreshment	2410	610	1810	aluminium	XO slider			OBSCURE glass	
25	1	refreshment	2410	610	1210	aluminium	XO slider			OBSCURE glass	
26	1	refreshment	2410	610	1210	aluminium	XO slider			OBSCURE glass	
27	1	refreshment	2310	1200	2410	aluminium	XOX slider			'Viridian' Neutral 59_	
28	1	refreshment	2310	1200	2410	aluminium	XOX slider			'Viridian' Neutral 59_	
29	1	office roof top plate	1150	750	3000	aluminium	weatherproof grille				
30	1	office roof top plate	1150	750	2400	aluminium	weatherproof grille				
31	1	office roof top plate	750	600	600	aluminium		return air grille			
32	1	office roof top plate	750	600	600	aluminium		return air grille			
33	1	Hall/Admin	2300	2100	500	aluminium	weatherproof grille				
34	1	Hall/Admin	2300	2100	500	aluminium	weatherproof grille				

General Notes - Joinery


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- 9 all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from awa.org.au.



legend window

1 : 100

CONSTRUCTION SET

	 <p>ARCHITECTS BLACK & WILSON Pty. Ltd. A.B.N. 28 069 941 868 PH: (07) 3300 6610 8 DESBET STREET, THE GAP, 4061 www.architectsblackandwilson.com.au</p>	<p>PROPOSED COMMUNITY PROJECT</p> <p>at 150 OCEANVIEW DRIVE SEASIDE</p> <p>for COMMUNITY PTY LTD</p>	<p>WINDOW SCHEDULE</p> <p>WORKING DRAWINGS</p>	<p>Scale at A3 AS INDICATED</p> <p>Designed MDW</p> <p>Drawn MDW</p> <p>Checked MDW</p>	<p>Job No #10122</p> <p>Dwg No 1019CI</p> <p>Issue WD32</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">SHEET 33 OF 36</p>
Issue Date	Issue Description	Rev Date	Revision Description		

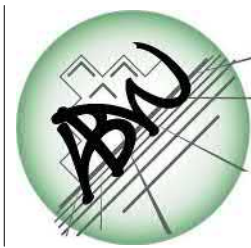
door schedule new p1

Mark	Qty	Level	Nom Head	Opening Size		Description		Panel		Description		Manufacturer	Comments
				Height	Width	Frame Material	Door Style	Height	Width	Type Comments	Glazing/Inserts		
01	1	Hall/Admin	3300	3300	2110	aluminium	double swing one light with highlight			2400 high door with 900 highlight	'Viridian' Neutral 59_ (safety decal)		
02	1	Hall/Admin	2500	2475	1910	aluminium	double swing one light	2410	920		'Viridian' Neutral 59_ (safety decal)		
03	1	Hall/Admin	2100	2070	820	timber	PMOD1			2040x820x40		Corinthian	
04	1	Hall/Admin	2100	2100	920	timber	PMOD1GT				glazed translucent	Corinthian	
05	1	Hall/Admin	2100	2100	980	timber	PMOD1GT	2040	900		glazed translucent	Corinthian	
06	1	Hall/Admin	2400	2400	3290	timber	PMOD1GC	2340	800		clear glass		
07	1	Hall/Admin	2100	2100	950	timber	PMOD1	2040	870	cavity slider		Corinthian	ply reinforce face cavity frame
08	1	Hall/Admin	2100	2090	1180	timber	PMOD1	2040	1100	cavity slider		Corinthian	oversized door
09	1	Hall/Admin	2100	2100	900	timber	PMOD1					Corinthian	
10	1	Hall/Admin	2100	2100	950	timber	PMOD1	2040	870	cavity slider		Corinthian	
11	1	Hall/Admin	2100	2100	900	timber	PMOD1GT				glazed translucent	Corinthian	
12	1	Hall/Admin	2100	2100	1100	timber	PMADPV101	2040	1020		glazed translucent	Corinthian	
13	1	Hall/Admin	2100	2070	820	timber	PMOD1			2040x820x40		Corinthian	undercut 25mm
14	1	Hall/Admin	2100	2070	820	timber	PMOD1			2040x820x40		Corinthian	undercut 25mm
15	1	Hall/Admin	2100	2100	900	steel	PBUSH					Corinthian	2 HR rate fire door
16	1	Hall/Admin	2000	2000	900	aluminium	insulated swing						COLDROOM DOOR
17	1	Hall/Admin	2500	2410	3610	steel	roller door					B+D	colourbond
18	1	Hall/Admin	2100	2100	1700	timber	PBUSHG101	2040	820		glazed translucent	Corinthian	
19	1	Hall/Admin	2100	2100	1700	timber	PBUSHG101	2040	820		glazed translucent	Corinthian	BAL40
20	1	Hall/Admin	2100	2100	1700	timber	PBUSHG101	2040	820		glazed translucent	Corinthian	BAL40
21	1	Hall/Admin	2100	2100	820	timber	PBUSH						BAL40
22	1	Hall/Admin	2100	2100	900	aluminium	single swing one light				clear glass		DOUBLE GLAZED
23	1	Hall/Admin	2100	2100	1700	timber	PBUSHG101	2040	820		glazed translucent	Corinthian	
24	1	Hall/Admin	2100	2100	900	timber	PMOD1					Corinthian	
25	1	Hall/Admin	2100	2100	900	timber	PMOD1					Corinthian	
26	1	Hall/Admin	2100	2100	900	timber	PURB101					Corinthian	
27	1	Hall/Admin	2100	2100	1050	timber	PMOD1					Corinthian	
28	1	Hall/Admin	2100	2100	1050	timber	PMOD1					Corinthian	
29	1	Hall/Admin	2100	2070	920	timber	PMOD1			2040x920x40 panel			door grille 3=600x300
30	1	Hall/Admin	2100	2070	900	timber	PMOD1			2040x920x40		Corinthian	undercut 25mm
31	1	Hall/Admin	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	
32	1	Hall/Admin	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	
33	1	Hall/Admin	2100	2070	900	timber	PMOD1			2040x920x40		Corinthian	undercut 25mm
34	1	Hall/Admin	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
35	1	Hall/Admin	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
36	1	Hall/Admin	2100	2070	920	timber	PMOD1			2040x920x40 panel			undercut 25mm
37	1	Hall/Admin	3000	3000	3000	steel	roller door					B+D	colourbond
38	1	Hall/Admin	3000	3000	2400	steel	roller door					B+D	colourbond
39	1	Hall/Admin	2500	2410	2710	aluminium	stacker XXO				'Viridian' Neutral 59_ (safety decal)		
40	1	Hall/Admin	2100	2100	1860	aluminium	single swing one light	2040	900		clear glass		floor mounted closer
41	1	Hall/Admin	2100	2100	1860	aluminium	single swing one light	2040	900		glazed translucent		
42	1	Hall/Admin	2500	2460	980	aluminium	double swing one light	2400	900		clear glass		floor mounted closer
43	1	Hall/Admin	2500	2475	1870	aluminium	double swing one light	2410	900		clear glass		floor mounted closer
44	1	Hall/Admin	2500	2470	980	aluminium	double swing one light	2410	900		clear glass		floor mounted closer
45	1	Hall/Admin	2100	2070	900	timber	EXP PA			2040x920x40		Corinthian	
46	1	Hall/Admin	2500	2475	1870	aluminium	double swing one light	2410	900		clear glass		floor mounted closer
47	1	Hall/Admin	2500	2470	980	aluminium	double swing one light	2410	900		clear glass		floor mounted closer
48	1	Hall/Admin	2100	2100	1480	timber	FLUSHPV	2040	1400			Corinthian	
49	1	Hall/Admin	2100	2100	980	timber	FLUSHPV	2040	900			Corinthian	
50	1	Hall/Admin	2400	2400	4200	aluminium	stacker XXO				'Viridian' Neutral 59_ (safety decal)		accessible sill
51	1	Hall/Admin	2400	2400	4200	aluminium	stacker XXO				'Viridian' Neutral 59_ (safety decal)		accessible sill
52	1	Hall/Admin	2400	2400	3600	aluminium	stacker OXX				'Viridian' Neutral 59_ (safety decal)		accessible sill
53	1	Hall/Admin	2400	2400	2100	aluminium	slider OX				'Viridian' Neutral 59_ (safety decal)		accessible sill
54	1	Hall/Admin	2200	2200	650	glass	shower swing alum semi frameless			2200X650 semi frameless	clear glass		aluminium frame
55	1	Hall/Admin	2100	2100	870	timber	PMOD1					Corinthian	peephole

- General Notes - Joinery**
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CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



ARCHITECTS BLACK & WILSON Pty. Ltd.
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 www.architectsblackandwilson.com.au

PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

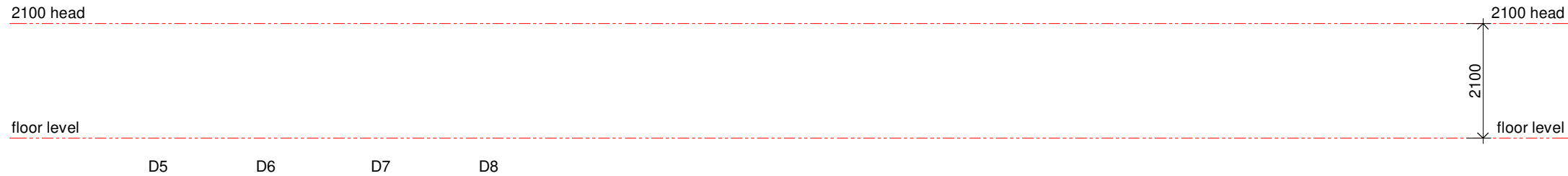
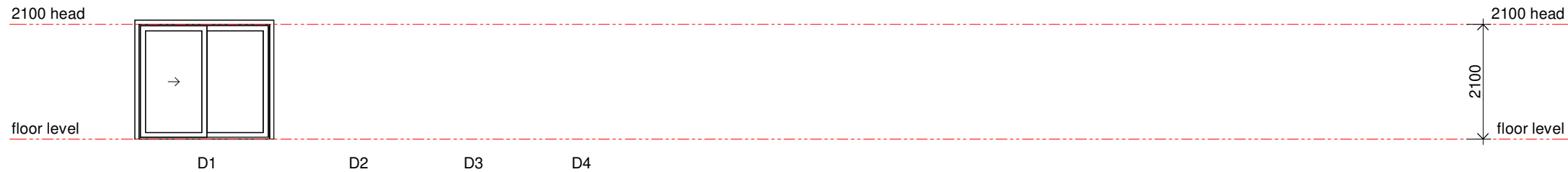
DOOR SCHEDULE
 WORKING DRAWINGS

Scale at A3
 1 : 500
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10722
 Dwg No 1113C1
 Issue WD32
 SHEET 34 OF 36

door schedule new p2

Mark	Qty	Level	Nom Head	Size		Description		Panel		Description		Manufacturer	Comments
				Height	Width	Frame Material	Door Style	Height	Width	Type Comments	Glazing		
56	1	refreshment	2100	2100	980	timber	PMOD1	2040	900			Corinthian	door grille 1=600x250
57	1	refreshment	2100	2100	980	timber	PMOD1	2040	900			Corinthian	door grille 2=600x150
58	1	refreshment	2100	2070	900	timber	PMOD1			2040x920x40		Corinthian	door grille 2=600x150
59	1	refreshment	2100	2070	900	timber	PMOD1			2040x920x40		Corinthian	door grille 2=600x150
60	1	refreshment	2100	2070	900	timber	PMOD1			2040x920x40		Corinthian	door grille 2=600x150
61	1	refreshment	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
62	1	refreshment	2100	2100	900	timber	PBUSHG101	2040	820			Corinthian	
63	1	refreshment	2100	2100	900	timber	PBUSHG101	2040	820			Corinthian	
64	1	refreshment	2100	2100	1500	timber	PMOD1	2040	720			Corinthian	deadlock
65	1	refreshment	2100	2100	980	timber	PMOD1	2040	900			Corinthian	deadlock
66	1	refreshment	2500	2475	1910	aluminium	double swing one light	2410	920		'Viridian ~ Neutral 59_ (safety decal)		floor mounted closer
67	1	refreshment	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
68	1	refreshment	2200	2105	1010	timber	PBUSH	2040	920			Corinthian	
69	1	refreshment	2100	2100	900	timber	PMOD1	2040	820			Corinthian	
70	1	refreshment	2500	2475	1910	aluminium	double swing one light	2410	920		'Viridian ~ Neutral 59_ (safety decal)		floor mounted closer
71	1	refreshment	2500	2410	5410	aluminium	stacker OXXXXO				'Viridian ~ Neutral 59_ (safety decal)		
72	1	refreshment	2500	2410	5410	aluminium	stacker OXXXXO				'Viridian ~ Neutral 59_ (safety decal)		
73	1	refreshment	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
74	1	refreshment	2100	2090	780	timber	PMOD1			2040x820x40		Corinthian	undercut + overcut 25mm
75	1	refreshment	2600	2600	2800	steel	roller door					B+D	colourbond
76	1	refreshment	2600	2600	2800	steel	roller door					B+D	colourbond
77	1	refreshment	2100	2100	870	timber	PMOD1					Corinthian	
78	1	refreshment	2100	2100	3590	timber	PMOD1	2040	700			Corinthian	bi-folding
79	1	Hall/Admin	2100	2100	870	timber	PMOD1					Corinthian	
80	1	refreshment	2100	2100	870	timber	EXP PA					Corinthian	
86	1	refreshment	2000	2000	900	aluminium	insulated double sliding						COLDROOM DOOR
87	1	refreshment	2100	2070	780	timber	PMOD1			2040x820x40		Corinthian	undercut 25mm with snap in vent at top



legend door
1 : 100

CONSTRUCTION SET

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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
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DOOR SCHEDULE + ELEVATIONS
 WORKING DRAWINGS

Scale at A3
1 : 100
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10722
 Dwg No 1126C1
 Issue WD32
 SHEET 35 OF 36

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain **asbestos**

1986 - it therefore is likely to contain **asbestos**

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*.

All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.


source:

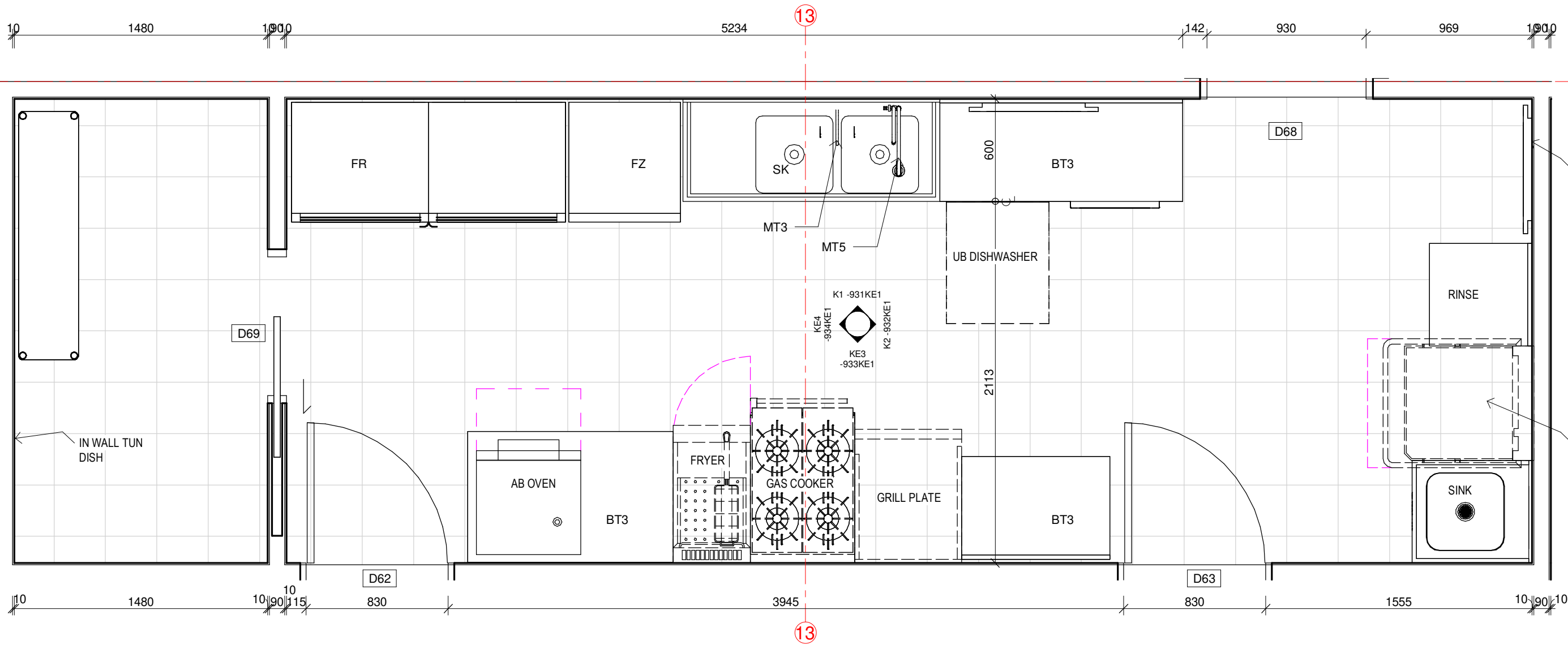
BDAQ Mar 2012

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

CONSTRUCTION SET

 <p>ARCHITECTS BLACK & WILSON Pty. Ltd. A.B.N. 28 069 941 868 PH: (07) 3300 6610 8 DESBET STREET, THE GAP, 4061 www.architectsblackandwilson.com.au</p>		<p>PROPOSED COMMUNITY PROJECT</p> <p>at 150 OCEANVIEW DRIVE SEASIDE</p> <p>for COMMUNITY PTY LTD</p>	<p>SAFETY IN DESIGN NOTES</p> <p>Safety Report in compliance with Work Health and Safety Act 2011</p> <p>WORKING DRAWINGS</p>	<p>Scale at A3 1 : 1</p> <p>Designed MDW</p> <p>Drawn MDW</p> <p>Checked MDW</p>	<p>Job No #10722</p> <p>Dwg No 7819DI</p> <p>Issue WD32</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">SHEET 36 OF 36</p>
Issue	Date	Issue Description	Rev	Date	Revision Description



FITTINGS + FIXTURES - WET ROOMS	SHOWER ROSES	MT = 'CAROMA' "CARE PLUS" SHOWER/BATH WALL MIXER - CHROME	TOWEL RAILS	R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome	TOILET	WC1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP
	SHOWER RAILS	SHR1 =URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME	ROBE HOOKS GRAB RAILS	RH = NAPOLEON ROBE HOOK - chrome	WC2 = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
	VANITY BASIN	SHR2 =CAROMA' PLUS STARSAFE II ACCESSABLE SHOWER SET	GR1 = NAPOLEON ROBE HOOK	GR2 = VIRTU COMFORT GRAB RAIL 870X700mm 90°	SD = SOAP DISPENSER BY OWNER	
	SINK/ BASIN TAPWARE	VB1 = 'CAROMA' "CARBONI II" SEMI RECESSED BASIN - WHITE	GR3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM	GR4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL		
		VB2 = 'CAROMA' "CUBE" L OR R HAND SHELF WALL BASIN - with chrome bottle trap	GR5 = VIRTU COMFORT GRAB RAIL 300mm	GR6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL		
		VB3 = 'CAROMA' "URBANE 11" WALL BASIN - WHITE	GR7 = VIRTU COMFORT GRAB 800mm	GR8 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL		
		MTC = 'BILLI' tea tap -CHROME	TB = CAROMA COSMO TOILET BRUSH + HOLDER	TRH = NAPOLEON TOILET ROLL HOLDER - chrome		
		MT1 = 'CAROMA' "FLICKMIXER" basin mixer -CHROME				
		MT2 = 'CAROMA' "FLICKMIXER" sink mixer -CHROME				
		MT3 = 'CAROMA' "G SERIES" sink hob set - CHROME				
	MT4 = 'CAROMA' "G SERIES" u/s exp sink set - CHROME					
	MT5 = '3 MONKEES' hob mounted pre rinse set - CHROME					
	MTA = 'CAROMA' " CARE PLUS BASIN MIXER -CHROME					

TOILET	WC1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP
HAND DRYER SOAP DISPENSER	WC2 = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
NOTES	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
	SD = SOAP DISPENSER BY OWNER
	ALL PARTICLEBOARD TO BE WATERPROOF

FITTINGS + FITTING KITCHENS	SINK	SK1: 'CLARK' "ADVANCE" single centre bowl with tap to LHS
	SINK/ BASIN TAPWARE	SK2: 'STYLUS' R110 single bowl
	MAIN OVEN	SK3: DOUBLE BOWL INTERGRAL WITH SS BENCH
	OTHER OVEN	MTC = 'BILLI' tea tap -CHROME
	HOT PLATE	MT1 = 'CAROMA' "FLICKMIXER" basin mixer -CHROME
	RANGE HOOD	MT2 = 'CAROMA' "FLICKMIXER" sink mixer -CHROME
	DISH WASH	OV1: AEG 60cm STEAMBAKE multi-function OVEN SS BEK45610M
	FRIDGE	OV2: MICROWAVE BY OWNER leave space
	FREEZER	CT1: NA
	NOTES	RH1: N/A
	AB: above bench dishwasher supplied by owner	
	UB: below bench dishwasher supplied by owner	
	FR: supplied by owner	
	FZ: supplied by owner	

FINISHES (JOINERY)	BENCHTOP	BT1 = 20MM 'STARON' "TERRAZZO COMO FT191" - (4mm RADIUS PENCIL ROUND)
	WALL	BT2 = 20MM 'STARON' "TERRAZZO VENEZIA NT150" - (4mm RADIUS PENCIL ROUND)
	DOOR/ DRAWER FRONTS	BT3 = STAINLESS STEEL SUPPLIER BY OWNER
	KICKER:	F1 = SELECTED WALL COLOUR
		CF1 = EGGER "ANTHRACITE SHERMAN OAK" H1346 ST32 with matching colour edge band - end grain
		CF2 = EGGER "ALPINE WHITE" W1100PT topmatt with matching colour edge band
		CF3 = CEILING COLOUR
		K1 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
		K2 = KICKER TO MATCH CABINETS F2
		K3 = SELECTED BLACK FINISH

WALL FINISH:	TWA= TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob
HANDLES:	TWB= TMF3071 - 300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob
HINGES:	TWC= TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob
DRAWER BOXES:	DD1= CASTELLA GALLANT SATIN STAINLESS STEEL
	DD2= to be selected
	DD3= bottom overhang overhanging door
	DD4= provide extra over for PUSH TO OPEN TOUCH catches
	P1 = SOFT CLOSE
	D1 = SOFT CLOSE

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT3	BENCHTOP 3
FR	FRIDGE LOCATION
FZ	FREEZER LOCATION

KEYNOTES LEGEND	
ITEM	DESCRIPTION
MT3	MIXER TAP 3
MT5	MIXER TAP 5
SK	SINK LOCATION



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PROPOSED COMMUNITY PROJECT

at 150 OCEANVIEW DRIVE SEASIDE

for COMMUNITY PTY LTD

KITCHEN PLAN REFRESHMENT

WORKING DRAWINGS

Scale at A3 AS INDICATED

Designed MDW

Drawn MDW

Checked MDW

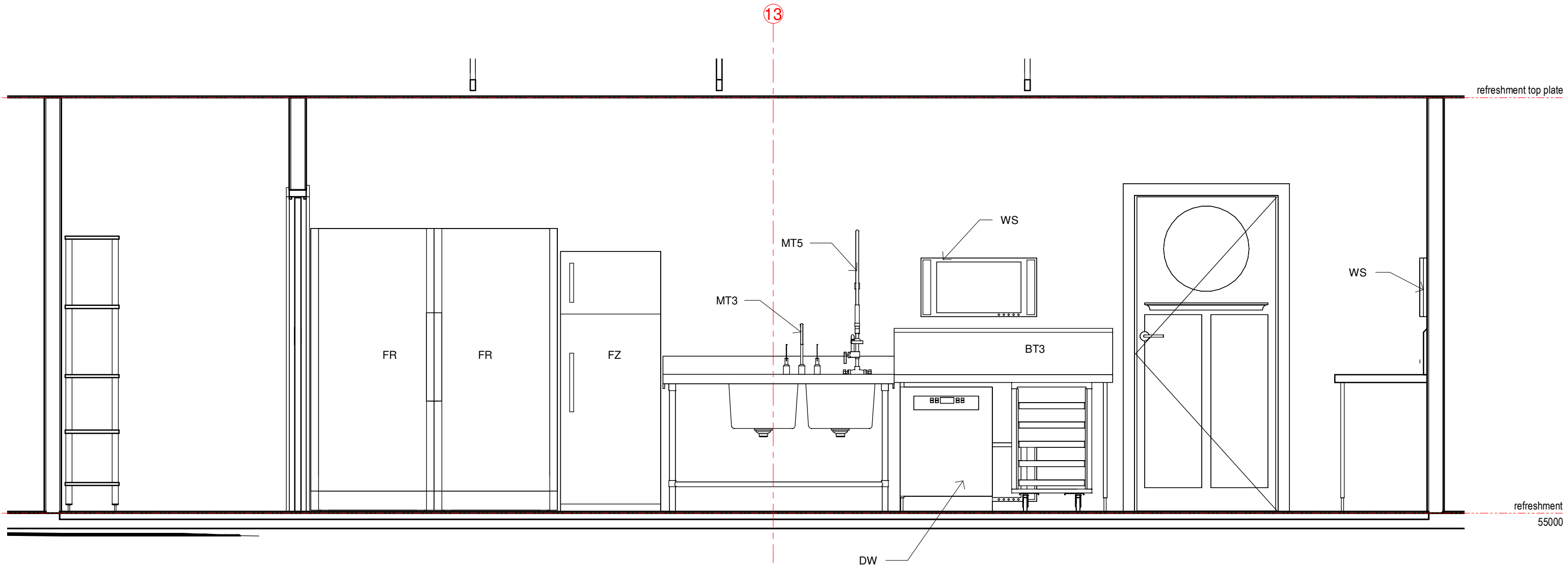
Job No #10122

Dwg No 930KPI

Issue WD32

SHEET 1 OF 36

Issue	Date	Issue Description	Rev	Date	Revision Description



K1 kitchen elevation 1
 930KP1 1 : 25

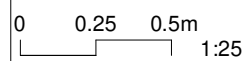
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT3	BENCHTOP 3
DW	DISHWASHER LOCATION
FR	FRIDGE LOCATION
FZ	FREEZER LOCATION
MT3	MIXER TAP 3
MT5	MIXER TAP 5
WS	COMPUTER WORKSTATION

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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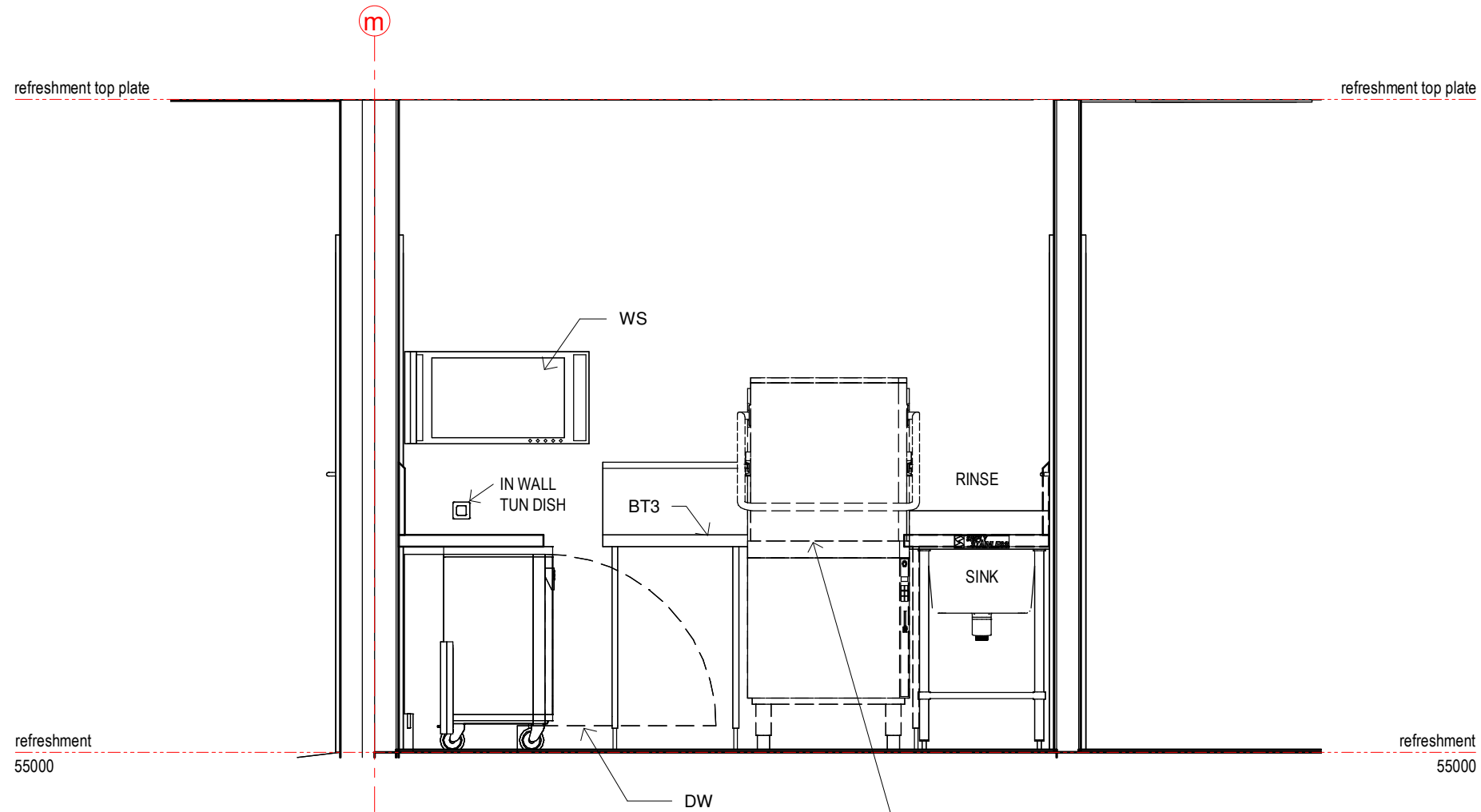


PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

KITCHEN ELEV K1 REFRESHMENT
 WORKING DRAWINGS

Scale at A3
 1 : 25
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 931KE1
 Issue WD32
 SHEET 2 OF 36



K2 kitchen elevation 2
 930KP1 1 : 25

FUTURE PASS THROUGH DISHWASHER

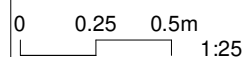
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT3	BENCHTOP 3
DW	DISHWASHER LOCATION
WS	COMPUTER WORKSTATION

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

KITCHEN ELEV K2 REFRESHMENT

WORKING DRAWINGS

Scale at A3
 1 : 25
 Designed MDW
 Drawn MDW
 Checked MDW

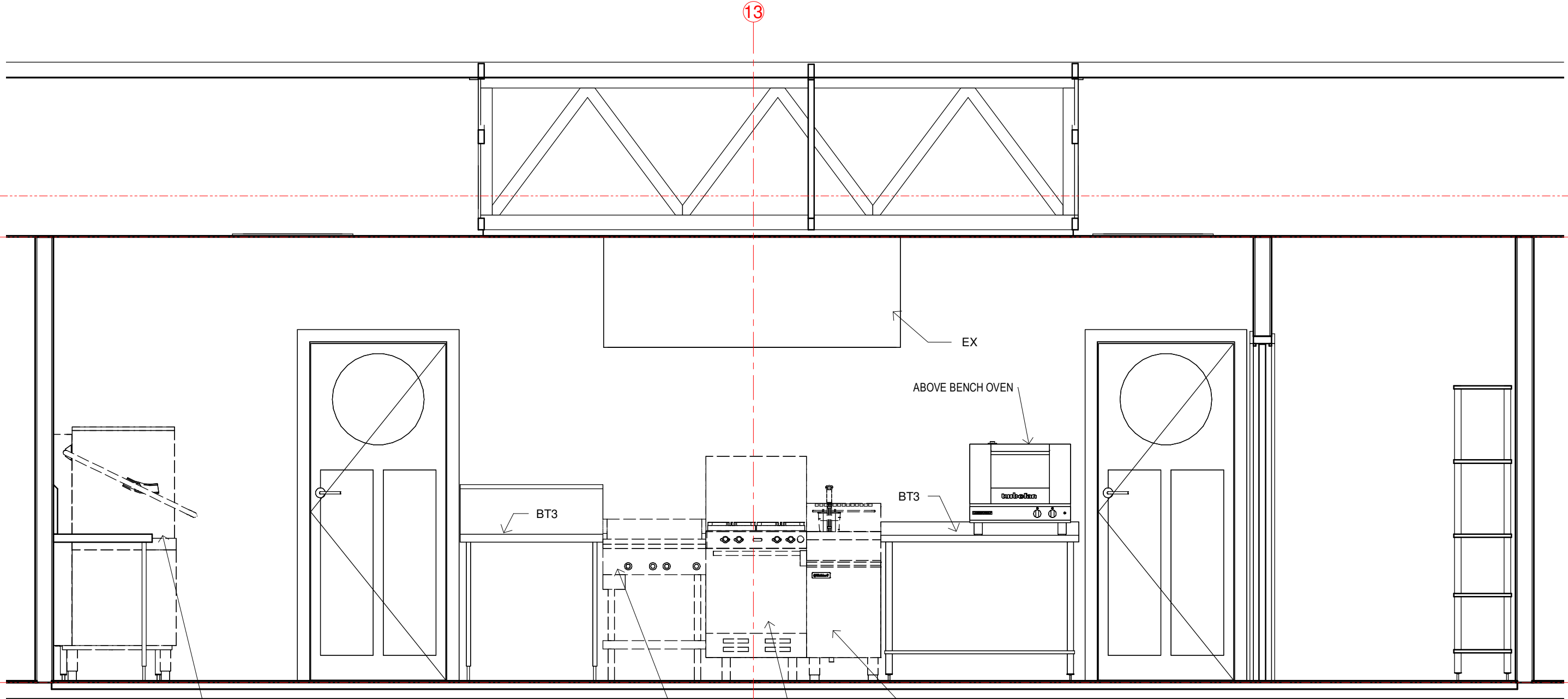
Job No #10122
 Dwg No 932KE1
 Issue WD32
 SHEET 3 OF 36

13

office roof top plate

refreshment top plate

refreshment
55000



FUTURE PASS THROUGH DISHWASHER

FUTURE HOT PLATES

FUTURE COOKER

FUTURE FRYER

EX

ABOVE BENCH OVEN

BT3

BT3

KE3 kitchen elevation 3

930KP1 1 : 25

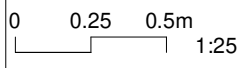
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT3	BENCHTOP 3
EX	OVERHEAD FAN EXTRACTOR VENTED TO OUTSIDE

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

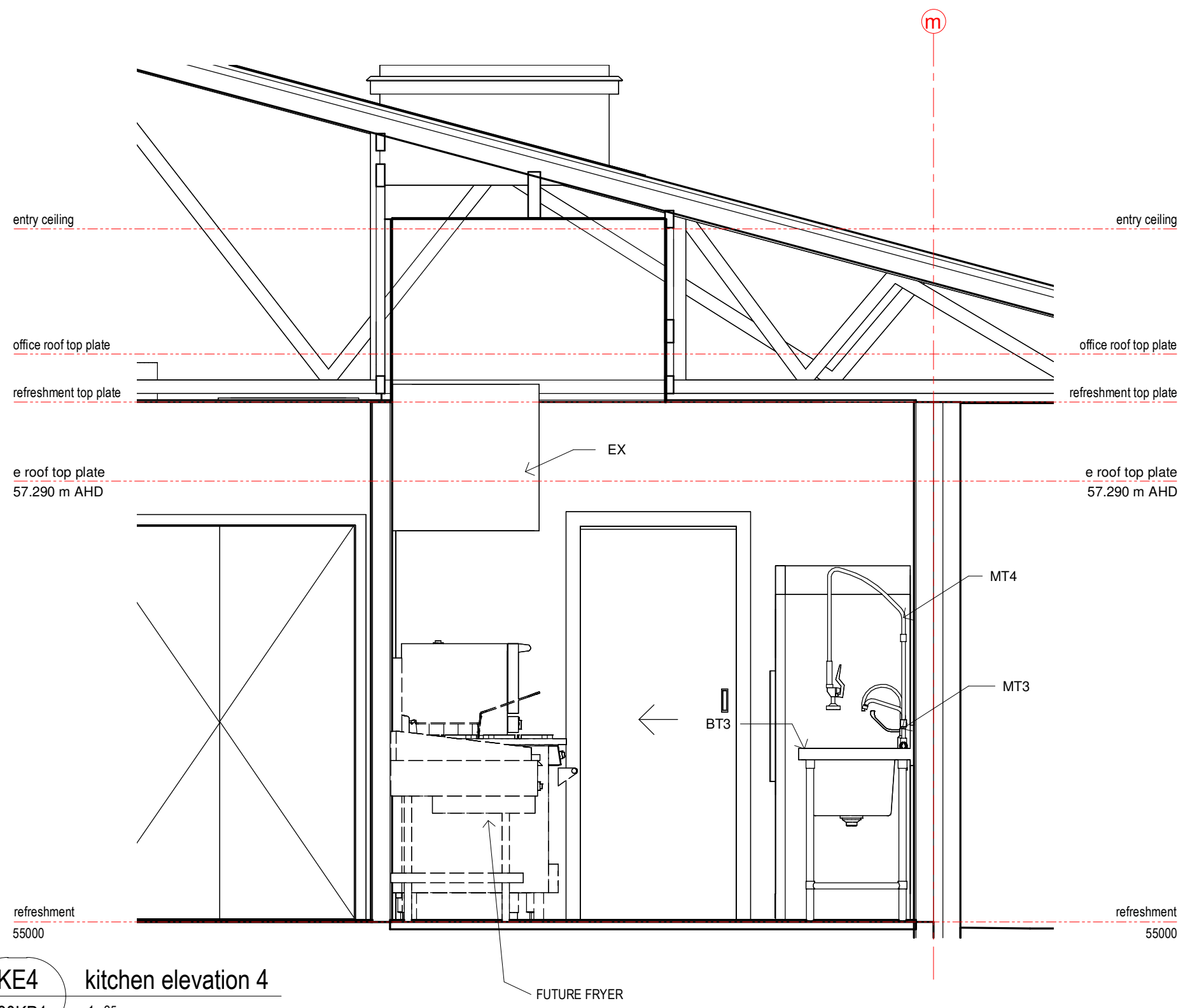
at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

KITCHEN ELEV K3 REFRESHMENT

WORKING DRAWINGS

Scale at A3
1 : 25
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 933KE1
 Issue WD32
 SHEET 4 OF 36



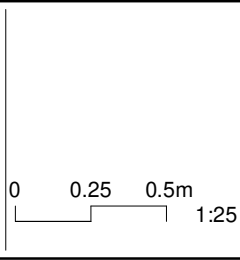
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT3	BENCHTOP 3
EX	OVERHEAD FAN EXTRACTOR VENTED TO OUTSIDE
MT3	MIXER TAP 3
MT4	MIXER TAP 4

KE4 kitchen elevation 4
930KP1 1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

KITCHEN ELEV K4 REFRESHMENT
WORKING DRAWINGS

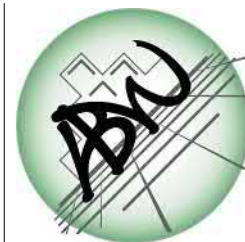
Scale at A3
1 : 25
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 934KE1
Issue WD32
SHEET 5 OF 36



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

at 150 OCEANVIEW DRIVE
SEASIDE

for COMMUNITY PTY LTD

**KITCHEN AXONOMETRIC
KAI REFRESHMENT**

WORKING DRAWINGS

Scale at A3

Designed
MDW
 Drawn
MDW
 Checked
MDW

Job No
#10122

Dwg No
931PDI

Issue
WD32

SHEET 6 OF 36



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

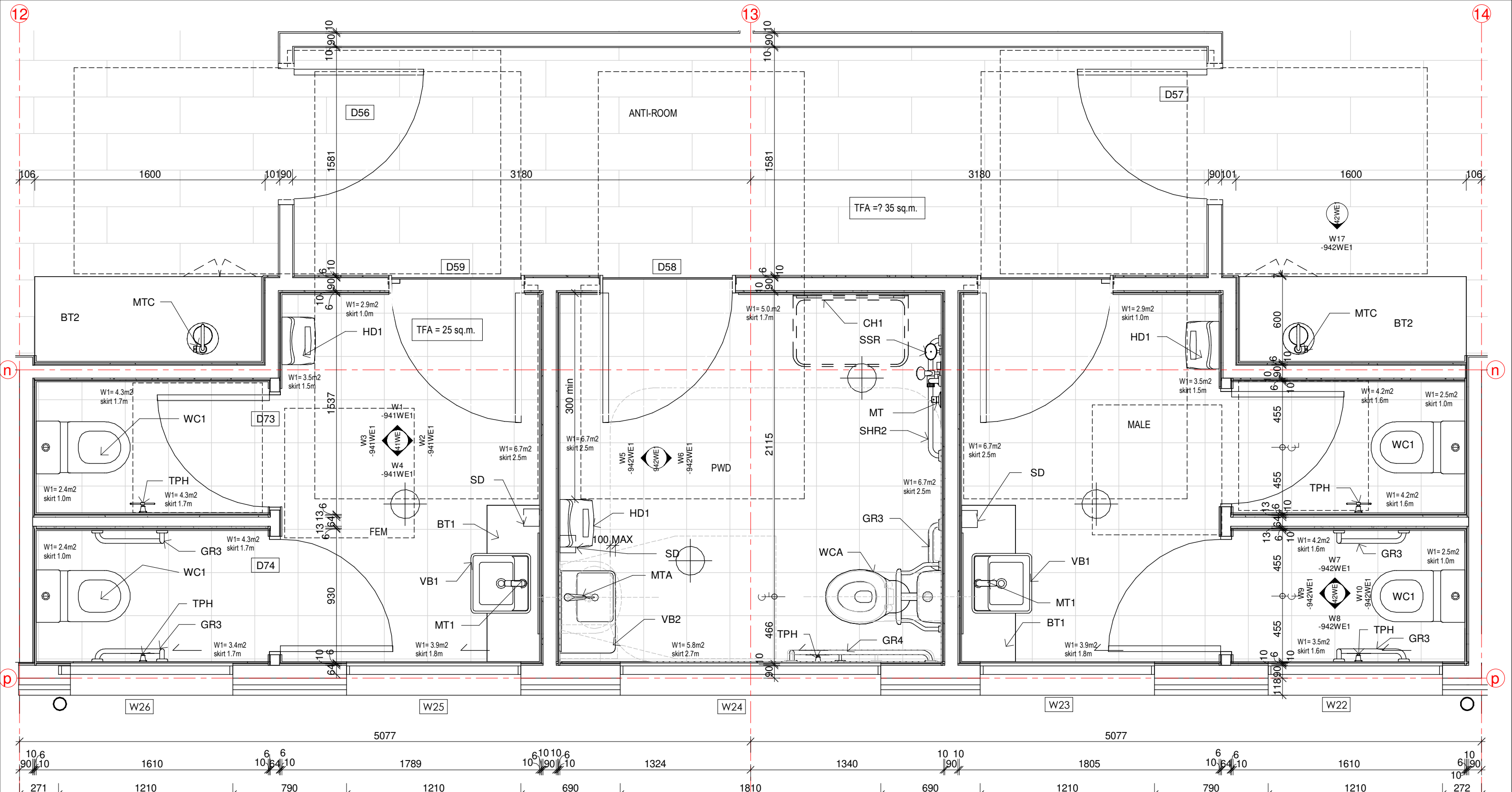
at 150 OCEANVIEW DRIVE
SEASIDE
for COMMUNITY PTY LTD

**KITCHEN AXONOMETRIC
KA2 REFRESHMENT**

WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#10722
 Dwg No
938PDI
 Issue
WD32



KEYNOTES LEGEND

ITEM	DESCRIPTION
BT1	BENCHTOP 1
BT2	BENCHTOP 2
CH1	CHANGE BENCH
GR3	GRAB RAIL 3
GR4	GRAB RAIL 4
HD1	HAND DRYER 1

KEYNOTES LEGEND

ITEM	DESCRIPTION
MT	MIXER TAP
MT1	MIXER TAP 1
MTA	MIXER TAP ACCESSIBLE
SD	SOAP DISPENSER
SHR2	SHOWER RAIL 2

KEYNOTES LEGEND

ITEM	DESCRIPTION
SSR	SHOWER SHELF
TPH	TOILET PAPER HOLDER
VB1	VANITY BASIN 1
VB2	VANITY BASIN 2
WC1	WATER CLOSET 1
WCA	WATER CLOSET (TOILET) ACCESSIBLE

NOTE: REFER TO SCHEDULES ON 941WE1 FOR FINISHES FIXTURES AND FITTINGS

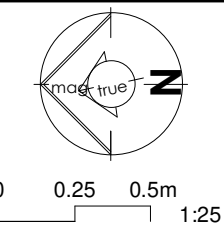
NOTE: AMBULANT AND PWD WC TO COMPLY WITH AS1428 SO WALLS MAY NEED TO BE PACKED OUT

WA2 AMENITIES refreshment
112FP1 1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

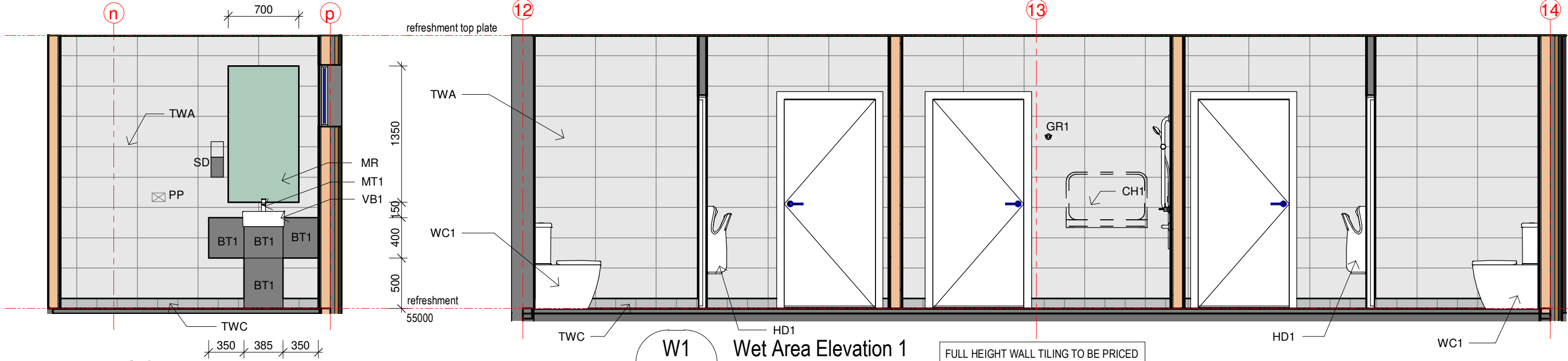
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PROPOSED COMMUNITY PROJECT
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WET AMENITIES PLAN REFRESHMENT
WORKING DRAWINGS

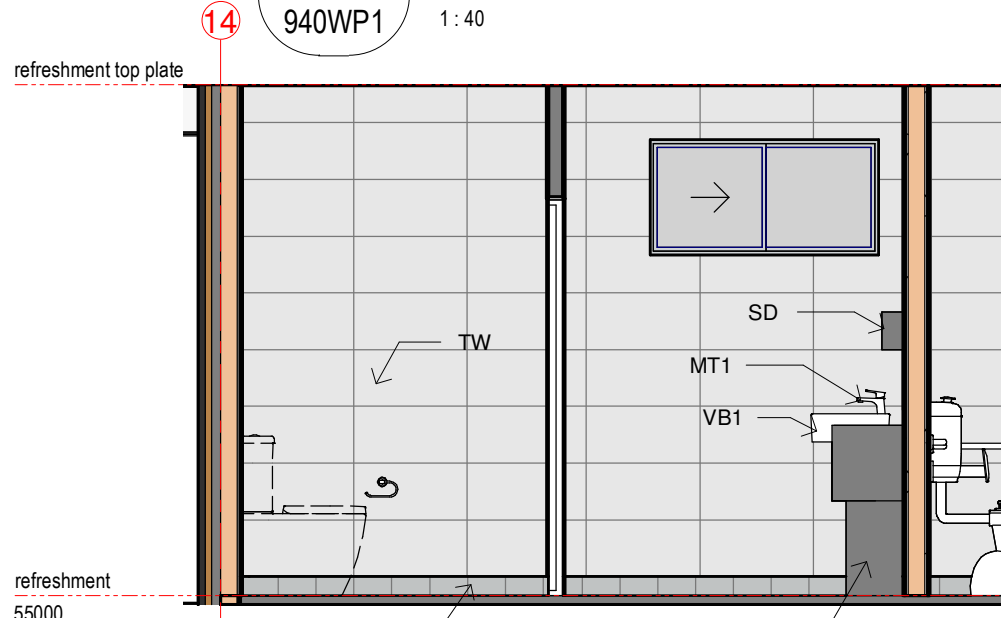
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Drawn MDW
Checked MDW
Job No #10122
Dwg No 940WPI
Issue WD32
SHEET 8 OF 36



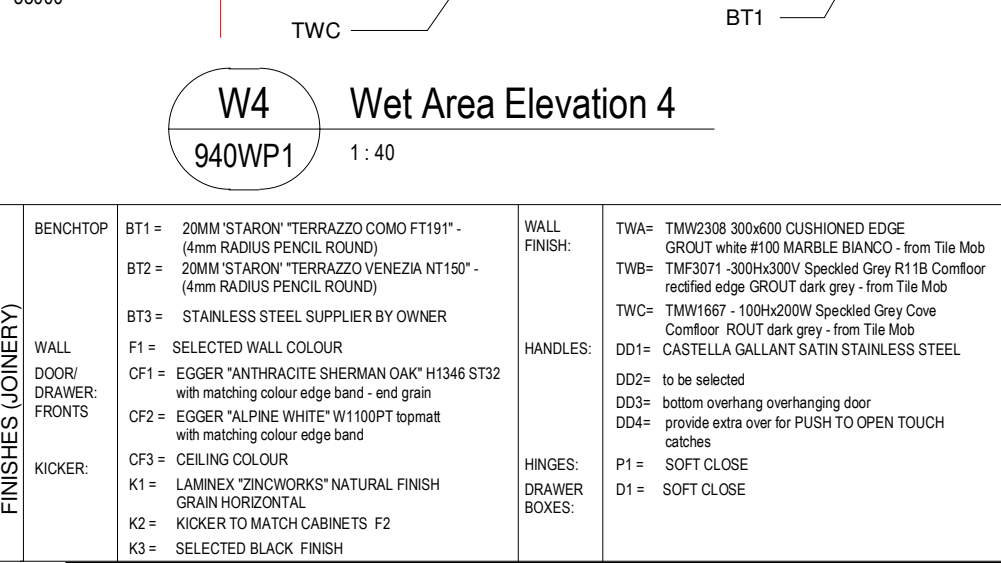
W1
940WP1
Wet Area Elevation 1
1:40

FULL HEIGHT WALL TILING TO BE PRICED SEPARATELY AS A SAVING OPTION IN CONTRACT - REFER SPECIFICATION

W2
940WP1
Wet Area Elevation 2
1:40



W4
940WP1
Wet Area Elevation 4
1:40

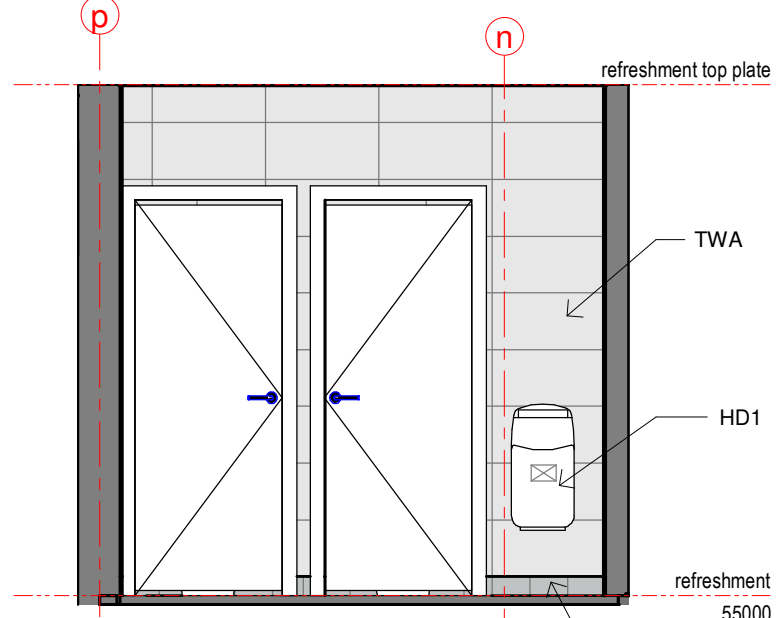


KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT1	BENCHTOP 1
CH1	CHANGE BENCH
GR1	GRAB RAIL 1
HD1	HAND DRYER 1
MR	MIRROR
MT1	MIXER TAP 1
MTA	MIXER TAP ACCESSIBLE
PP	POWER POINT
SD	SOAP DISPENSER
TW	TILES (wall) AS SELECTED
TWA	TILES (wall) TYPE A
TWC	TILES (wall) TYPE C
VB1	VANITY BASIN 1
VB2	VANITY BASIN 2
WC1	WATER CLOSET 1

JD1
975JD1

FITTINGS + FIXTURES - WET ROOMS	
SHOWER ROSES	MT = 'CAROMA' "CARE PLUS" SHOWER/BATH WALL MIXER - CHROME
SHOWER RAILS	SHR1 = 'URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME
VANITY BASIN	SHR2 = 'CAROMA' PLUS STARSAFE II ACCESSIBLE SHOWER SET
SINK/ BASIN TAPWARE	VB1 = 'CAROMA' "CARBONII" SEMI RECESSED BASIN - WHITE
	VB2 = 'CAROMA' "CUBE" L OR R HAND SHELF WALL BASIN - with chrome bottle trap
	VB3 = 'CAROMA' "URBANE" 1" WALL BASIN - WHITE
	MTC = 'BILLI' tea tap - CHROME
	MT1 = 'CAROMA' "FLICKMIXER" basin mixer - CHROME
	MT2 = 'CAROMA' "FLICKMIXER" sink mixer - CHROME
	MT3 = 'CAROMA' "G SERIES" sink hob set - CHROME
	MT4 = 'CAROMA' "G SERIES" u/s exp sink set - CHROME
	MT5 = '3 MONKEES' hob mounted pre rinse set - CHROME
	MTA = 'CAROMA' "CARE PLUS" BASIN MIXER - CHROME
TOWEL RAILS	R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome
ROBE HOOKS GRAB RAILS	RH = NAPOLEON ROBE HOOK - chrome
	GR1 = NAPOLEON ROBE HOOK
	GR2 = VIRTU COMFORT GRAB RAIL 870X700mm 90°
	GR3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM
	GR4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL
	GR5 = VIRTU COMFORT GRAB RAIL 300mm
	GR6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL
	GR7 = VIRTU COMFORT GRAB 800mm
TOILET BRUSH TOILET ROLL HOLDER	TB = CAROMA COSMO TOILET BRUSH + HOLDER
	TRH = NAPOLEON TOILET ROLL HOLDER - chrome
TOILET	WC1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP
HAND DRYER SOAP DISPENSER	WCA = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
NOTES	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
	SD = SOAP DISPENSER BY OWNER
	ALL PARTICLEBOARD TO BE WATERPROOF

W3
940WP1
Wet Area Elevation 3
1:40



CONSTRUCTION SET

FINISHES (JOINERY)	
BENCHTOP	BT1 = 20MM 'STARON' "TERRAZZO COMO FT191" - (4mm RADIUS PENCIL ROUND)
	BT2 = 20MM 'STARON' "TERRAZZO VENEZIA NT150" - (4mm RADIUS PENCIL ROUND)
	BT3 = STAINLESS STEEL SUPPLIER BY OWNER
WALL DOOR/ DRAWER FRONTS	F1 = SELECTED WALL COLOUR
	CF1 = EGGER "ANTHRACITE SHERMAN OAK" H1346 ST32 with matching colour edge band - end grain
	CF2 = EGGER "ALPINE WHITE" W1100PT topmatt with matching colour edge band
KICKER:	CF3 = CEILING COLOUR
	K1 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL
	K2 = KICKER TO MATCH CABINETS F2
	K3 = SELECTED BLACK FINISH
WALL FINISH:	TWA = TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob
	TWB = TMF3071 - 300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob
	TWC = TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob
HANDLES:	DD1 = CASTELLA GALLANT SATIN STAINLESS STEEL
	DD2 = to be selected
	DD3 = bottom overhang overhanging door
	DD4 = provide extra over for PUSH TO OPEN TOUCH catches
HINGES:	P1 = SOFT CLOSE
DRAWER BOXES:	D1 = SOFT CLOSE

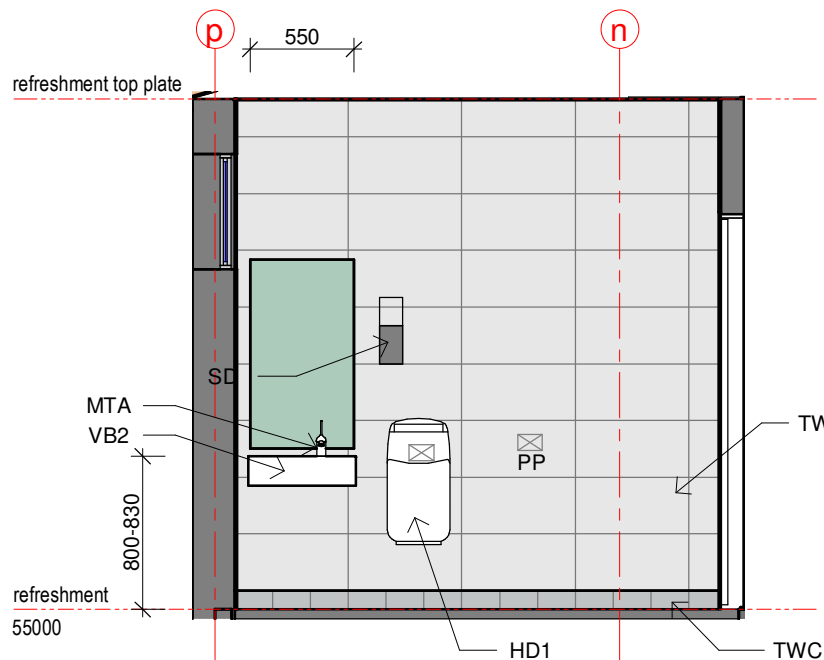
Issue	Date	Issue Description	Rev	Date	Revision Description

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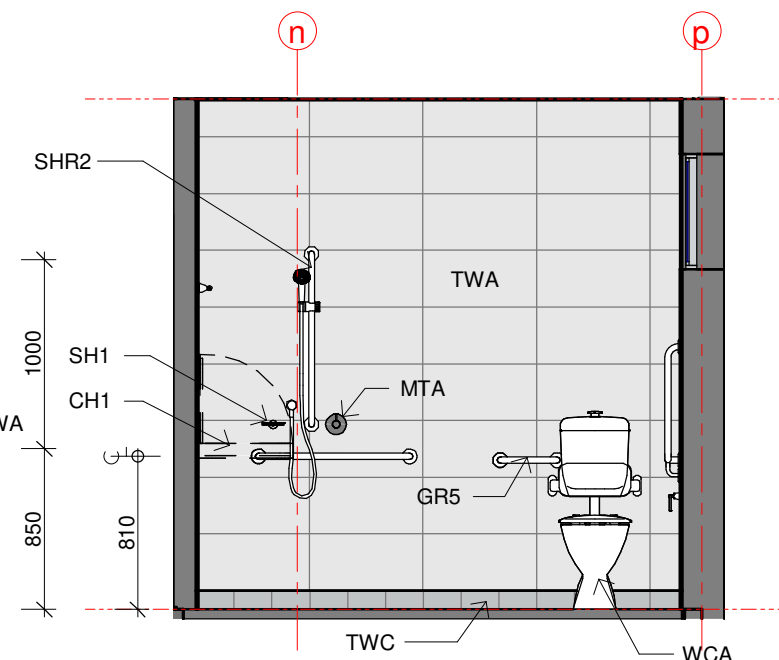
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

REFRESHMENT WET AREA ELEV W1+W2+W3+W4
WORKING DRAWINGS

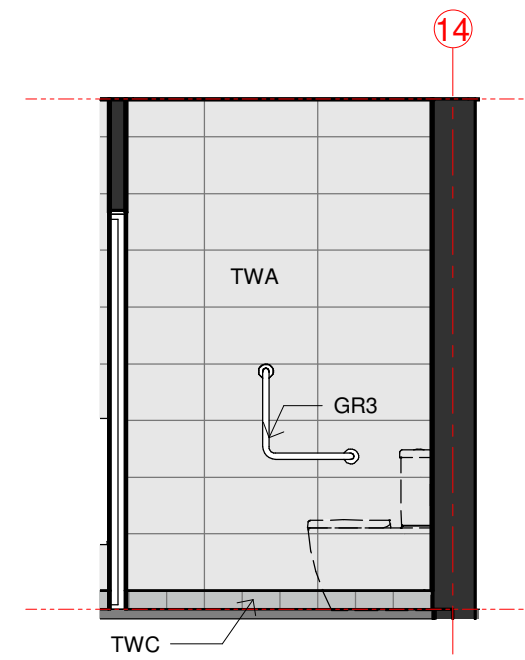
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Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 941WE1
Issue WD32
SHEET 9 OF 36



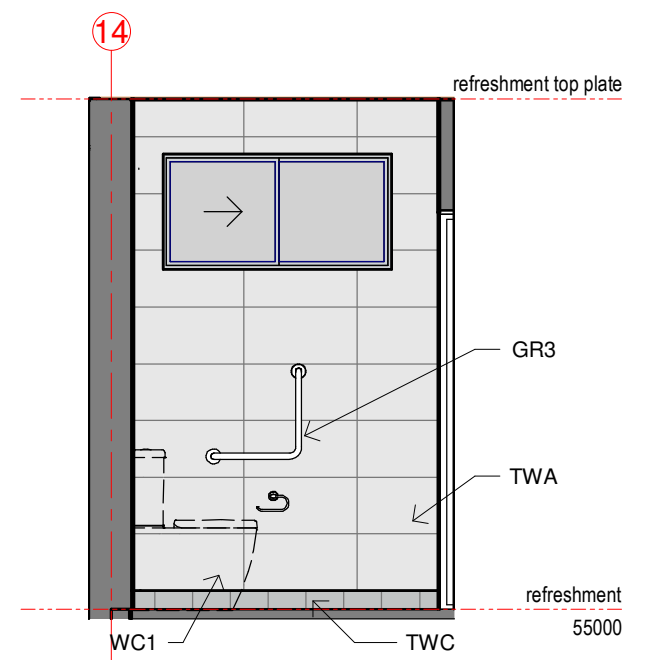
W5 Wet Area Elevation 5
940WP1 1:40



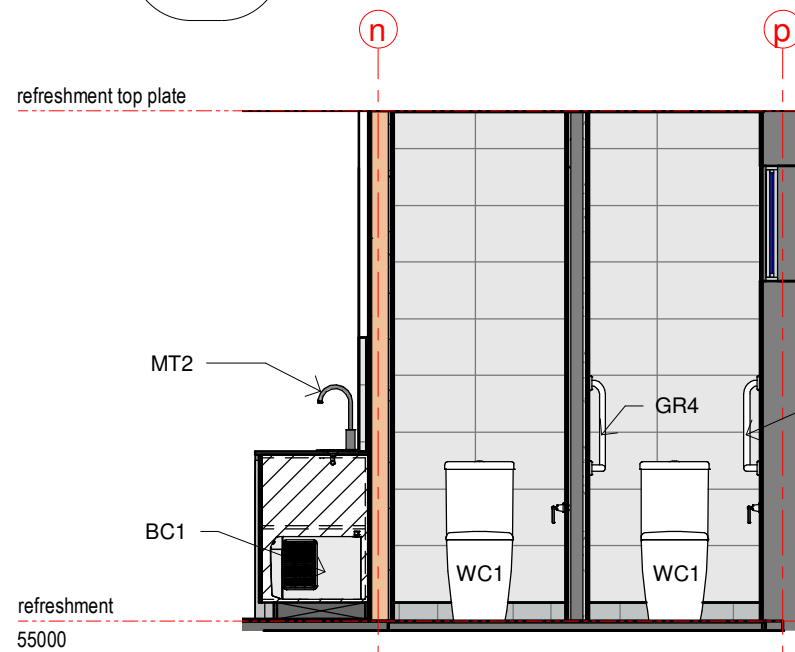
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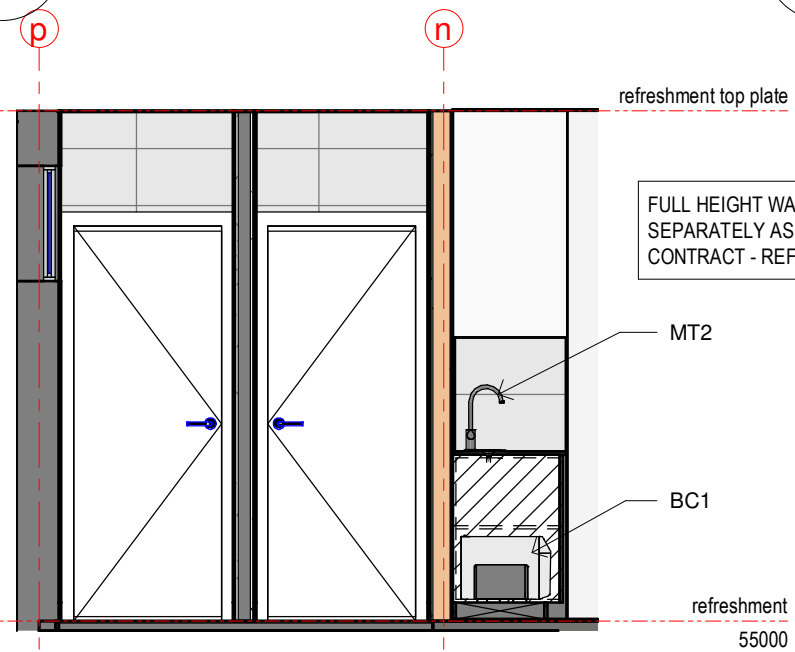
W7 Wet Area Elevation 7
940WP1 1:40



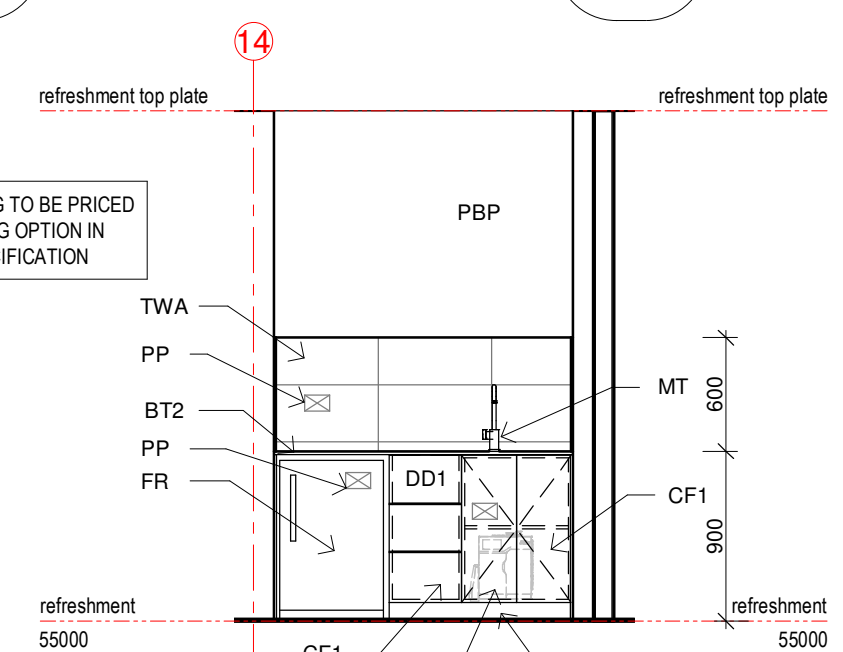
W8 Wet Area Elevation 8
940WP1 1:40



W10 Wet Area Elevation 10
940WP1 1:40



W9 Wet Area Elevation 9
940WP1 1:40



W17 Wet Area Elevation 17
940WP1 1:40

KEYNOTES LEGEND

ITEM	DESCRIPTION
BC1	BOILER CHILLER UNIT 1
BT2	BENCHTOP 2
CF1	CABINET FRONT 1
CH1	CHANGE BENCH
DD1	DOOR/DRAWER HANDLE 1
FR	FRIDGE LOCATION
GR3	GRAB RAIL 3

KEYNOTES LEGEND

ITEM	DESCRIPTION
GR4	GRAB RAIL 4
GR5	GRAB RAIL 5
HD1	HAND DRYER 1
KB1	KICKBOARD 1
MT	MIXER TAP
MT2	MIXER TAP 2
MTA	MIXER TAP ACCESSIBLE

KEYNOTES LEGEND

ITEM	DESCRIPTION
PBP	10mm PLASTERBOARD PAINTED AS SELECTED
PP	POWER POINT
SD	SOAP DISPENSER
SH1	SHELF
SHR2	SHOWER RAIL 2
TWA	TILES (wall) TYPE A

KEYNOTES LEGEND

ITEM	DESCRIPTION
TWC	TILES (wall) TYPE C
VB2	VANITY BASIN 2
WC1	WATER CLOSET 1
WCA	WATER CLOSET (TOILET) ACCESSIBLE

NOTE: REFER TO SCHEDULES ON 941WE1 FOR FINISHES FIXTURES AND FITTINGS

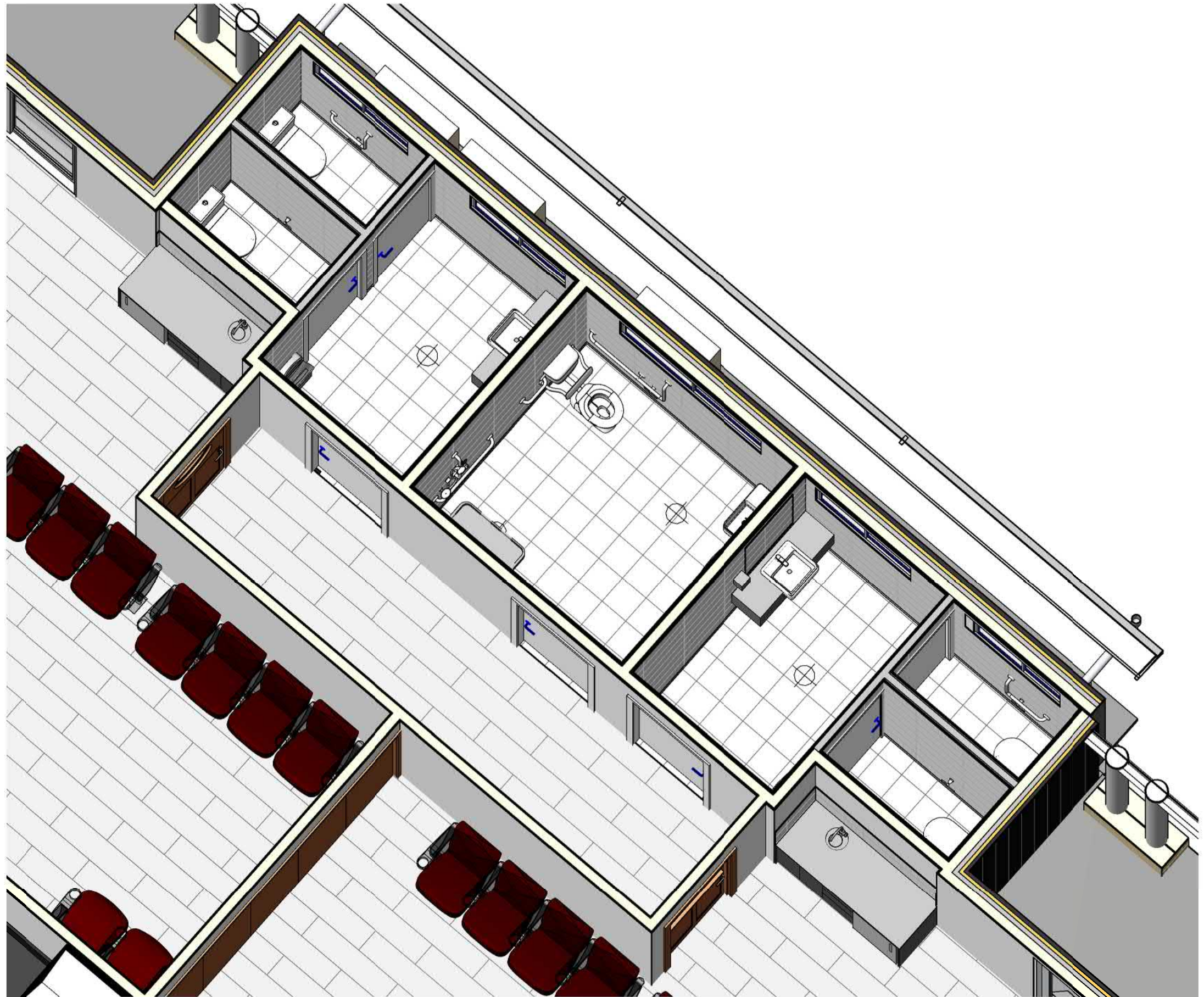
CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

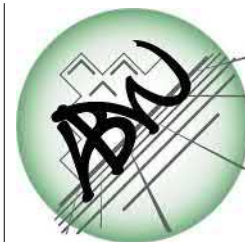
REFRESHMENT WET AREA ELEV W5-W10+W17
WORKING DRAWINGS

Scale at A3 1:40
Job No #10122
Dwg No 942WE1
Issue WD32
SHEET 10 OF 36



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

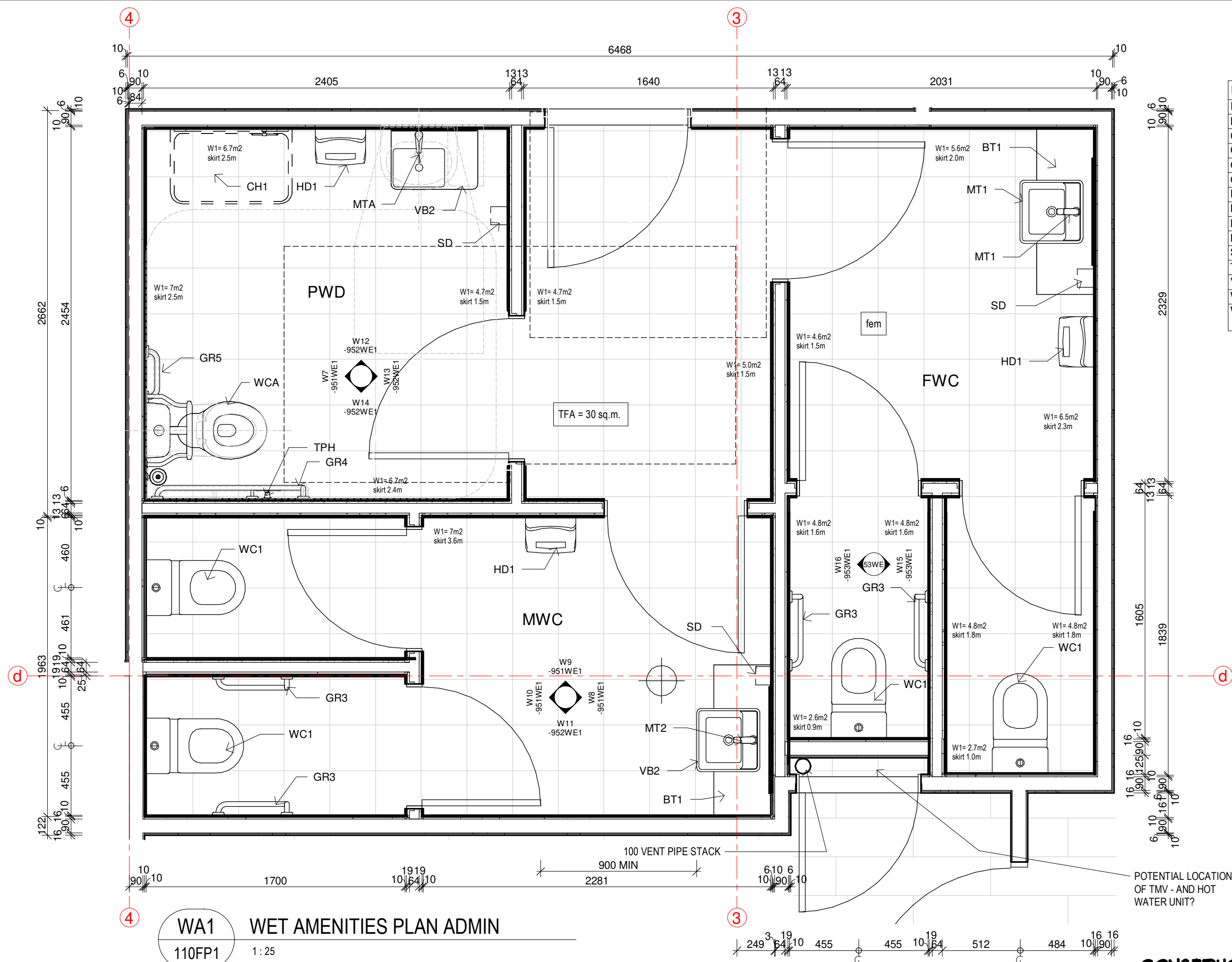
at 150 OCEANVIEW DRIVE
SEASIDE
for COMMUNITY PTY LTD

**REFRESHMENT WET
AREA AXONOMETRIC**

WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#10122
 Dwg No
945PDI
 Issue
WD32
 SHEET 11 OF 36



KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT1	BENCHTOP 1
CH1	CHANGE BENCH
GR3	GRAB RAIL 3
GR4	GRAB RAIL 4
GR5	GRAB RAIL 5
HD1	HAND DRYER 1
MT1	MIXER TAP 1
MT2	MIXER TAP 2
MTA	MIXER TAP ACCESSIBLE
SD	SOAP DISPENSER
TPH	TOILET PAPER HOLDER
VB2	VANITY BASIN 2
WC1	WATER CLOSET 1
WCA	WATER CLOSET (TOILET) ACCESSIBLE

NOTE: AMBULANT AND PWD WC TO COMPLY WITH AS1428 SO WALLS MAY NEED TO BE PACKED OUT

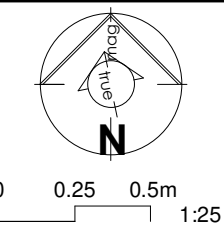
NOTE: REFER TO SCHEDULES ON 953WE1 FOR FINISHES FIXTURES AND FITTINGS

WA1
110FP1
WET AMENITIES PLAN ADMIN
1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

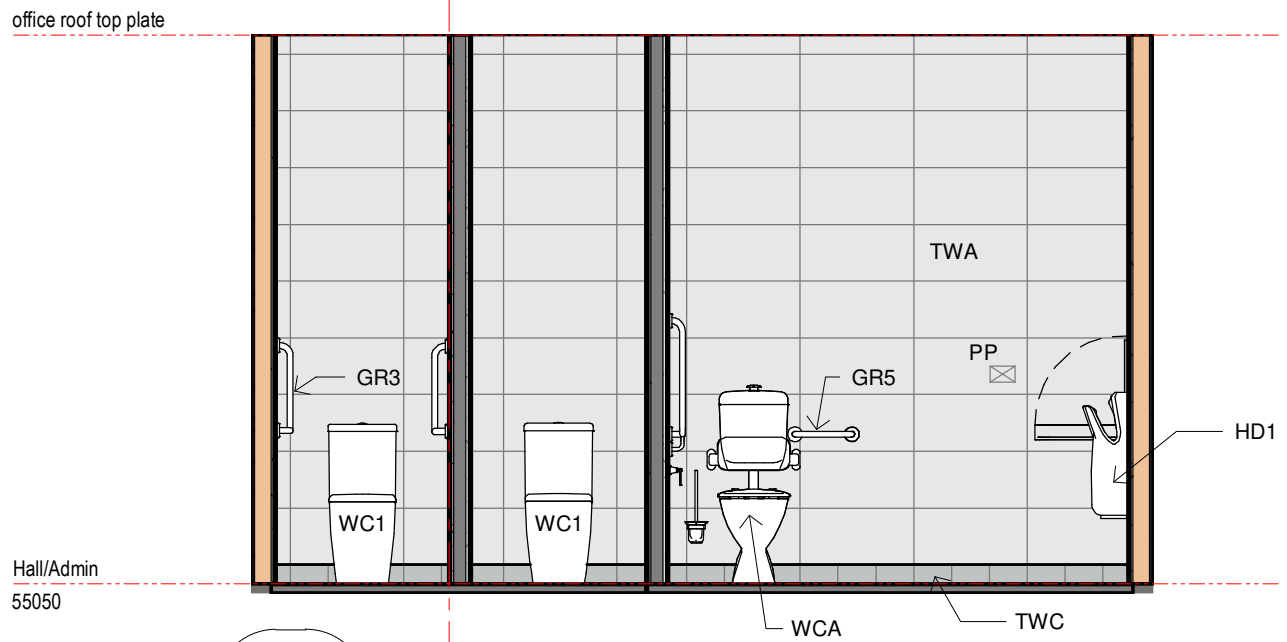
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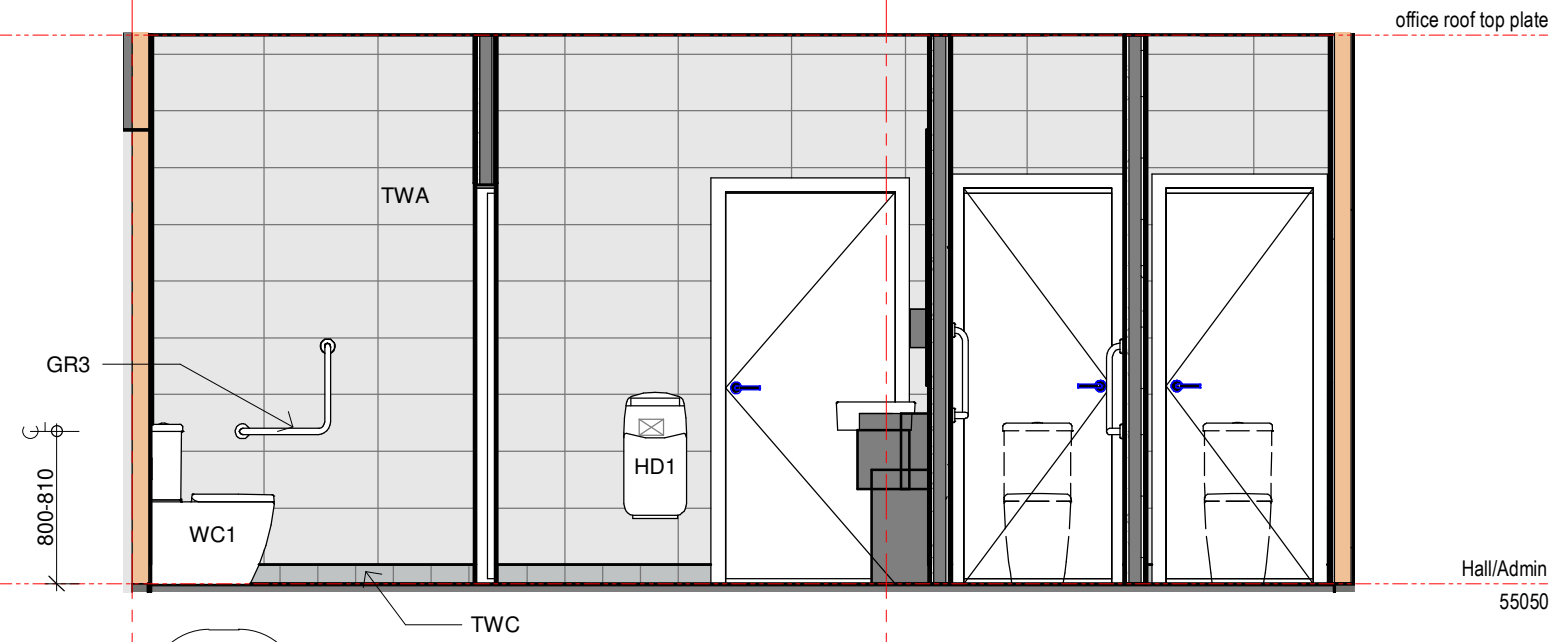
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

WET AMENITIES PLAN ADMINISTRATION
WORKING DRAWINGS

Scale at A3 1:25	Job No #10122
Designed MDW	Dwg No 950WPI
Drawn MDW	Issue WD32
Checked MDW	SHEET 12 OF 36

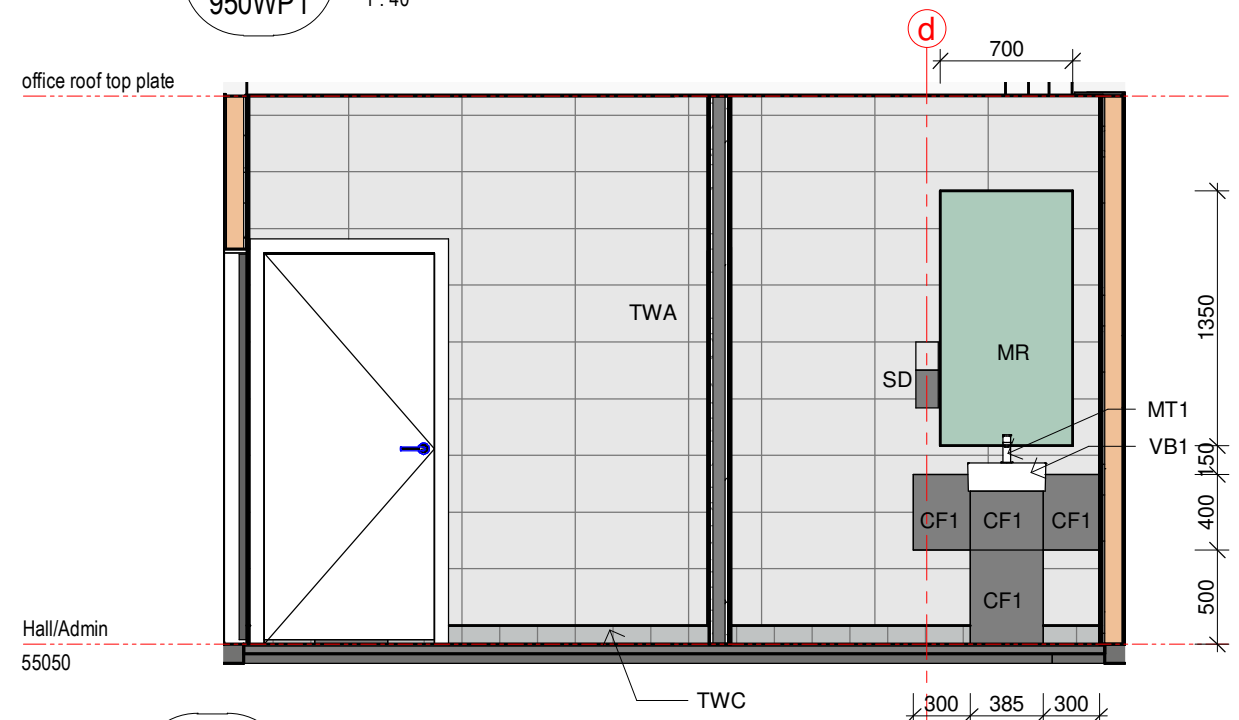


W7 Wet Area Elev 7
950WP1 1:40

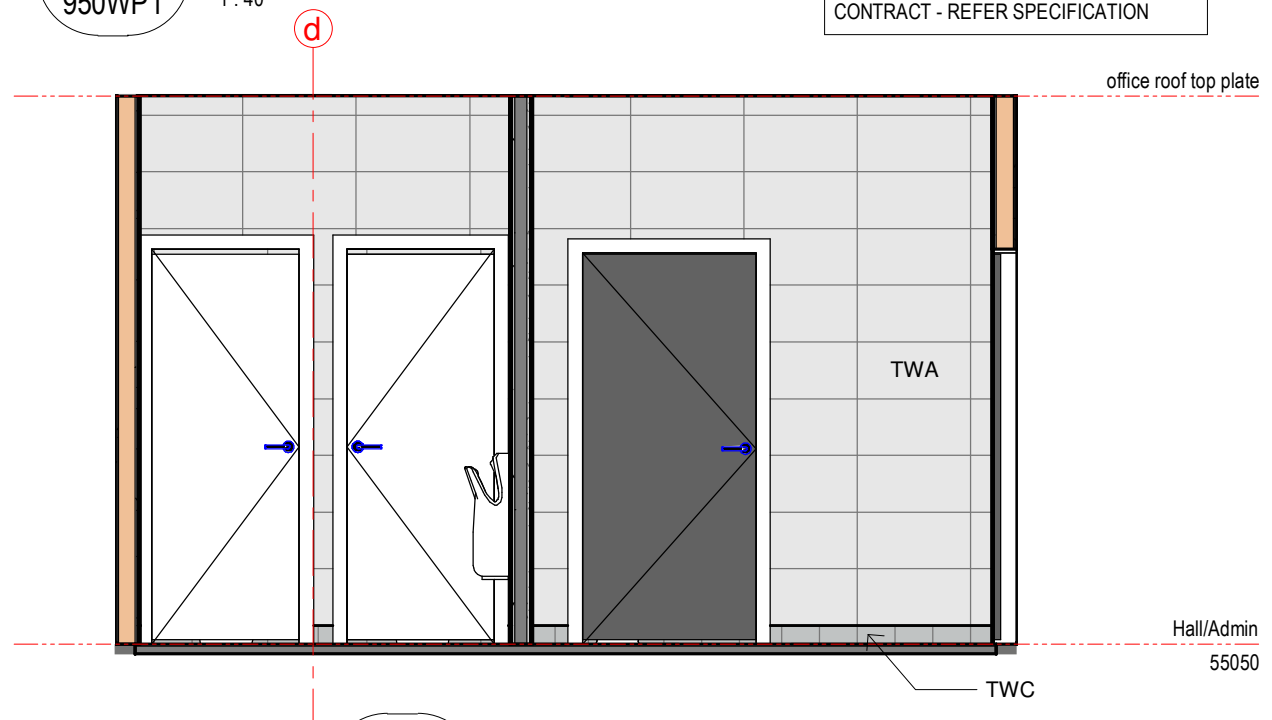


W9 Wet Area Elev 9
950WP1 1:40

FULL HEIGHT WALL TILING TO BE PRICED SEPARATELY AS A SAVING OPTION IN CONTRACT - REFER SPECIFICATION



W8 Wet Area Elev 8
950WP1 1:40



W10 Wet Area Elev 10
950WP1 1:40

NOTE: REFER TO SCHEDULES ON 953WE1 FOR FINISHES FIXTURES AND FITTINGS

KEYNOTES LEGEND	
ITEM	DESCRIPTION
CF1	CABINET FRONT 1
GR3	GRAB RAIL 3
GR5	GRAB RAIL 5
HD1	HAND DRYER 1
MR	MIRROR

KEYNOTES LEGEND	
ITEM	DESCRIPTION
MT1	MIXER TAP 1
PP	POWER POINT
SD	SOAP DISPENSER
TWA	TILES (wall) TYPE A
TWC	TILES (wall) TYPE C

KEYNOTES LEGEND	
ITEM	DESCRIPTION
VB1	VANITY BASIN 1
WC1	WATER CLOSET 1
WCA	WATER CLOSET (TOILET) ACCESSIBLE

CONSTRUCTION SET

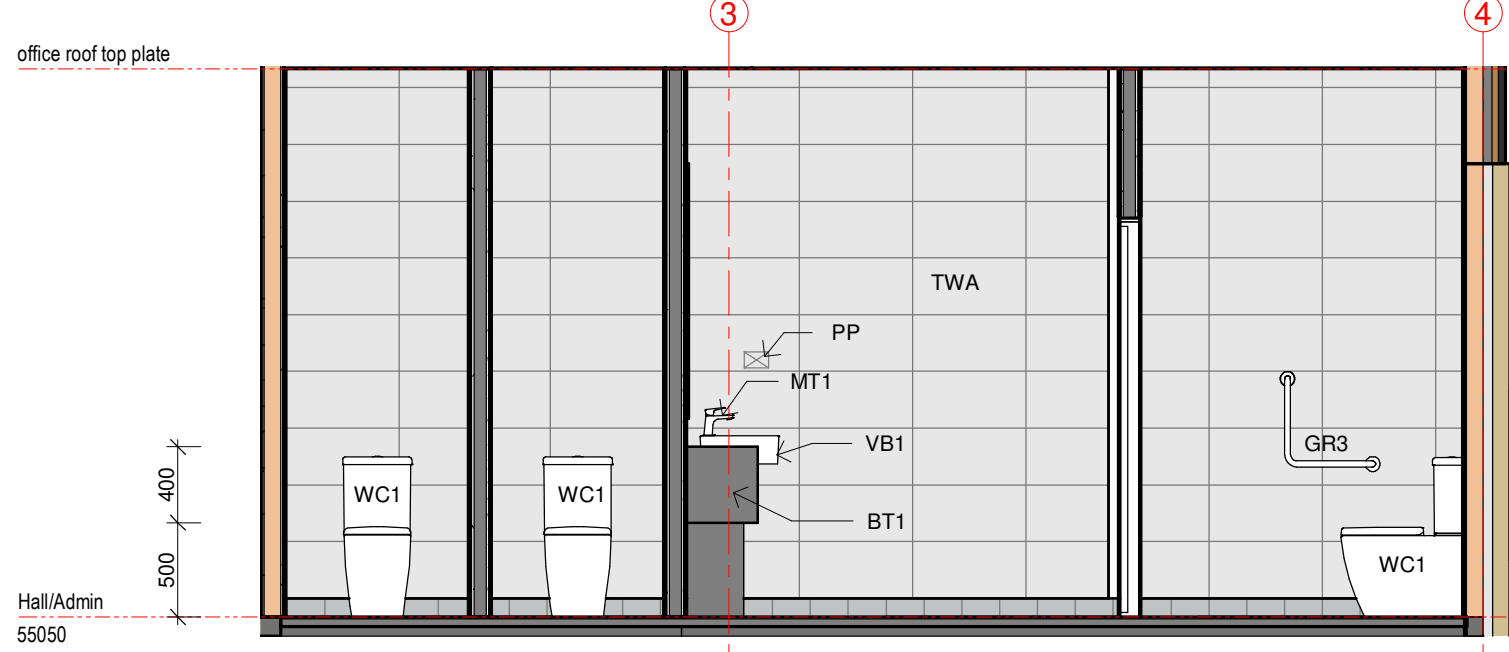
Issue	Date	Issue Description	Rev	Date	Revision Description

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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

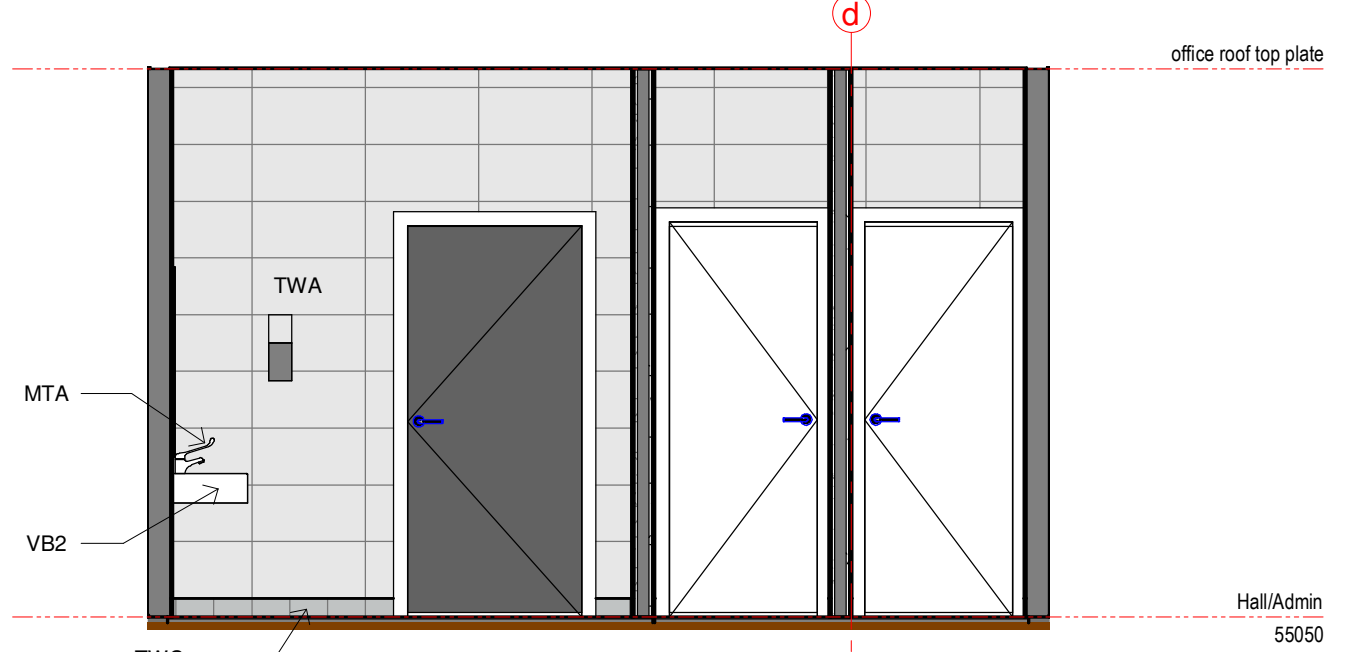
ADMIN WET AREA ELEV W7+W8+W9+W10
WORKING DRAWINGS

Scale at A3
1 : 40
Job No #10122
Designed MDW
Drawn MDW
Checked MDW
Dwg No 951WE1
Issue WD32
SHEET 13 OF 36

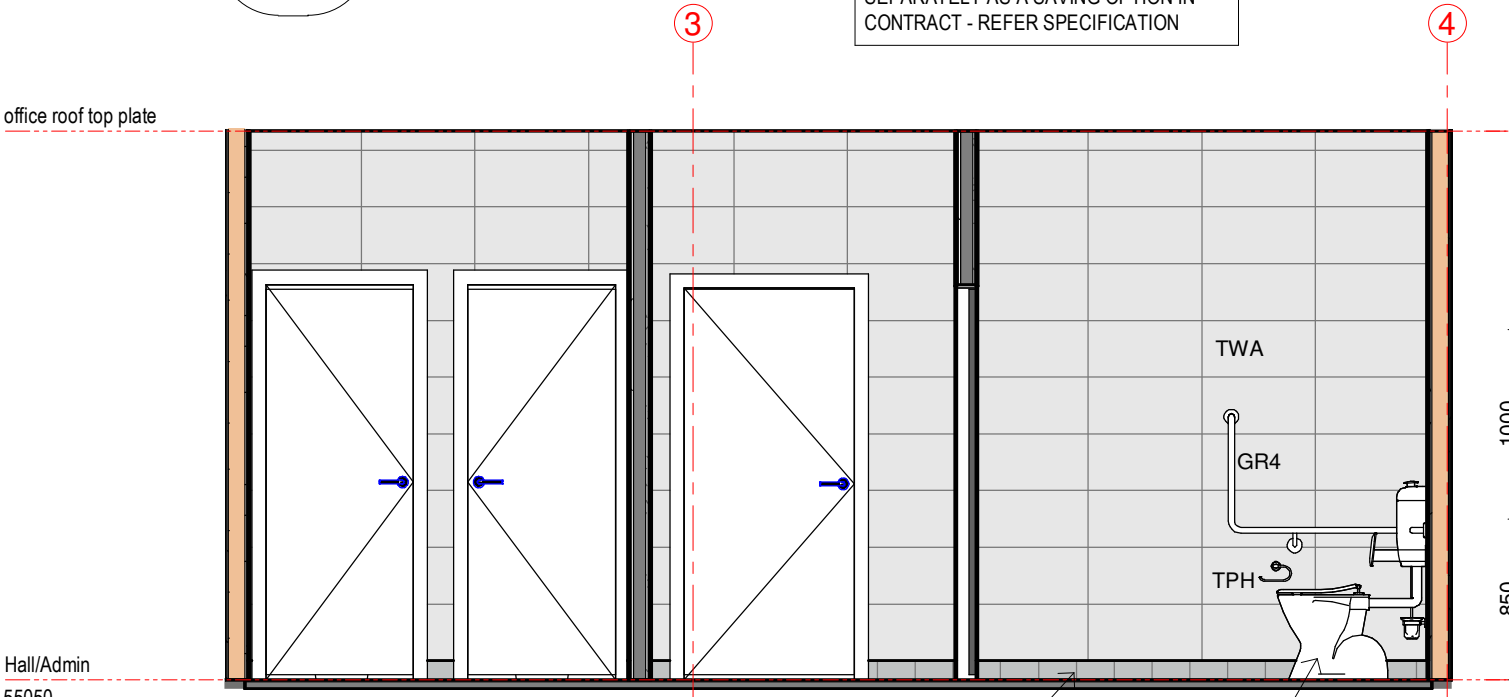


W11 Wet Area Elev 11
950WP1 1:40

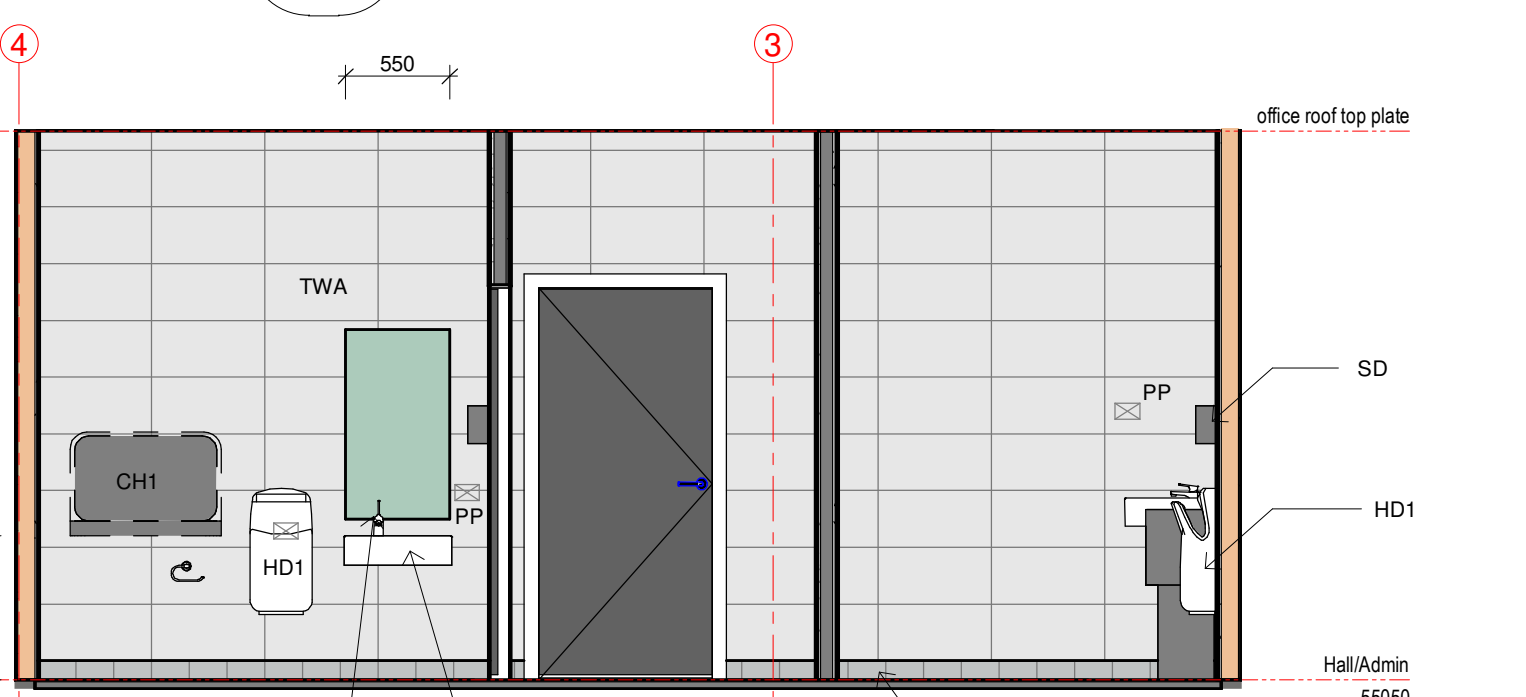
FULL HEIGHT WALL TILING TO BE PRICED SEPARATELY AS A SAVING OPTION IN CONTRACT - REFER SPECIFICATION



W13 Wet Area Elev 13
950WP1 1:40



W14 Wet Area Elev 14
950WP1 1:40



W12 Wet Area Elev 12
950WP1 1:40

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT1	BENCHTOP 1
CH1	CHANGE BENCH
GR3	GRAB RAIL 3
GR4	GRAB RAIL 4
HD1	HAND DRYER 1
MT1	MIXER TAP 1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
MTA	MIXER TAP ACCESSIBLE
PP	POWER POINT
SD	SOAP DISPENSER
TPH	TOILET PAPER HOLDER
TWA	TILES (wall) TYPE A
TWC	TILES (wall) TYPE C

KEYNOTES LEGEND	
ITEM	DESCRIPTION
VB1	VANITY BASIN 1
VB2	VANITY BASIN 2
WC1	WATER CLOSET 1
WCA	WATER CLOSET (TOILET) ACCESSIBLE

NOTE: REFER TO SCHEDULES ON 953WE1 FOR FINISHES FIXTURES AND FITTINGS

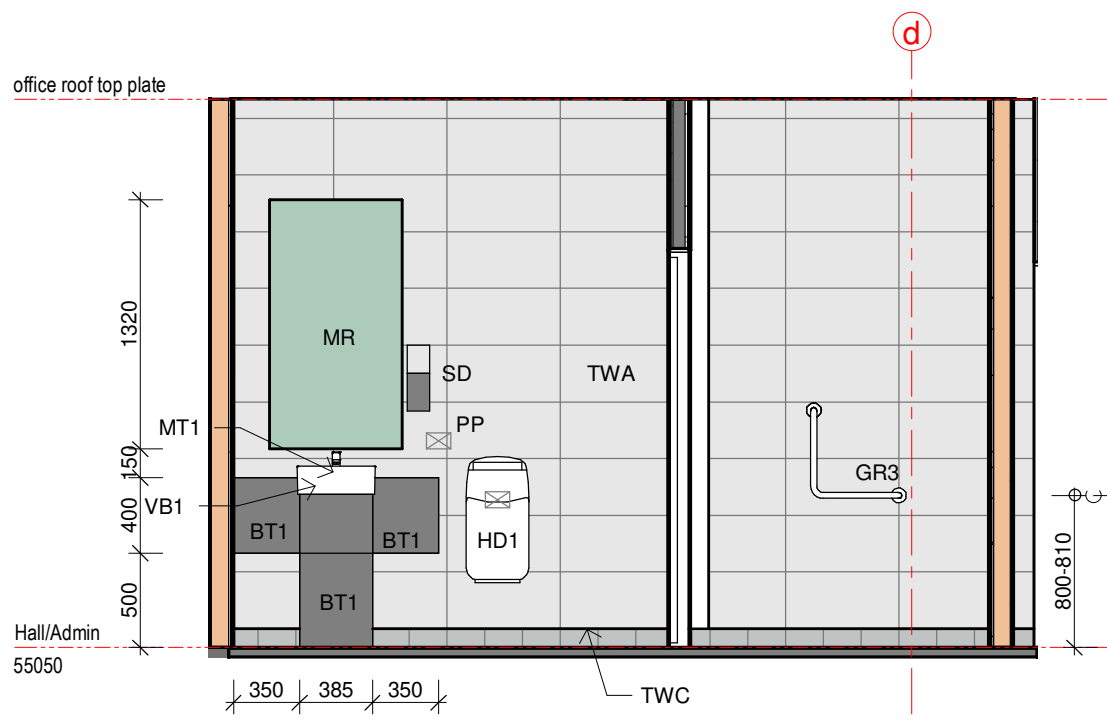
CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

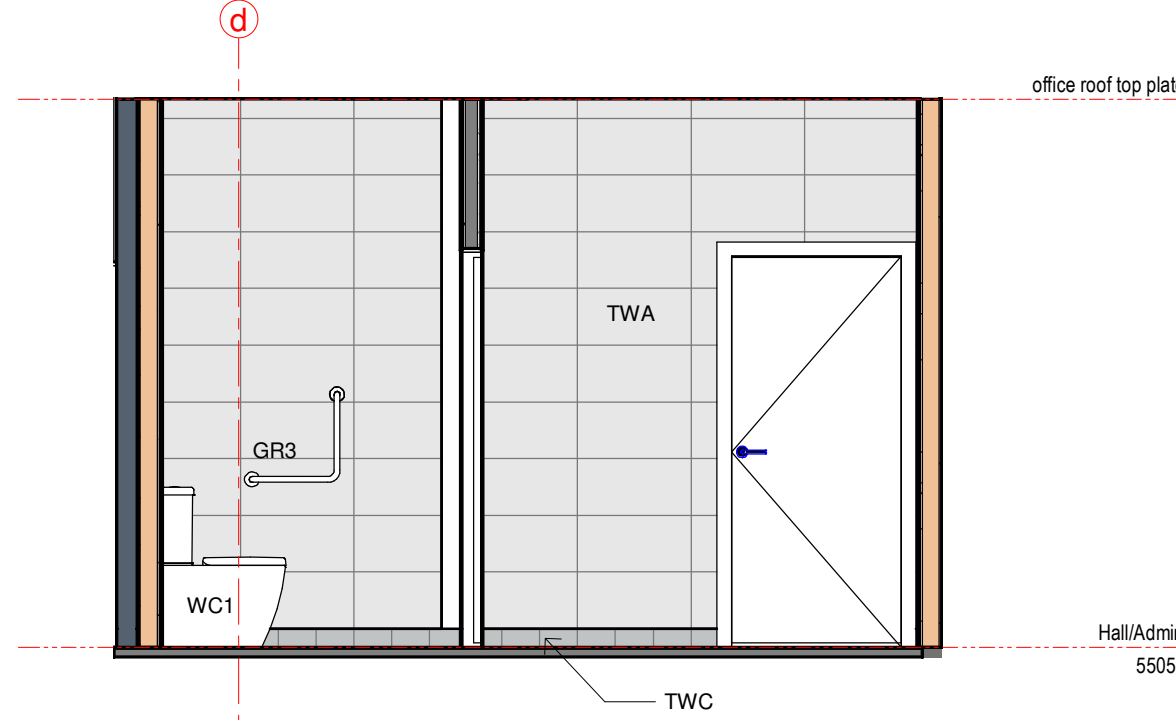
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

ADMIN WET AREA ELEV W11+W12+W13+W14
WORKING DRAWINGS

Scale at A3
1:40
Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 952WE1
Issue WD32
SHEET 14 OF 36



W15 Wet Area Elev 15
950WP1 1:40



W16 Wet Area Elev 16
950WP1 1:40

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT1	BENCHTOP 1
GR3	GRAB RAIL 3
HD1	HAND DRYER 1
MR	MIRROR
MT1	MIXER TAP 1
PP	POWER POINT
SD	SOAP DISPENSER
TWA	TILES (wall) TYPE A
TWC	TILES (wall) TYPE C
VB1	VANITY BASIN 1
WC1	WATER CLOSET 1

FINISHES (JOINERY)	BENCHTOP	BT1 = 20MM 'STARON' 'TERRAZZO COMO FT191' - (4mm RADIUS PENCIL ROUND) BT2 = 20MM 'STARON' 'TERRAZZO VENEZIA NT150' - (4mm RADIUS PENCIL ROUND) BT3 = STAINLESS STEEL SUPPLIER BY OWNER	WALL FINISH:	TWA= TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob TWB= TMF3071 -300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob TWC= TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob
	WALL	F1 = SELECTED WALL COLOUR	HANDLES:	DD1= CASTELLA GALLANT SATIN STAINLESS STEEL DD2= to be selected DD3= bottom overhang overhanging door DD4= provide extra over for PUSH TO OPEN TOUCH catches
	DOOR/ DRAWER FRONTS	CF1 = EGGER 'ANTHRACITE SHERMAN OAK' H1346 ST32 with matching colour edge band - end grain CF2 = EGGER 'ALPINE WHITE' W1100PT topmatt with matching colour edge band	HINGES:	P1 = SOFT CLOSE
KICKER:	CF3 = CEILING COLOUR K1 = LAMINEX 'ZINCWORKS' NATURAL FINISH GRAIN HORIZONTAL K2 = KICKER TO MATCH CABINETS F2 K3 = SELECTED BLACK FINISH	DRAWER BOXES:	D1 = SOFT CLOSE	

FITTINGS + FIXTURES - WET ROOMS	SHOWER ROSES	MT = 'CAROMA' 'CARE PLUS' SHOWER/BATH WALL MIXER - CHROME	TOWEL RAILS	R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome	TOILET	WC1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP WCA = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
	SHOWER RAILS	SHR1 = 'URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME SHR2 = 'CAROMA' PLUS STARSAFE II ACCESSABLE SHOWER SET	ROBE HOOKS GRAB RAILS	RH = NAPOLEON ROBE HOOK - chrome GR1 = NAPOLEON ROBE HOOK GR2 = VIRTU COMFORT GRAB RAIL 870X700mm 90° GR3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM GR4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL GR5 = VIRTU COMFORT GRAB RAIL 300mm GR6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL GR7 = VIRTU COMFORT GRAB 800mm TB = CAROMA COSMO TOILET BRUSH + HOLDER	HAND DRYER SOAP DISPENSER	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER SD = SOAP DISPENSER BY OWNER
	VANITY BASIN	VB1 = 'CAROMA' 'CARBONI ii' SEMI RECESSED BASIN - WHITE VB2 = 'CAROMA' 'CUBE' L OR R HAND SHELF WALL BASIN - with chrome bottle trap VB3 = 'CAROMA' 'URBANE 11" WALL BASIN - WHITE	TOILET BRUSH TOILET ROLL HOLDER	TRH = NAPOLEON TOILET ROLL HOLDER - chrome	NOTES	ALL PARTICLEBOARD TO BE WATERPROOF
SINK/ BASIN TAPWARE	MTC = 'BILLI' tea tap - CHROME MT1 = 'CAROMA' 'FLICKMIXER' basin mixer - CHROME MT2 = 'CAROMA' 'FLICKMIXER' sink mixer - CHROME MT3 = 'CAROMA' 'G SERIES' sink hob set - CHROME MT4 = 'CAROMA' 'G SERIES' u/s exp sink set - CHROME MT5 = '3 MONKEES' hob mounted pre rinse set - CHROME MTA = 'CAROMA' 'CARE PLUS BASIN MIXER - CHROME					

Issue	Date	Issue Description	Rev	Date	Revision Description

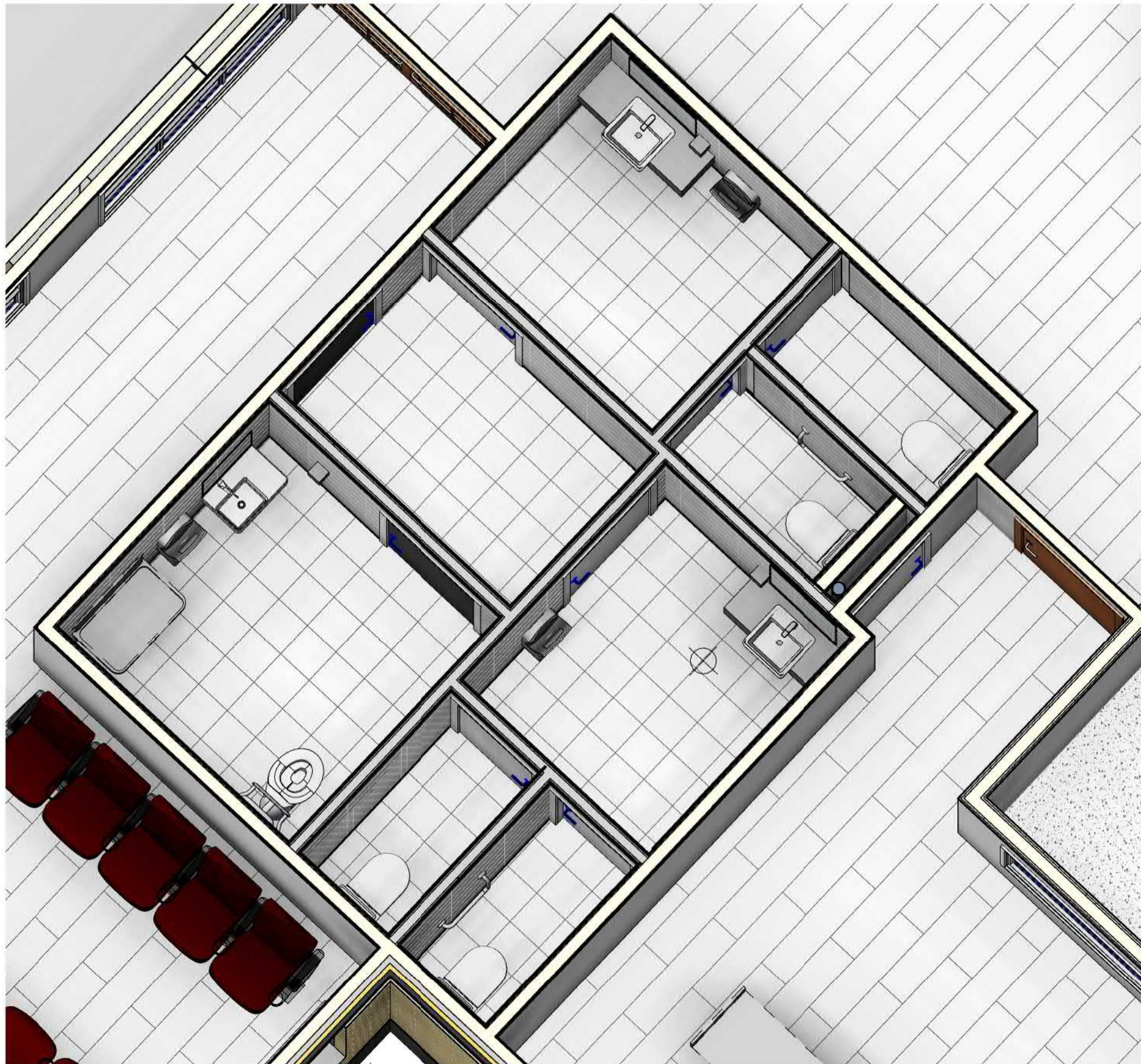
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8 DESBET STREET, THE GAP, 4061
www.architectsblackandwilson.com.au

PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

ADMIN WET AREA ELEV W15+W16
WORKING DRAWINGS

Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 953WEI
Issue WD32
SHEET 15 OF 36

CONSTRUCTION SET



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

at 150 OCEANVIEW DRIVE
SEASIDE

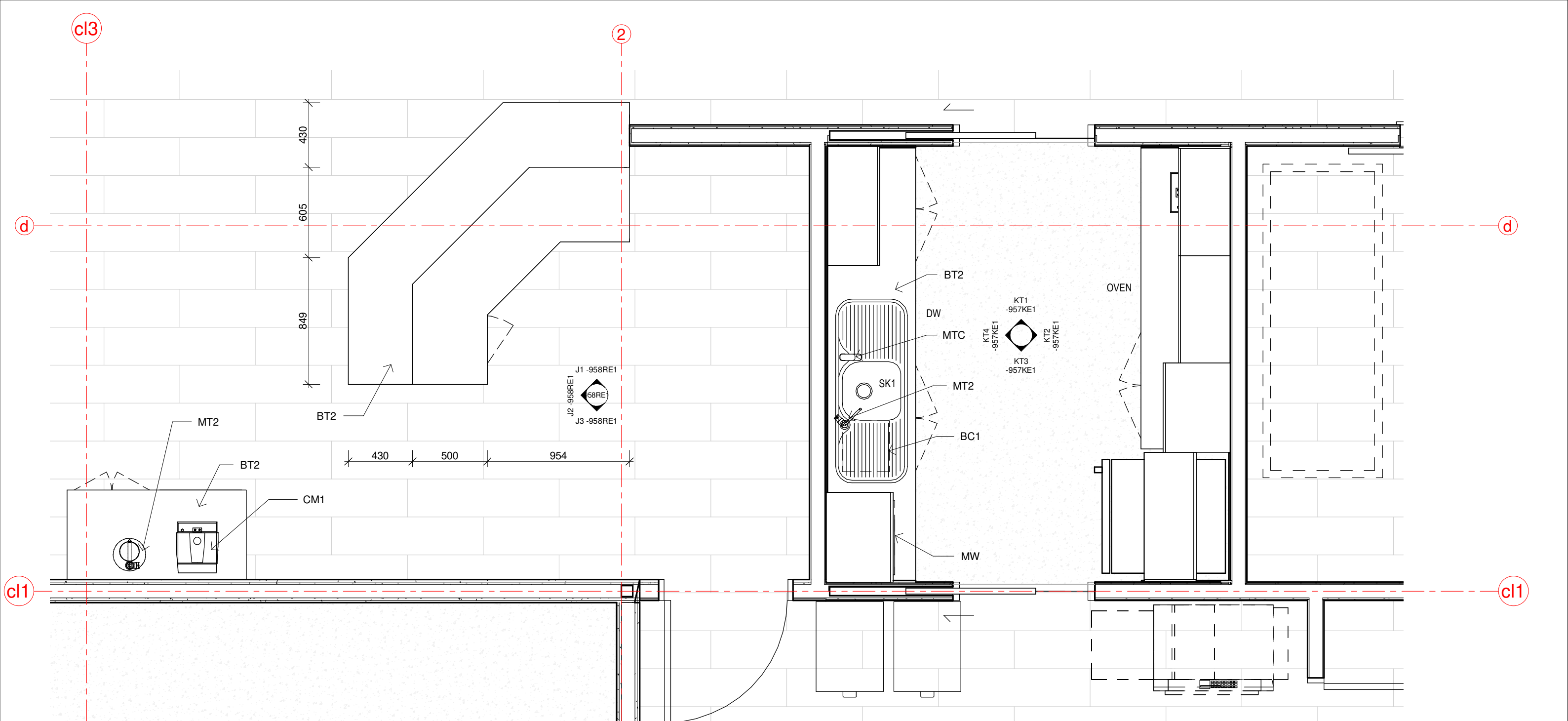
for COMMUNITY PTY LTD

**WET AREA
AXONOMETRIC ADMIN**

WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#10122
 Dwg No
955PDI
 Issue
WD32
 SHEET 16 OF 36



K1
110FP1
KITCHENETTE PLAN WITH DETAILING
1 : 25

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BC1	BOILER CHILLER UNIT 1
BT2	BENCHTOP 2
CM1	COFFEE MACHINE 1
MT2	MIXER TAP 2
MTC	MIXER TAP CHILLER/TEA
MW	MICROWAVE LOCATION

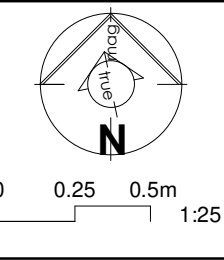
FINISHES (JOINERY)	
BENCHTOP	BT1 = 20MM 'STARON' 'TERRAZZO COMO FT191' - (4mm RADIUS PENCIL ROUND) BT2 = 20MM 'STARON' 'TERRAZZO VENEZIA NT150' - (4mm RADIUS PENCIL ROUND) BT3 = STAINLESS STEEL SUPPLIER BY OWNER
WALL	F1 = SELECTED WALL COLOUR
DOOR/ DRAWER FRONTS	CF1 = EGGER 'ANTHRACITE SHERMAN OAK' H1346 ST32 with matching colour edge band - end grain CF2 = EGGER 'ALPINE WHITE' W1100PT topmatt with matching colour edge band CF3 = CEILING COLOUR
KICKER	K1 = LAMINEX 'ZINCWORKS' NATURAL FINISH GRAIN HORIZONTAL K2 = KICKER TO MATCH CABINETS F2 K3 = SELECTED BLACK FINISH
WALL FINISH:	TWA= TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob TWB= TMF3071 -300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob TWC= TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob DD1= CASTELLA GALLANT SATIN STAINLESS STEEL
HANDLES:	DD2= to be selected DD3= bottom overhang overhanging door DD4= provide extra over for PUSH TO OPEN TOUCH catches
HINGES:	P1 = SOFT CLOSE
DRAWER BOXES:	D1 = SOFT CLOSE

FITTINGS + FITTING KITCHENS	
SINK	SK1: 'CLARK' 'ADVANCE' single centre bowl with tap to LHS SK2: 'STYLUS' R110 single bowl SK3: DOUBLE BOWL INTERGRAL WITH SS BENCH
SINK/ BASIN TAPWARE	MTC = 'BILLI' tea tap -CHROME MT1 = 'CAROMA' 'FLICKMIXER' basin mixer -CHROME MT2 = 'CAROMA' 'FLICKMIXER' sink mixer -CHROME
MAIN OVEN	OV1: AEG 60cm STEAMBAKE multi-function OVEN SS BEK455610M OV2: MICROWAVE BY OWNER leave space
OTHER OVEN	CT1: NA
HOT PLATE	
RANGE HOOD	RH1: N/A
DISH WASH	AB: above bench dishwasher supplied by owner UB: below bench dishwasher supplied by owner
FRIDGE	FR: supplied by owner
FREEZER	FZ: supplied by owner
NOTES	

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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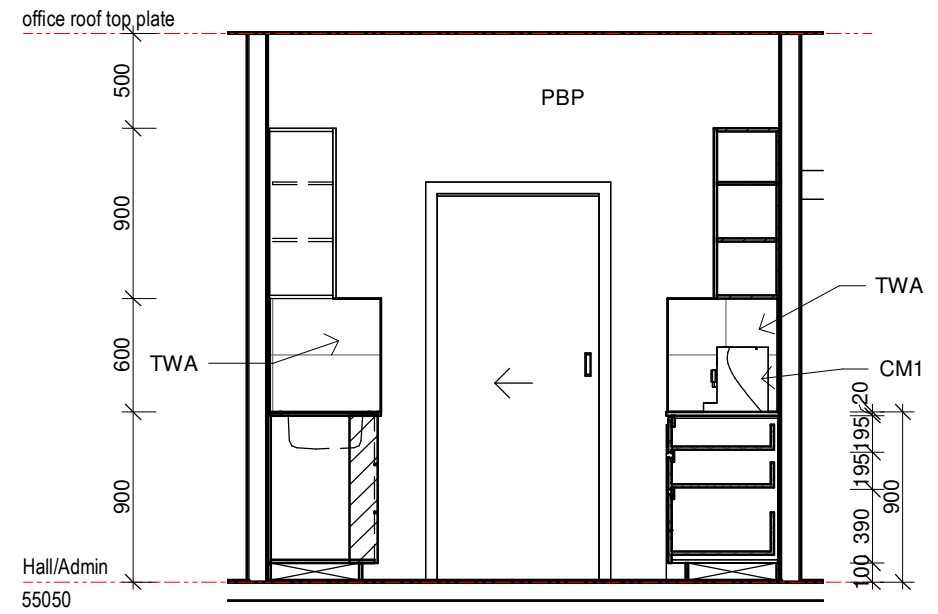
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

KITCHENETTE + RECEPTION PLAN ADMIN
WORKING DRAWINGS

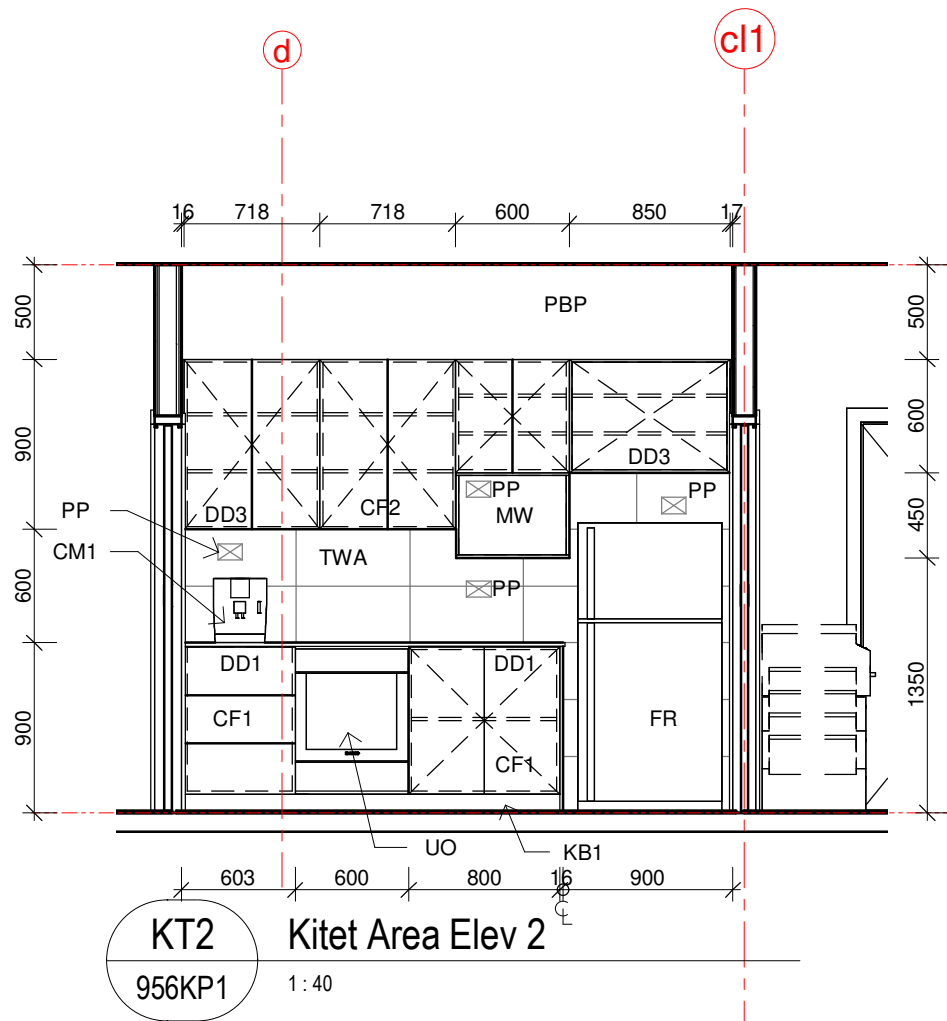
Scale at A3 AS INDICATED
Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 956KPI
Issue WD32
SHEET 11 OF 36

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BC1	BOILER CHILLER UNIT 1
CF1	CABINET FRONT 1
CF2	CABINET FRONT 2
CM1	COFFEE MACHINE 1
DD1	DOOR/DRAWER HANDLE 1
DD3	DOOR/DRAWER HANDLE 3
DW	DISHWASHER LOCATION
FR	FRIDGE LOCATION
KB1	KICKBOARD 1
MT3	MIXER TAP 3
MTC	MIXER TAP CHILLER/TEA
MW	MICROWAVE LOCATION
PBP	10mm PLASTERBOARD PAINTED AS SELECTED
PP	POWER POINT
SK1	SINK 1
TWA	TILES (wall) TYPE A
UO	UNDERBENCH OVEN

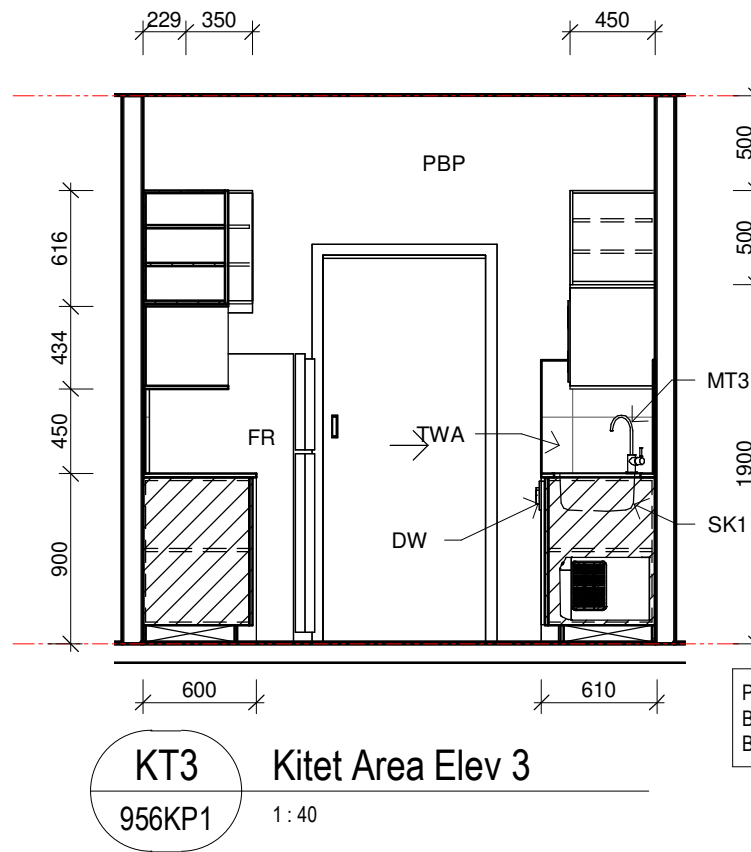
NOTE: REFER TO SCHEDULES ON 956KP1 FOR FINISHES FIXTURES AND FITTINGS



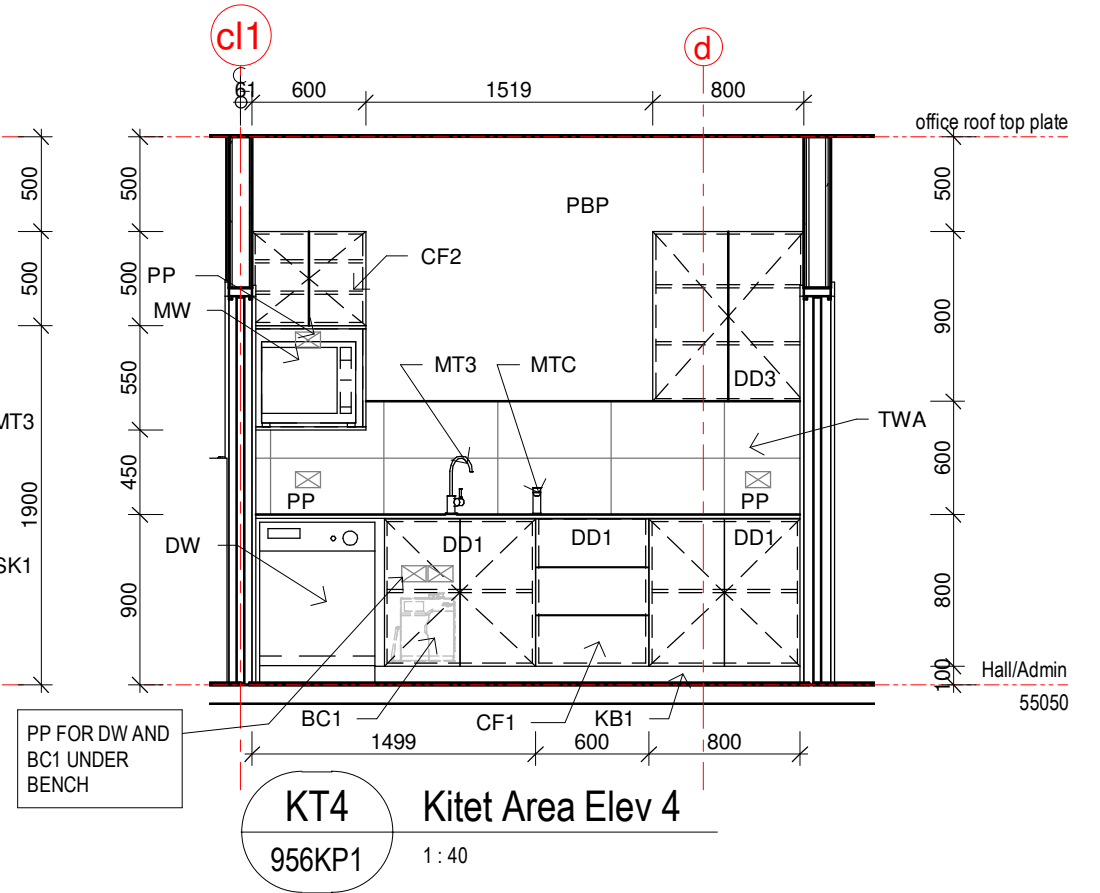
KT1 Kitet Area Elev 1
956KP1 1:40



KT2 Kitet Area Elev 2
956KP1 1:40



KT3 Kitet Area Elev 3
956KP1 1:40

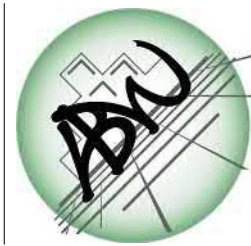


PP FOR DW AND BC1 UNDER BENCH

KT4 Kitet Area Elev 4
956KP1 1:40

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



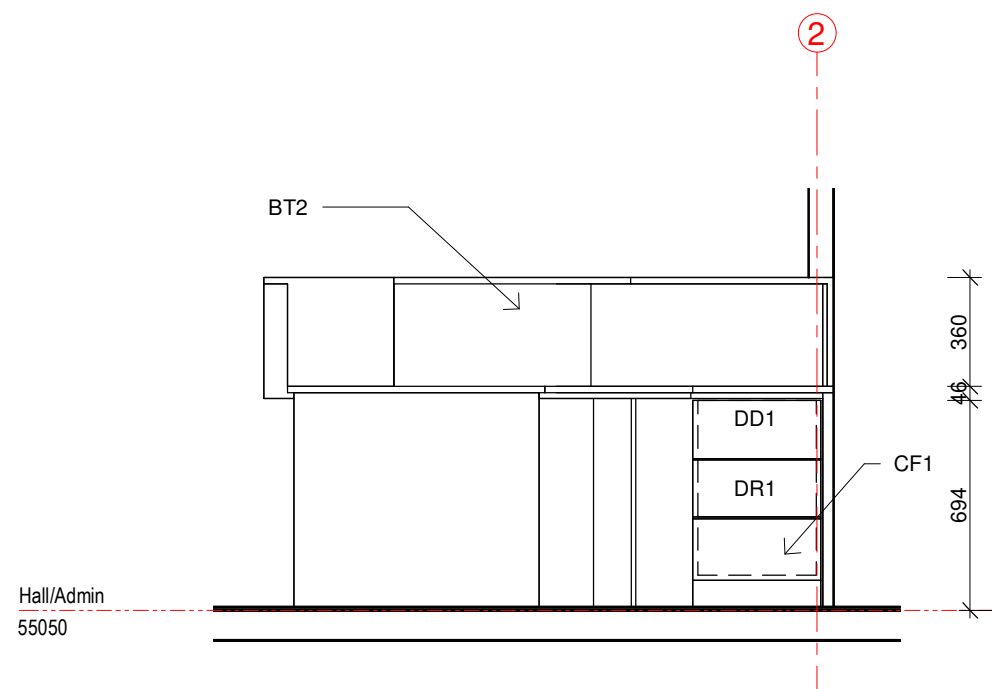
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PROPOSED COMMUNITY PROJECT
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for COMMUNITY PTY LTD

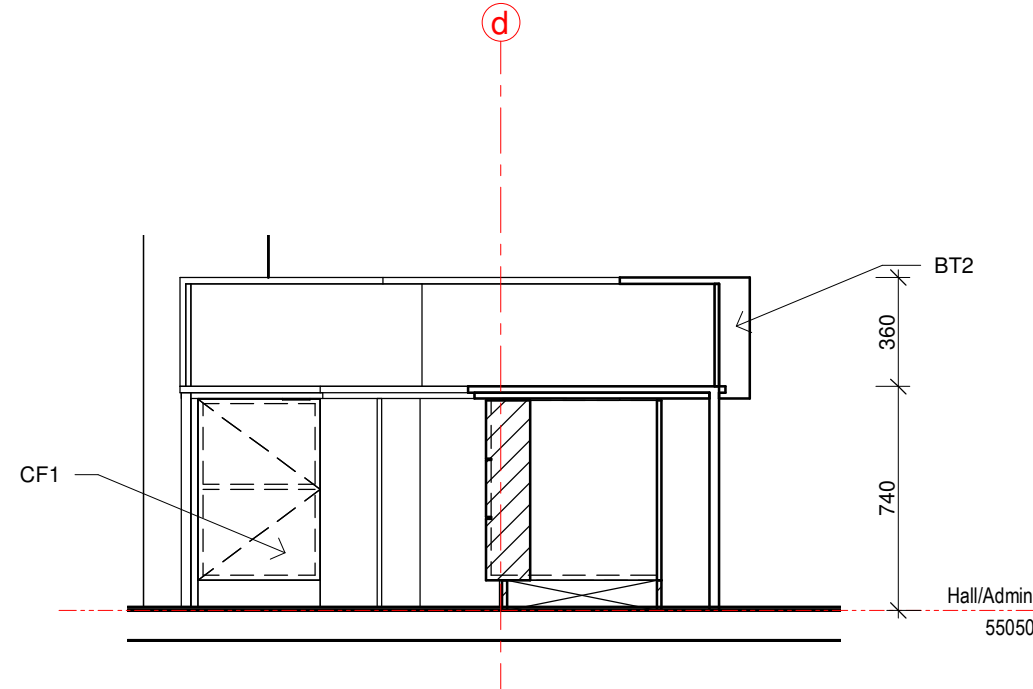
KITCHENETTE ELEVATIONS
KT1+KT2+KT3+KT4
WORKING DRAWINGS

Scale at A3
1:40
Designed MDW
Drawn MDW
Checked MDW

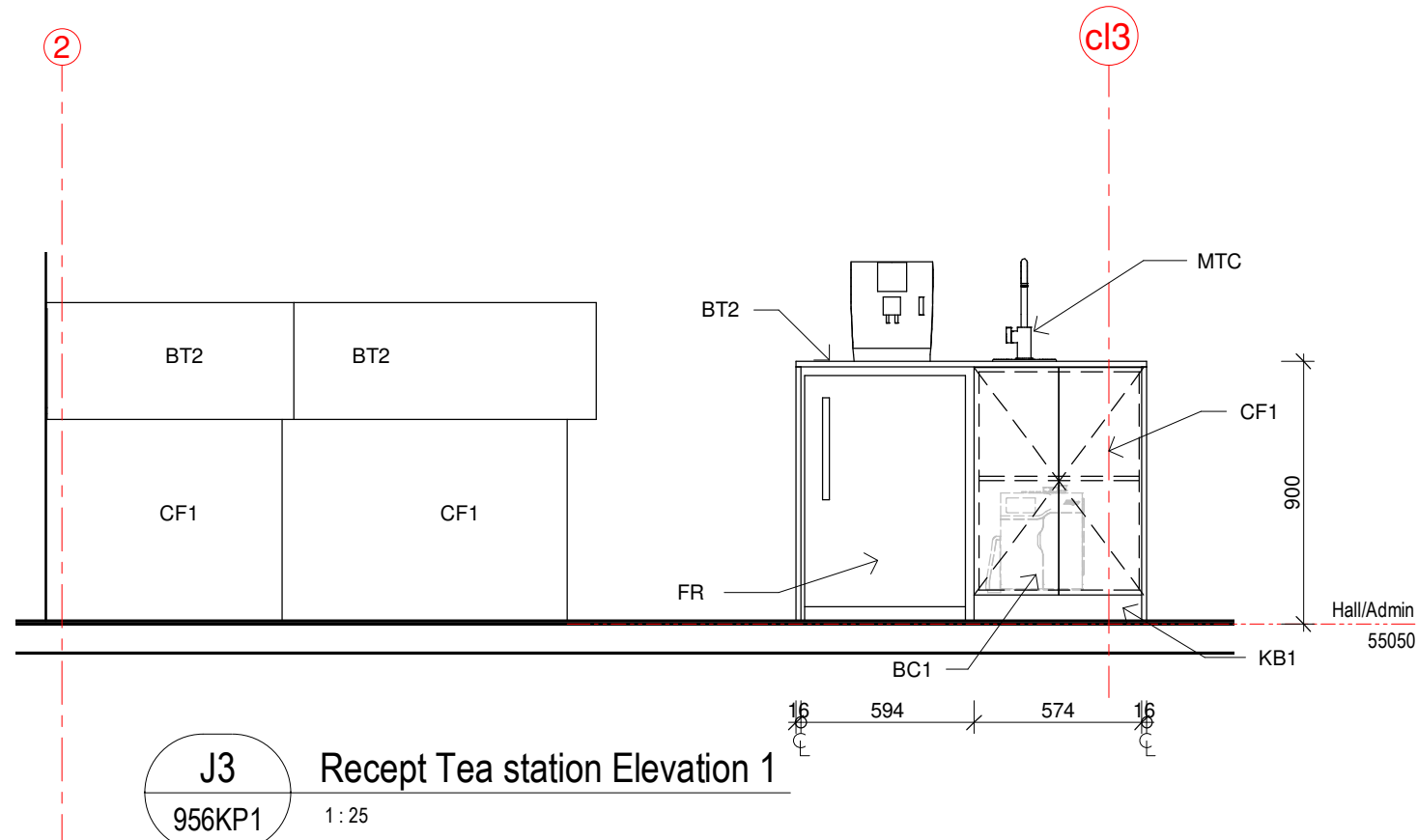
Job No #10722
Dwg No 957KEI
Issue WD32
SHEET 18 OF 36



J1 Reception Desk Elevation 2
956KP1 1:25



J2 Reception Desk Elevation 1
956KP1 1:25



J3 Recept Tea station Elevation 1
956KP1 1:25

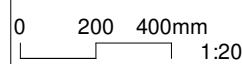
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BC1	BOILER CHILLER UNIT 1
BT2	BENCHTOP 2
CF1	CABINET FRONT 1
DD1	DOOR/DRAWER HANDLE 1
DR1	DRAWER 1
FR	FRIDGE LOCATION
KB1	KICKBOARD 1
MTC	MIXER TAP CHILLER/TEA

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

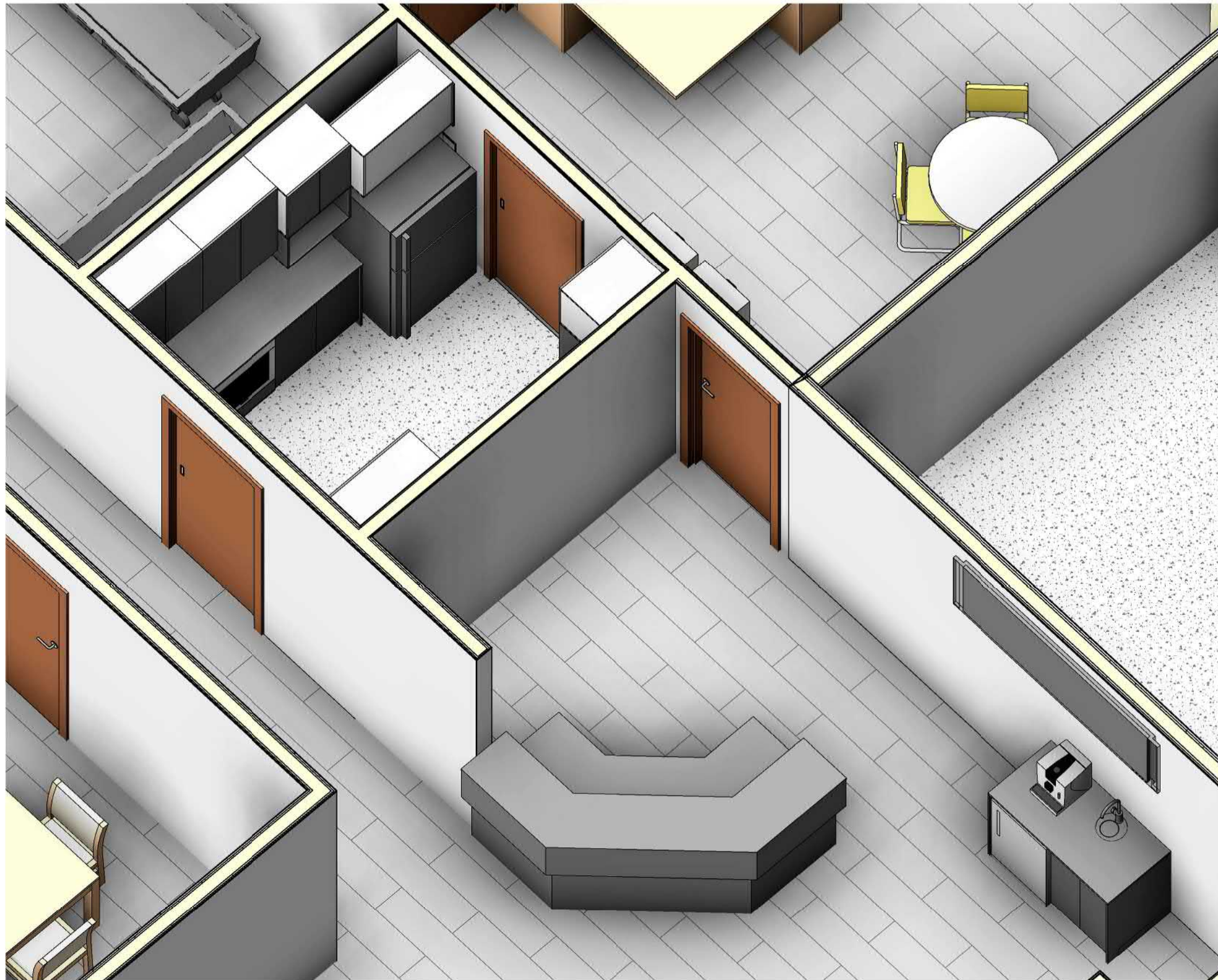
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

RECEPTION ELEVATIONS

WORKING DRAWINGS

Scale at A3
1:25
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 956REI
Issue WD32
SHEET 19 OF 36



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

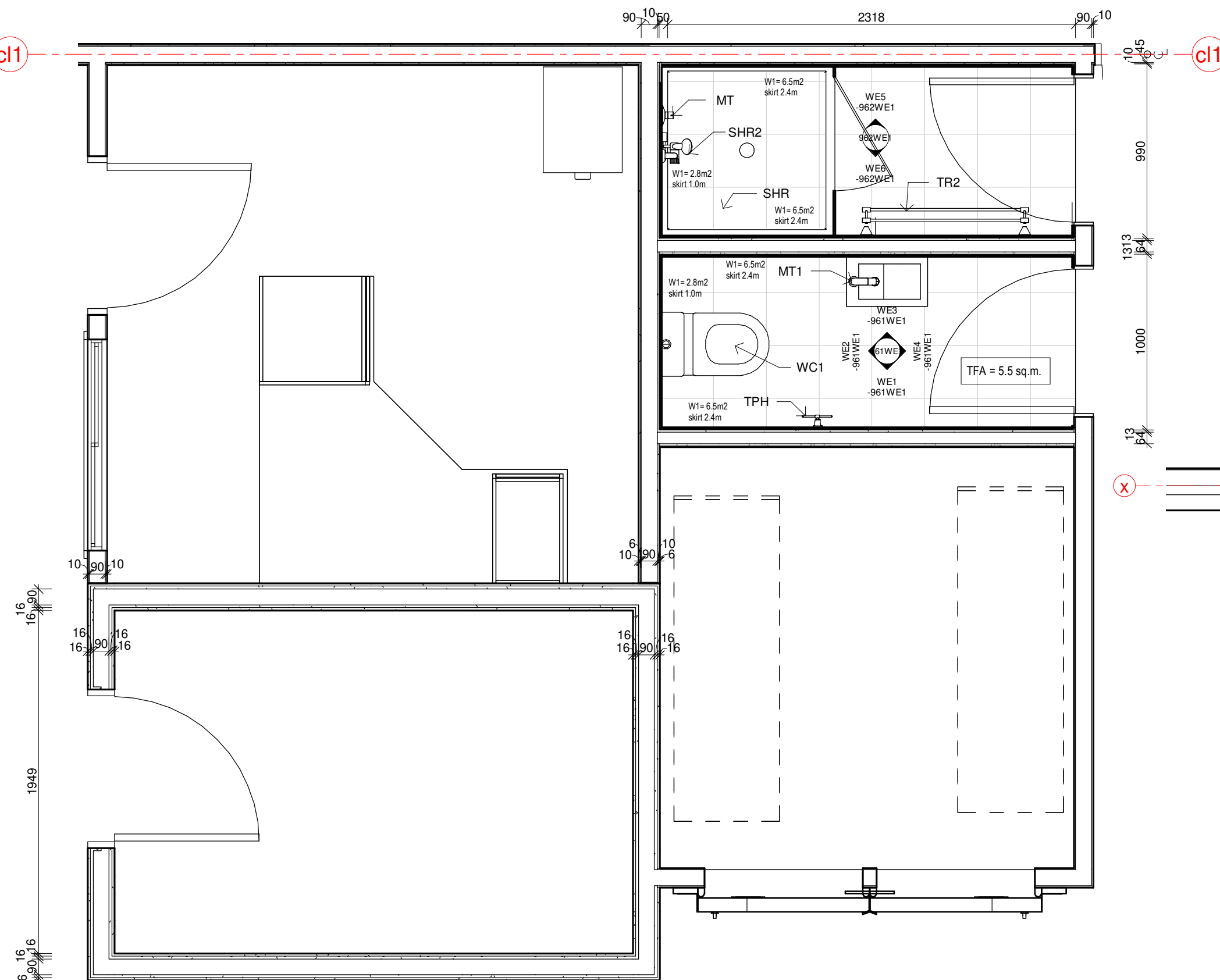
at 150 OCEANVIEW DRIVE
SEASIDE
for COMMUNITY PTY LTD

**KITCHENETTE +
RECEPTION PLAN ADMIN
AXONOMETRIC**

WORKING DRAWINGS

Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

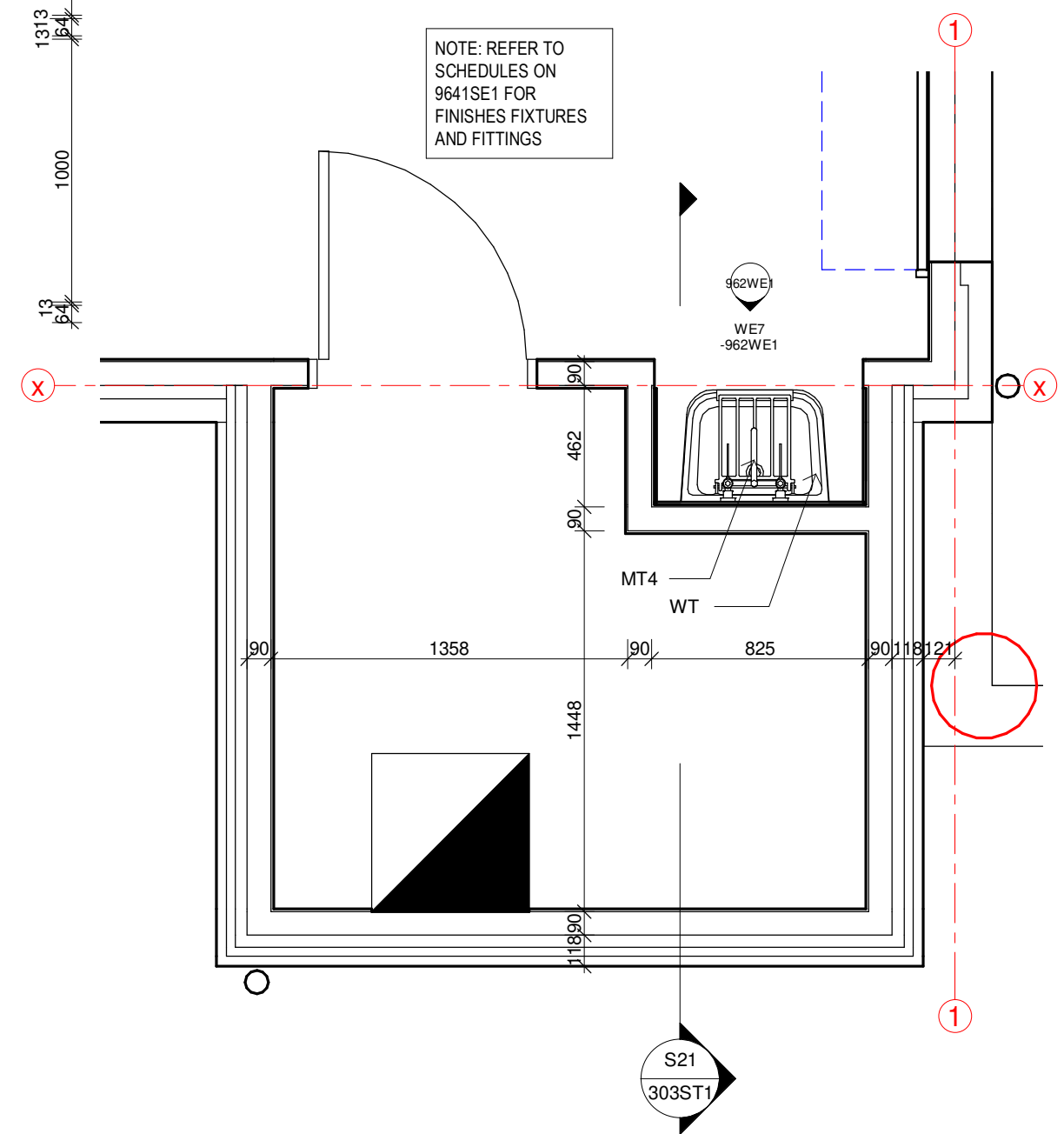
Job No
#10122
 Dwg No
959PDI
 Issue
WD32
 SHEET 20 OF 36



SA1 STAFF AMENITIES PLAN
110FP1 1:25

ITEM	DESCRIPTION
MT	MIXER TAP
MT1	MIXER TAP 1
MT4	MIXER TAP 4
SHR	SHOWER
SHR2	SHOWER RAIL 2
TPH	TOILET PAPER HOLDER
TR2	TOWEL RAIL (DOUBLE)
WC1	WATER CLOSET 1
WT	WASH TROUGH

NOTE: REFER TO SCHEDULES ON 9641SE1 FOR FINISHES FIXTURES AND FITTINGS

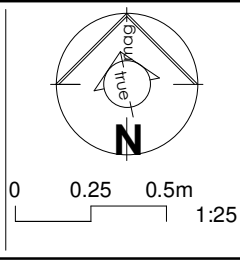


SA2 SERVICES PLAN
205EL1 1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

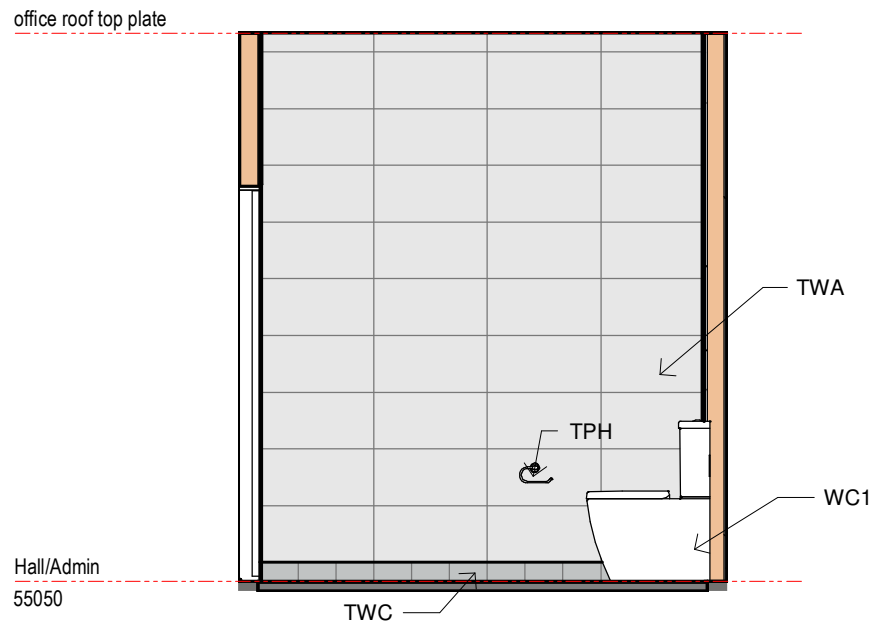
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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
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AMENITIES PLAN STAFF STRONG ROOM AND COLD ROOM AND SERVICES ROOM
 WORKING DRAWINGS

Scale at A3 1:25	Job No #10122
Designed MDW	Dwg No 960WPI
Drawn MDW	Issue WD32
Checked MDW	SHEET 21 OF 36



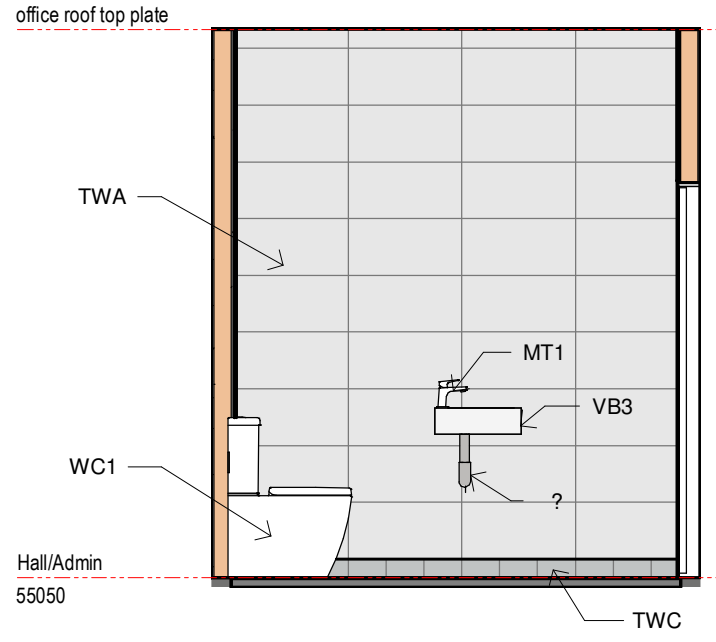
WE1 Staff Wet Area Elevation 1
960WP1 1:40

FULL HEIGHT WALL TILING TO BE PRICED SEPARATELY AS A SAVING OPTION IN CONTRACT - REFER SPECIFICATION

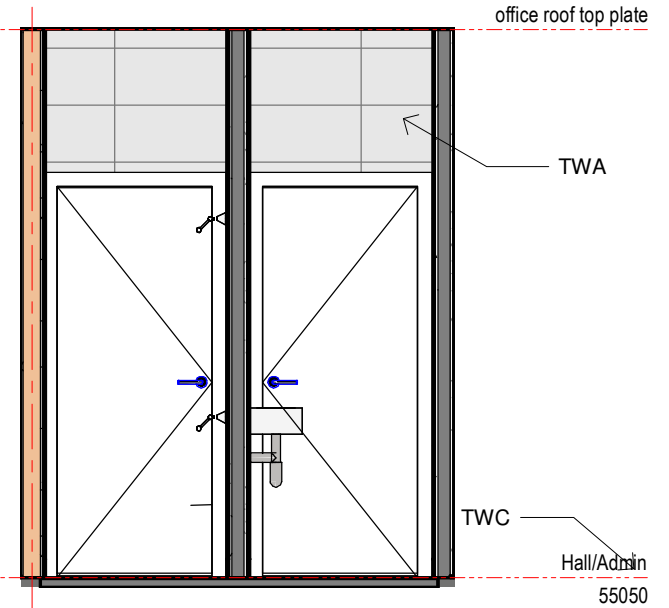
FITTINGS + FIXTURES - WET ROOMS		TOWEL RAILS	TOILET
SHOWER ROSES	MT = 'CAROMA' "CARE PLUS" SHOWER/BATH WALL MIXER - CHROME	R1 = NAPOLEON SINGLE TOWEL RAIL 833 mm - chrome	WC1 = URBANE WALL FACED TOILET SOFT CLOSE - WHITE BACK INLET "S" TRAP
SHOWER RAILS	SHR1 =URBANE' MULTIFUNCTION RAIL SHOWER WITH OVERHEAD - CHROME	RH = NAPOLEON ROBE HOOK - chrome	WCA = COSMO SOVEREIGN CARE CONNECTOR (S TRAP) SUITE WITH BACKREST AND CARAVELL CARE SINGLE FLAP SEAT ANTHRACITE GREY
VANITY BASIN	SHR2 =CAROMA' PLUS STARSAFE II ACCESSABLE SHOWER SET	GR1 = NAPOLEON ROBE HOOK	HD1 = BRADLEY AERIX DUAL SIDED HAND DRYER
SINK/ BASIN TAPWARE	VB1 = 'CAROMA' "CARBONI ii" SEMI RECESSED BASIN - WHITE	GR2 = VIRTU COMFORT GRAB RAIL 870X700mm 90°	SD = SOAP DISPENSER BY OWNER
	VB2 = 'CAROMA' "CUBE" L OR R HAND SHELF WALL BASIN - with chrome bottle trap	GR3 = VIRTU COMFORT GRAB RAIL 90° 450X450MM	
	VB3 = 'CAROMA' "URBANE 11" WALL BASIN - WHITE	GR4 = VIRTU COMFORT GRAB RAIL 90° 1030X600mm VERTICAL	
	MTC = 'BILLI' tea tap - CHROME	GR5 = VIRTU COMFORT GRAB RAIL 300mm	
	MT1 = 'CAROMA' "FLICKMIXER" basin mixer -CHROME	GR6 = VIRTU COMFORT GRAB RAIL 90° 900X600mm VERTICAL	
	MT2 = 'CAROMA' "FLICKMIXER" sink mixer -CHROME	GR7 = VIRTU COMFORT GRAB 800mm	
	MT3 = 'CAROMA' "G SERIES" sink hob set - CHROME	TB = CAROMA COSMO TOILET BRUSH + HOLDER	
	MT4 = 'CAROMA' "G SERIES" u/s exp sink set - CHROME	TOILET BRUSH	
	MT5 = '3 MONKEES' hob mounted pre rinse set - CHROME	TOILET ROLL HOLDER	
	MTA = 'CAROMA' " CARE PLUS BASIN MIXER -CHROME		

FINISHES (JOINERY)		WALL FINISH:	HANDLES:
BENCHTOP	BT1 = 20MM 'STARON' "TERRAZZO COMO FT191" - (4mm RADIUS PENCIL ROUND)	TWA= TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob	DD1= CASTELLA GALLANT SATIN STAINLESS STEEL
	BT2 = 20MM 'STARON' "TERRAZZO VENEZIA NT150" - (4mm RADIUS PENCIL ROUND)	TWB= TMF3071 -300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob	DD2= to be selected
	BT3 = STAINLESS STEEL SUPPLIER BY OWNER	TWC= TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob	DD3= bottom overhang overhanging door
WALL	F1 = SELECTED WALL COLOUR		DD4= provide extra over for PUSH TO OPEN TOUCH catches
DOOR/ DRAWER/ FRONTS	CF1 = EGGER "ANTHRACITE SHERMAN OAK" H1346 ST32 with matching colour edge band - end grain		
	CF2 = EGGER "ALPINE WHITE" W1100PT topmatt with matching colour edge band		
KICKER:	CF3 = CEILING COLOUR		
	K1 = LAMINEX "ZINCWORKS" NATURAL FINISH GRAIN HORIZONTAL		
	K2 = KICKER TO MATCH CABINETS F2		
	K3 = SELECTED BLACK FINISH		
		HINGES:	P1 = SOFT CLOSE
		DRAWER BOXES:	D1 = SOFT CLOSE

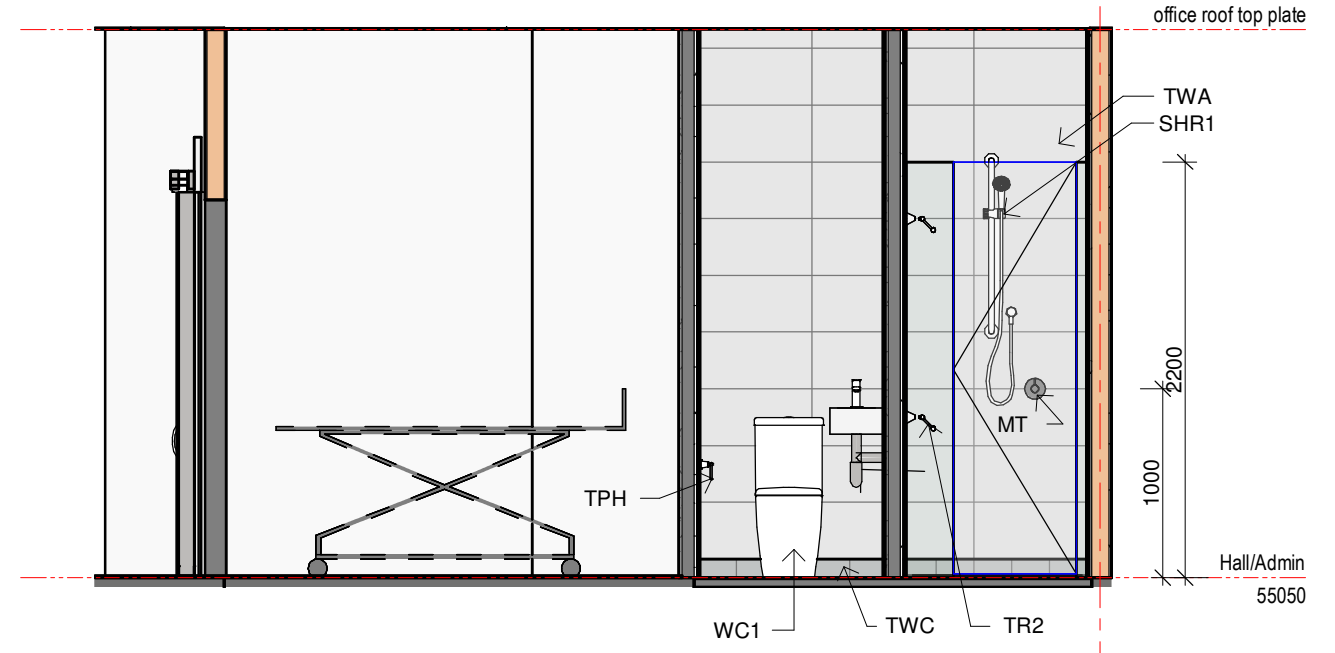
KEYNOTES LEGEND	
ITEM	DESCRIPTION
MT	MIXER TAP
MT1	MIXER TAP 1
SHR1	SHOWER RAIL 1
TPH	TOILET PAPER HOLDER
TR2	TOWEL RAIL (DOUBLE)
TWA	TILES (wall) TYPE A
TWC	TILES (wall) TYPE C
VB3	VANITY BASIN 3
WC1	WATER CLOSET 1



WE3 Staff Wet Area Elevation 3
960WP1 1:40

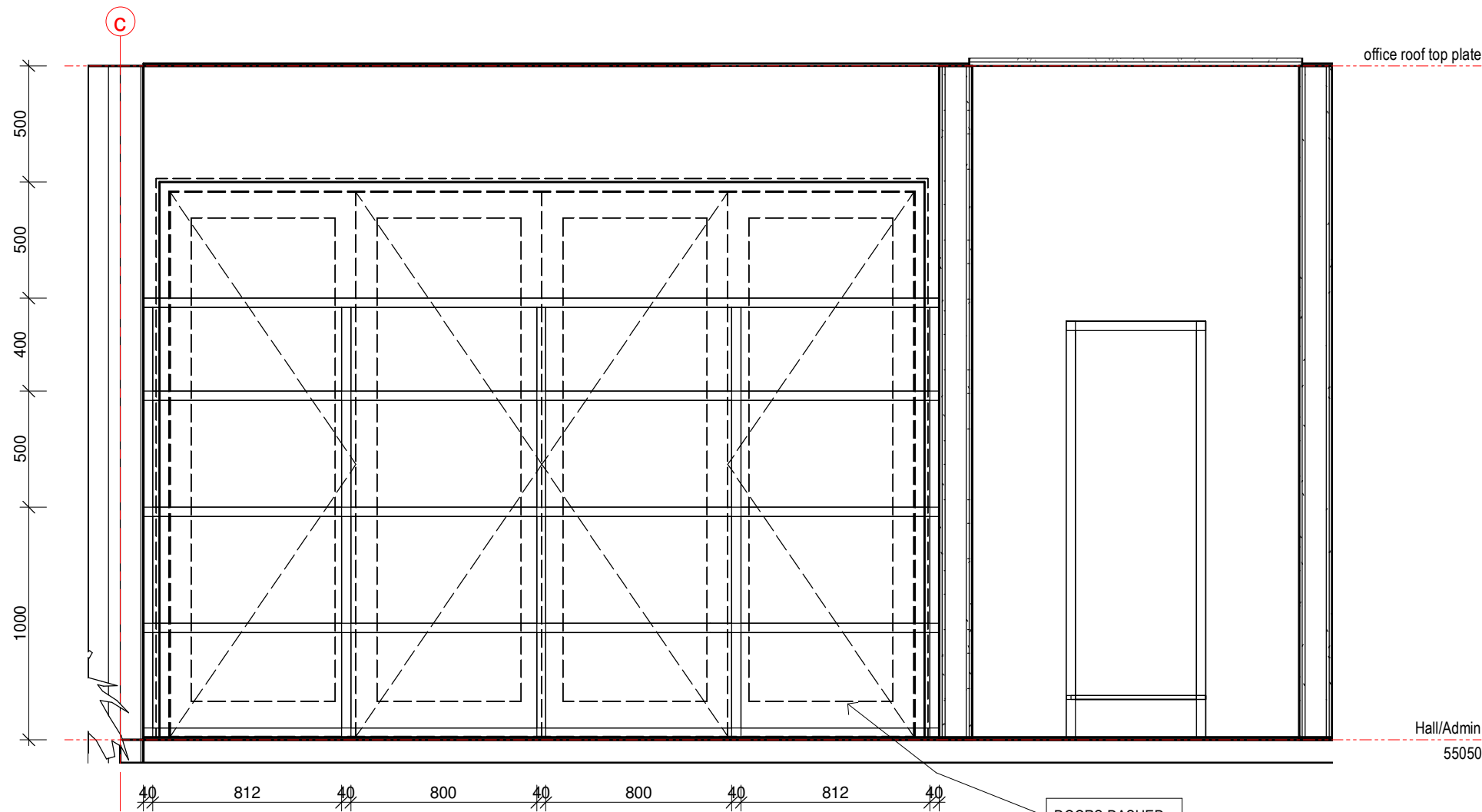


WE4 Staff Wet Area Elevation 4
960WP1 1:40

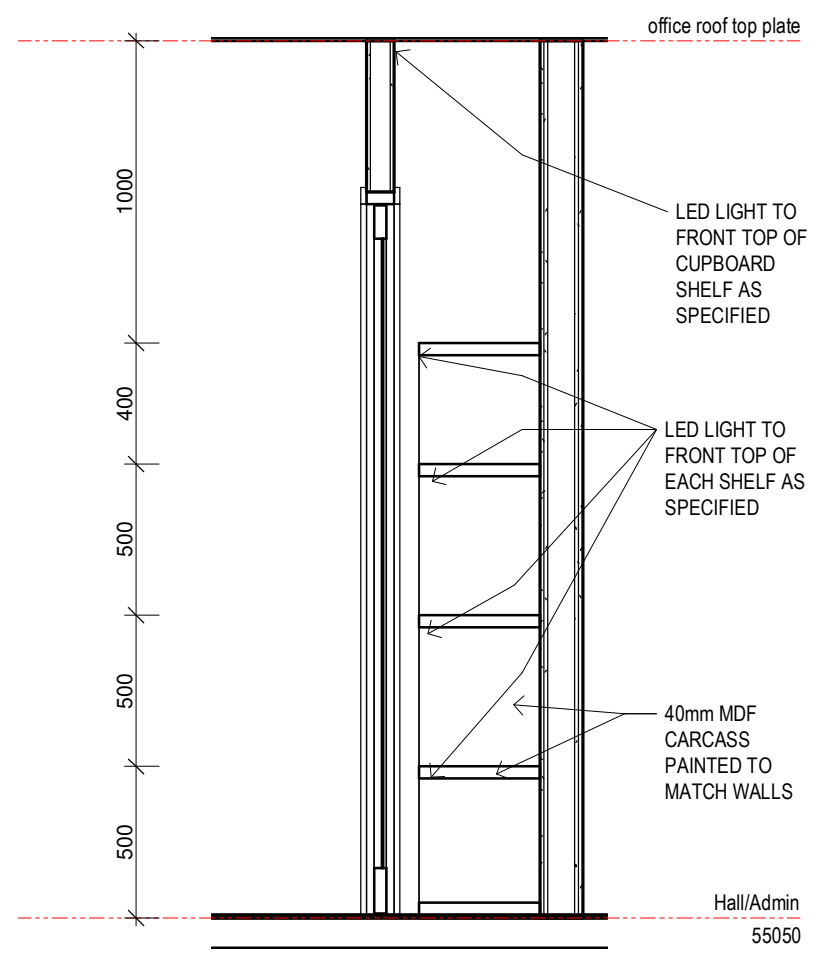


WE2 Staff Wet Area Elevation 2
960WP1 1:40

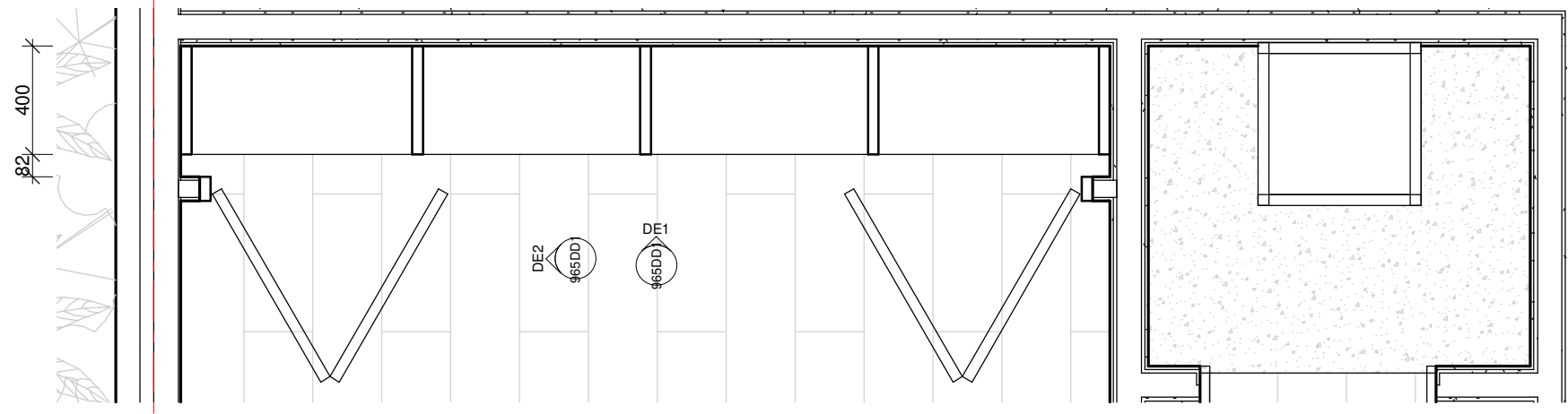
<p>Issue Date Issue Description Rev Date Revision Description</p>		<p>ARCHITECTS BLACK & WILSON Pty. Ltd. A.B.N. 28 069 941 868 PH: (07) 3300 6610 8 DESBET STREET, THE GAP, 4061 www.architectsblackandwilson.com.au</p>	<p>PROPOSED COMMUNITY PROJECT</p> <p>at 150 OCEANVIEW DRIVE SEASIDE</p> <p>for COMMUNITY PTY LTD</p>	<p>AMENITIES ELEVATIONS STAFF WE1+WE2+WE3+WE4</p> <p>WORKING DRAWINGS</p>	<p>Scale at A3 AS INDICATED</p> <p>Designed MDW</p> <p>Drawn MDW</p> <p>Checked MDW</p>	<p>Job No #10122</p> <p>Dwg No 961WE1</p> <p>Issue WD32</p> <p>SHEET 22 OF 36</p>



DE1 Display Elevation D1
110FP1 1:25



DE2 Elevation 1 - a
110FP1 1:25

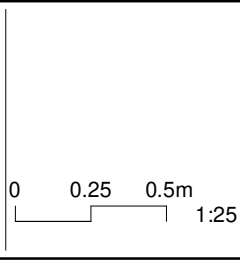


DP1 MEETING ROOM DISPLAY PLAN
205EL1 1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

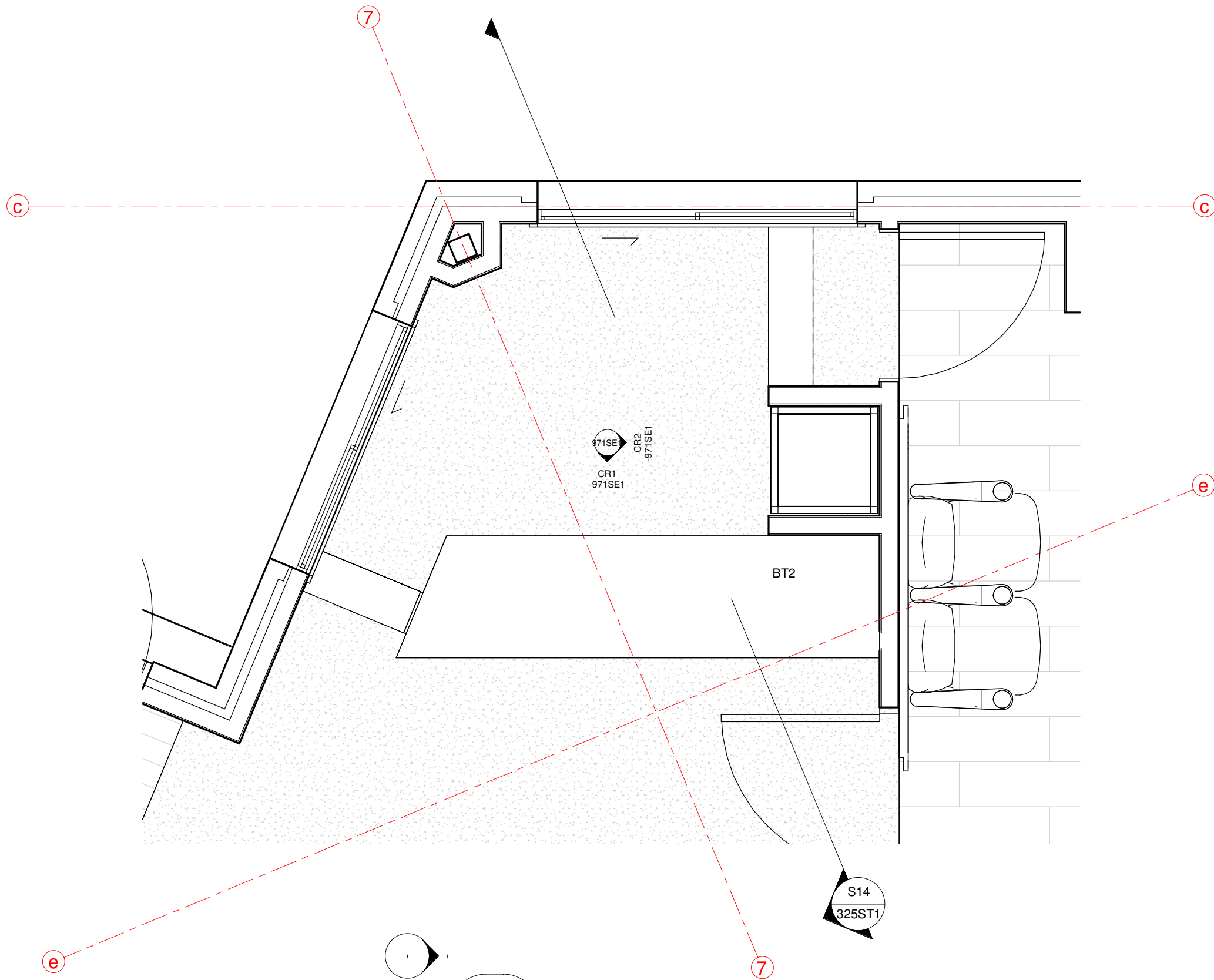
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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

DISPLAY PLAN + ELEVATION ADMINISTRATION
WORKING DRAWINGS

Scale at A3 1:25
Designed MDW
Drawn MDW
Checked MDW
Job No #10122
Dwg No 965DDI
Issue WD32
SHEET 25 OF 36



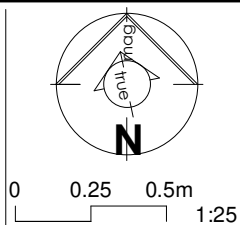
CC1 CHAPEL media centre
111FP1 1:25

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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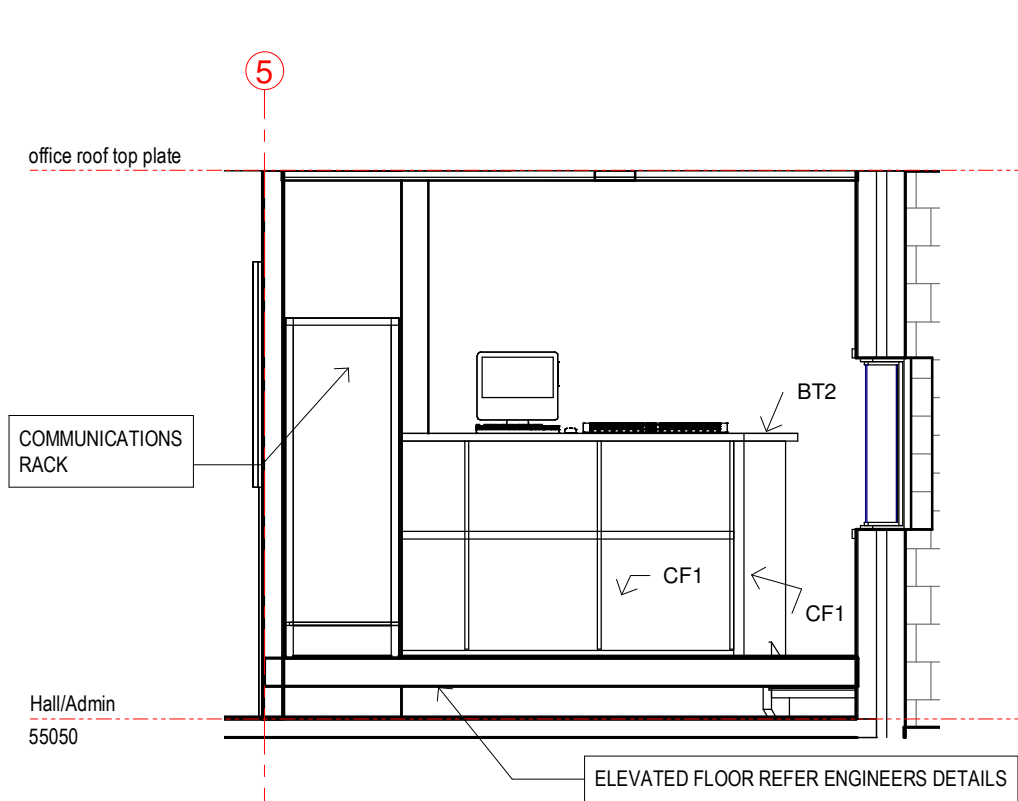


PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

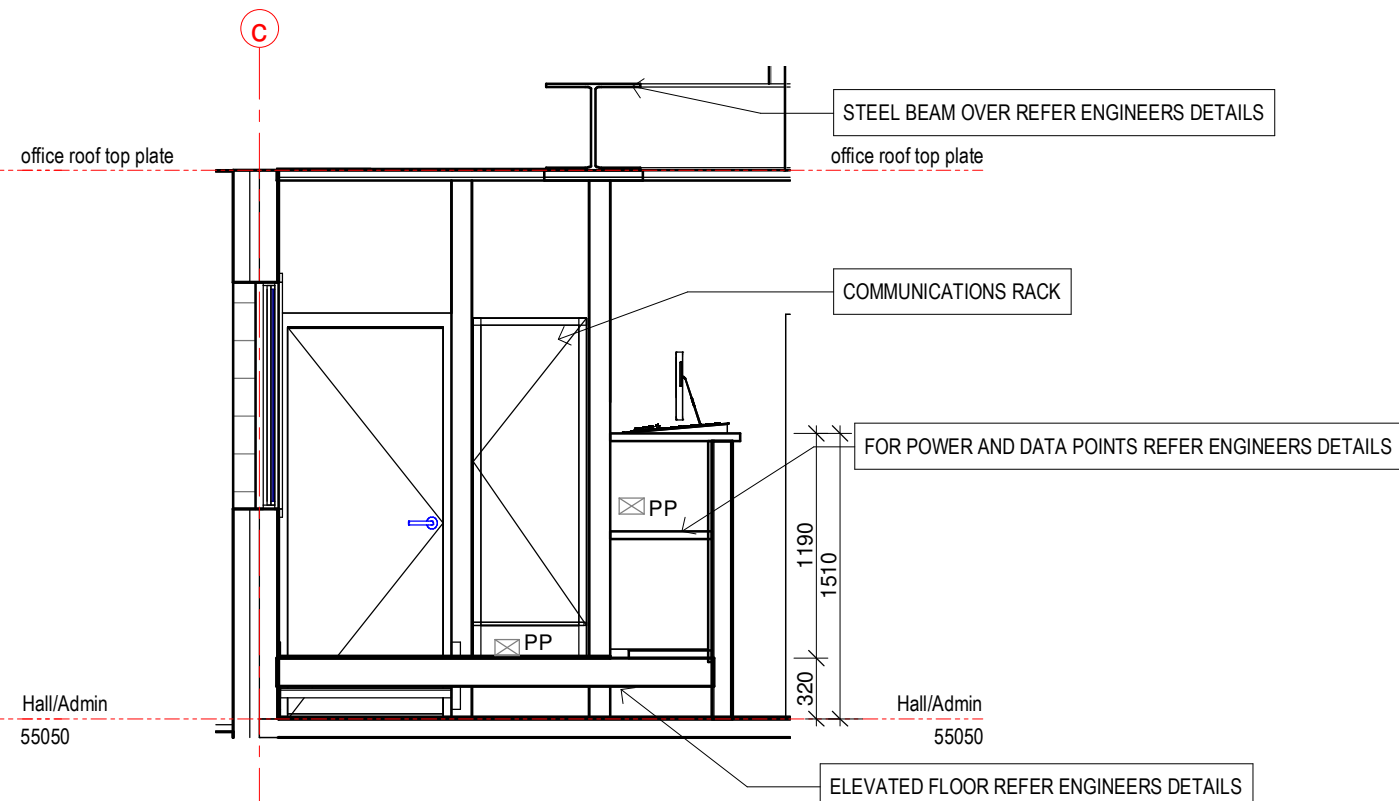
HALL CONTROL ROOM
WORKING DRAWINGS

Scale at A3
1 : 25
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 910CPI
Issue WD32
SHEET 26 OF 36



CR1 Control Room Elevation 1
970CP1 1:40



CR2 Control Room Elevation 2
970CP1 1:40

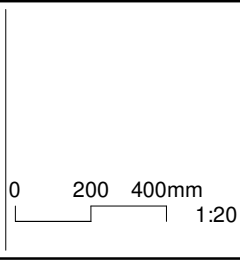
KEYNOTES LEGEND	
ITEM	DESCRIPTION
BT2	BENCHTOP 2
CF1	CABINET FRONT 1
PP	POWER POINT

FINISHES (JOINERY)	BENCHTOP	BT1 = 20MM 'STARON' 'TERRAZZO COMO FT191' - (4mm RADIUS PENCIL ROUND) BT2 = 20MM 'STARON' 'TERRAZZO VENEZIA NT150' - (4mm RADIUS PENCIL ROUND) BT3 = STAINLESS STEEL SUPPLIER BY OWNER	WALL FINISH:	TWA= TMW2308 300x600 CUSHIONED EDGE GROUT white #100 MARBLE BIANCO - from Tile Mob TWB= TMF3071 -300Hx300V Speckled Grey R11B Comfloor rectified edge GROUT dark grey - from Tile Mob TWC= TMW1667 - 100Hx200W Speckled Grey Cove Comfloor ROUT dark grey - from Tile Mob DD1= CASTELLA GALLANT SATIN STAINLESS STEEL
	WALL	F1 = SELECTED WALL COLOUR	HANDLES:	DD2= to be selected DD3= bottom overhang overhanging door DD4= provide extra over for PUSH TO OPEN TOUCH catches
	DOOR/ DRAWER: FRONTS	CF1 = EGGER 'ANTHRACITE SHERMAN OAK' H1346 ST32 with matching colour edge band - end grain CF2 = EGGER 'ALPINE WHITE' W1100PT topmatt with matching colour edge band	HINGES:	P1 = SOFT CLOSE
	KICKER:	CF3 = CEILING COLOUR K1 = LAMINEX 'ZINCWORKS' NATURAL FINISH GRAIN HORIZONTAL K2 = KICKER TO MATCH CABINETS F2 K3 = SELECTED BLACK FINISH	DRAWER BOXES:	D1 = SOFT CLOSE

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

CONTROL ROOM JOINERY ELEVATIONS
WORKING DRAWINGS

Scale at A3	Job No
A6	#10722
INDICATED	Dwg No
Designed MDW	9710E1
Drawn MDW	Issue
Checked MDW	WD32



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

at 150 OCEANVIEW DRIVE
SEASIDE

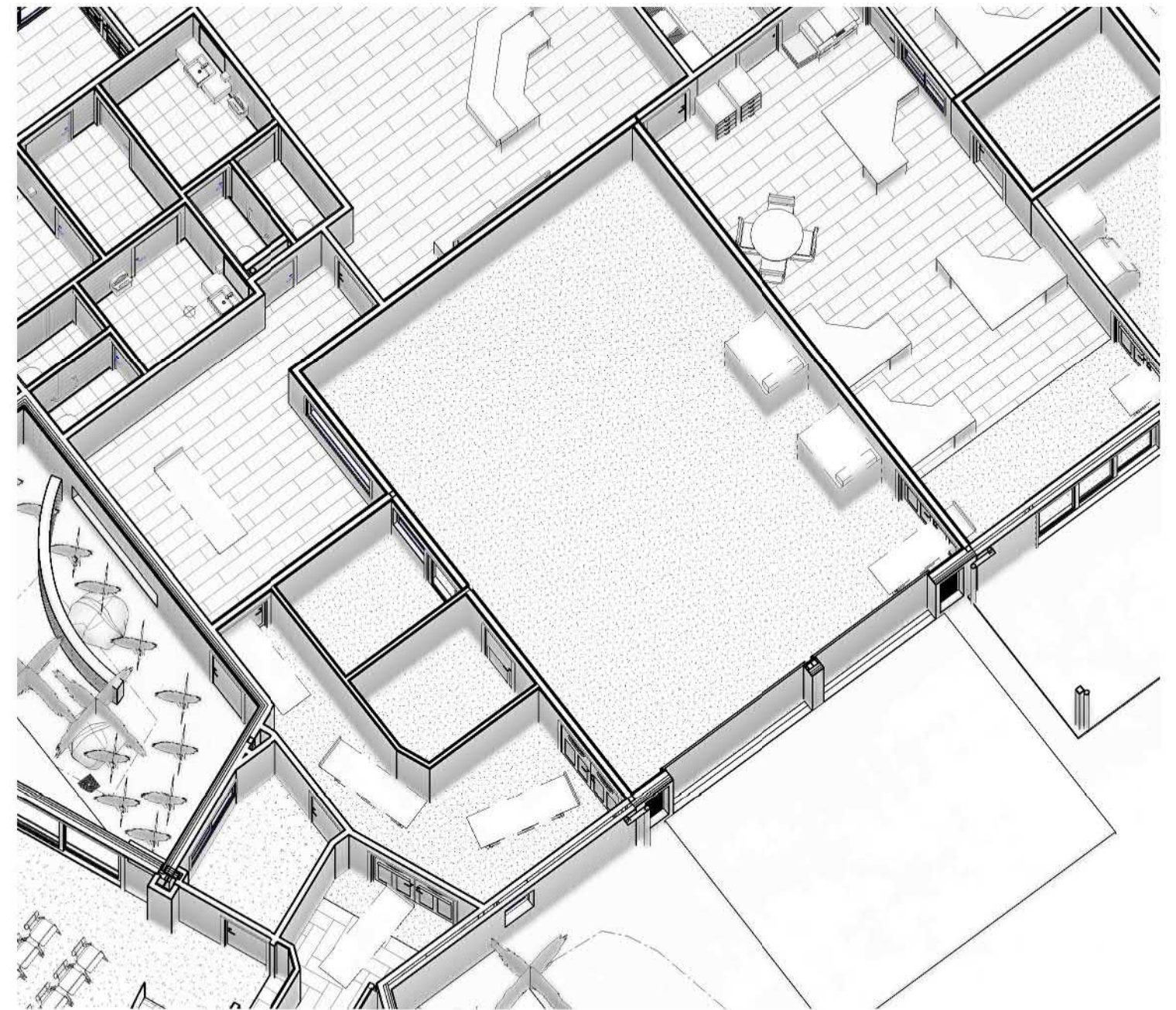
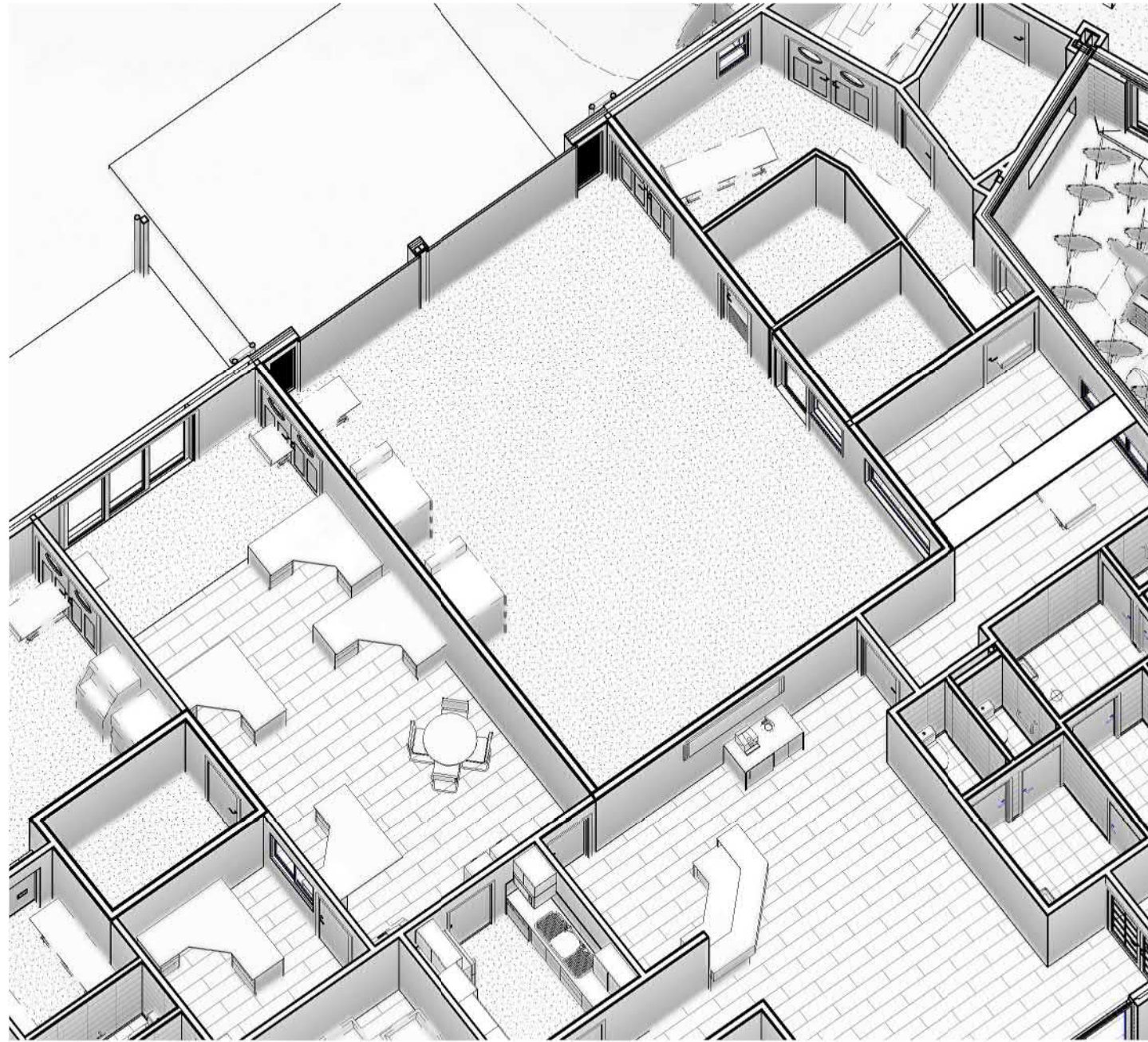
for COMMUNITY PTY LTD

**HALL CONTROL ROOM
AXONOMETRIC**

WORKING DRAWINGS

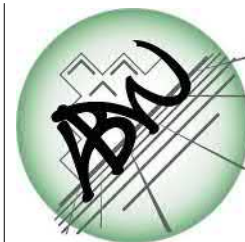
Scale at A3
 Designed MDW
 Drawn MDW
 Checked MDW

Job No
#10122
 Dwg No
912PDI
 Issue
WD32
 SHEET 28 OF 36



CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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**PROPOSED COMMUNITY
PROJECT**

at 150 OCEANVIEW DRIVE
SEASIDE

for COMMUNITY PTY LTD

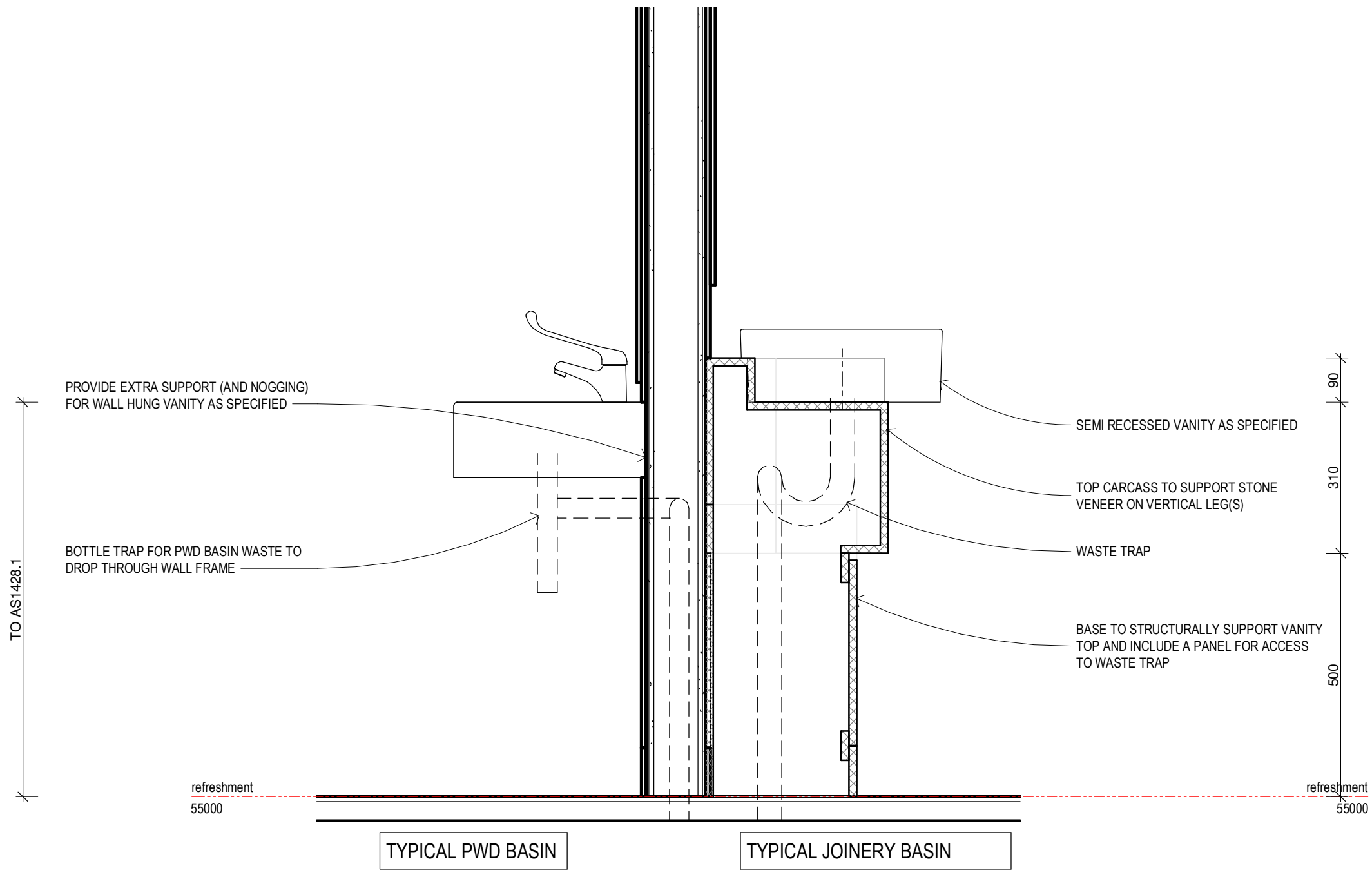
**WORKSHOP
AXONOMETRIC**

WORKING DRAWINGS

Scale at A3

Designed
MDW
 Drawn
MDW
 Checked
MDW

Job No
#10122
 Dwg No
914PDI
 Issue
WD32
 SHEET 29 OF 36



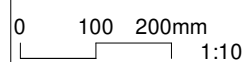
JD1 Vanity Joinery Detail
 941WE1 1:10

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT

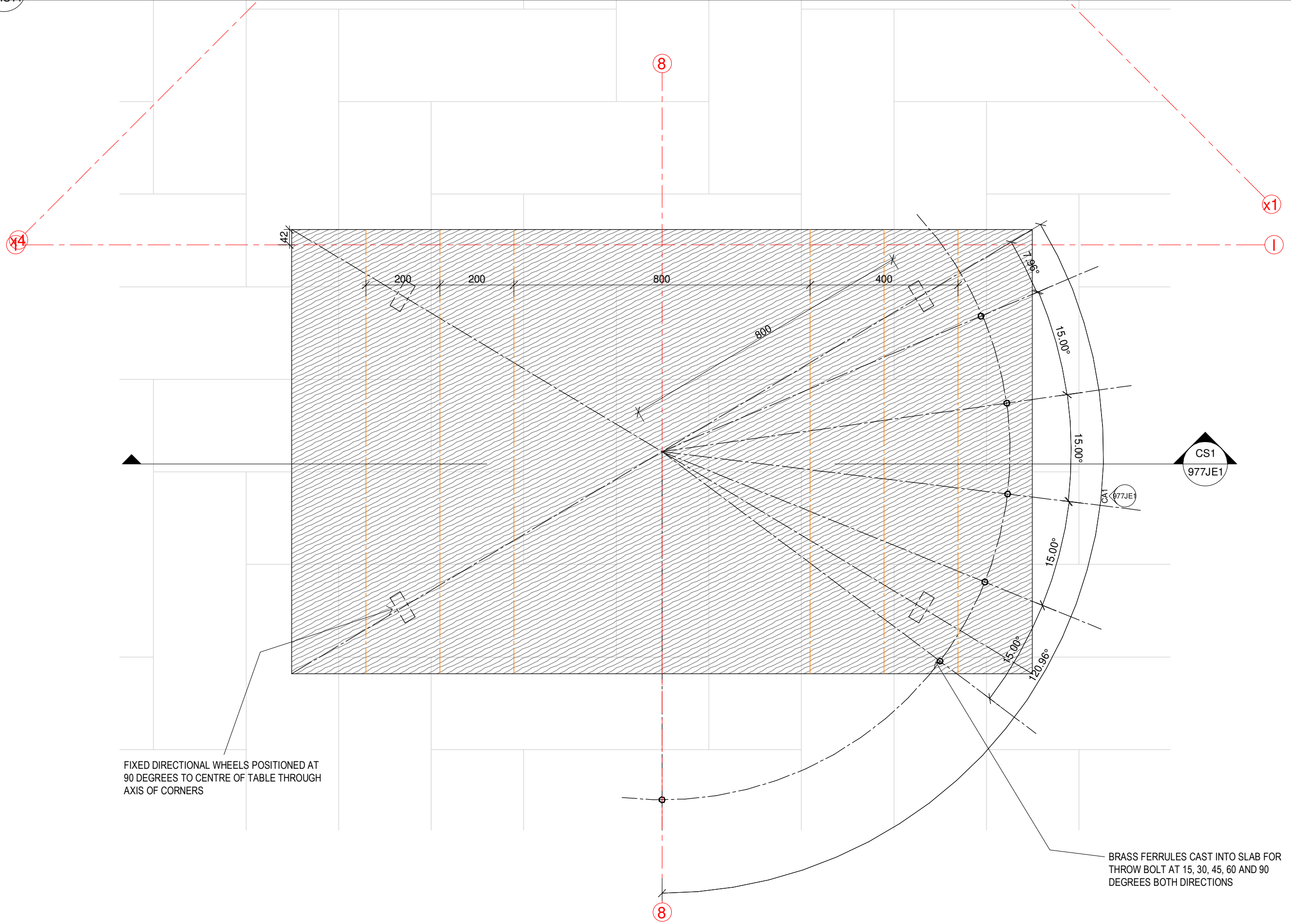
at 150 OCEANVIEW DRIVE SEASIDE
 for COMMUNITY PTY LTD

JOINERY DETAILS

WORKING DRAWINGS

Scale at A3
 1:10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 915JDI
 Issue WD32
 SHEET 30 OF 36



FIXED DIRECTIONAL WHEELS POSITIONED AT 90 DEGREES TO CENTRE OF TABLE THROUGH AXIS OF CORNERS

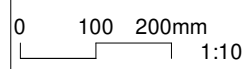
BRASS FERRULES CAST INTO SLAB FOR THROW BOLT AT 15, 30, 45, 60 AND 90 DEGREES BOTH DIRECTIONS

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT
 at 150 OCEANVIEW DRIVE SEASIDE
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DISPLAY TABLE PLAN
 WORKING DRAWINGS

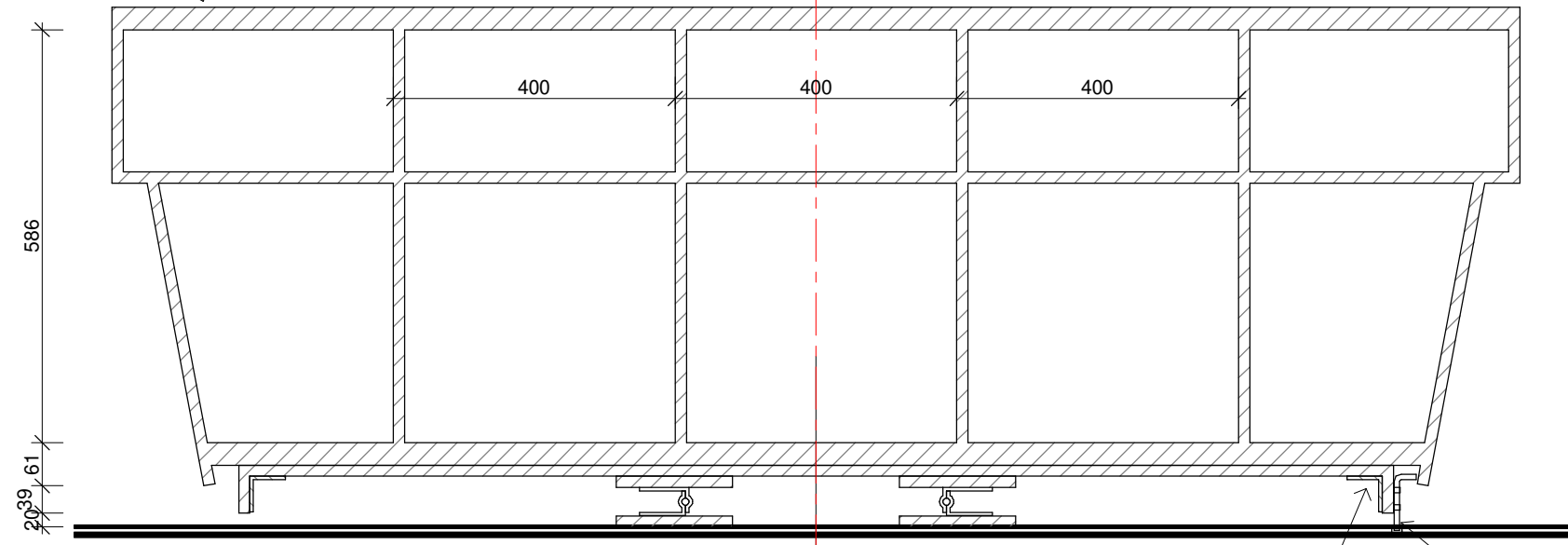
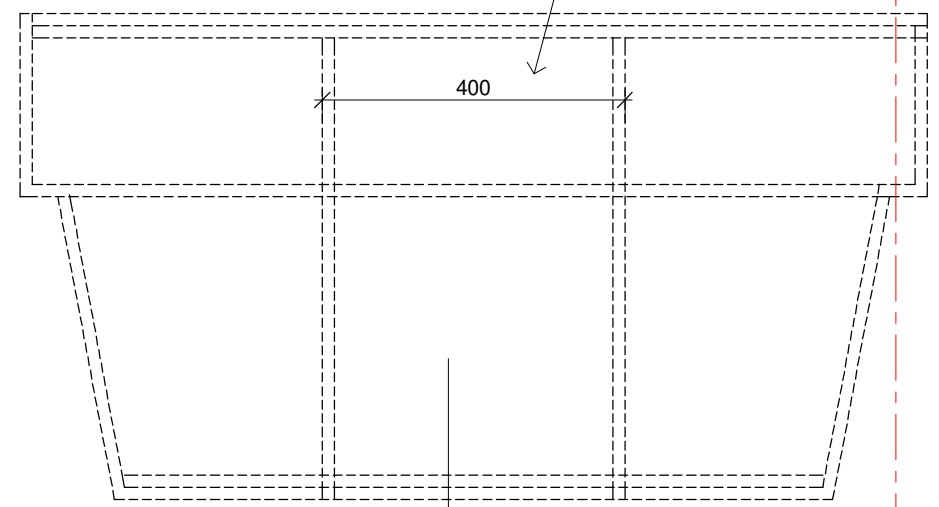
Scale at A3
 1 : 10
 Designed MDW
 Drawn MDW
 Checked MDW

Job No #10122
 Dwg No 916JPI
 Issue WD32
 SHEET 31 OF 36

CS1
977JE1

8
S7
322ST1

SANDSTONE TILES AS SPECIFIED FIXED TO TOP AND SIDES OF 16mm PLYWOOD CARCASS AS SPECIFIED



Hall/Admin
55050

Hall/Admin
55050

CA1
510SE1
Elevation CA2
1:10

CS1
976JP1
Catafalque Section 1
1:10

TOP CABINET BOLT FIXED TO BASE THROUGH 50X50X5mm ANGLES AT 300mm CENTRES - ANGLE BOLT FIXED INTO INTO BASE WITH M10 COACH BOLTS INTO FERRULES

SATIN CHROME THROW BOLT INTO BRASS FERRULES CAST INTO SLAB

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description

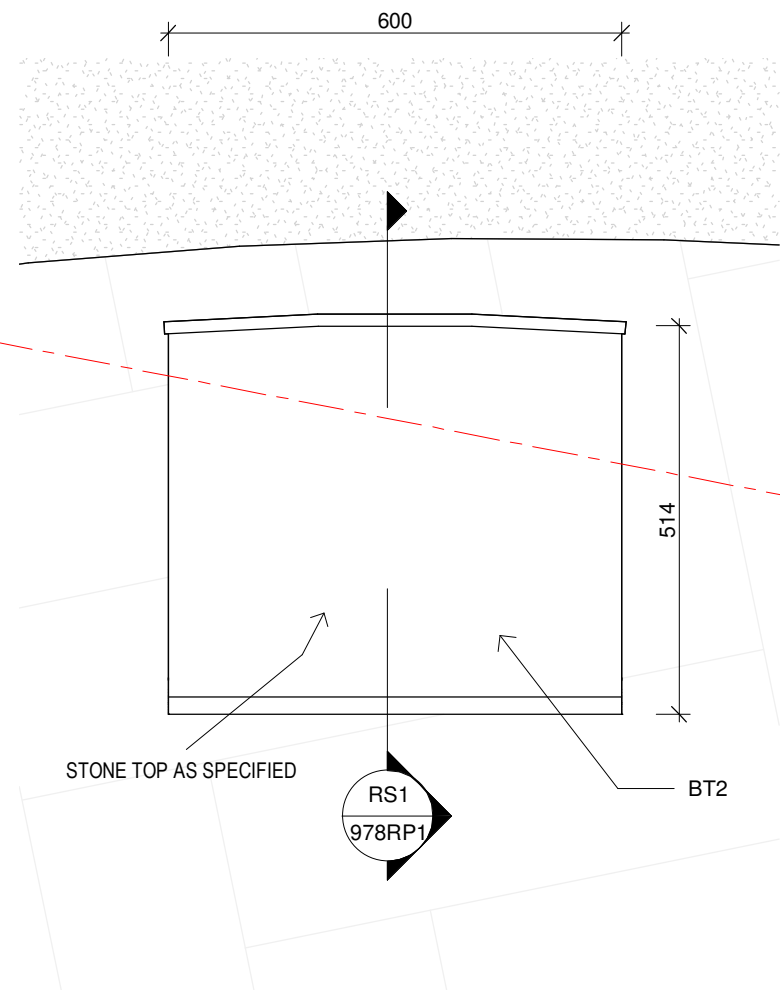
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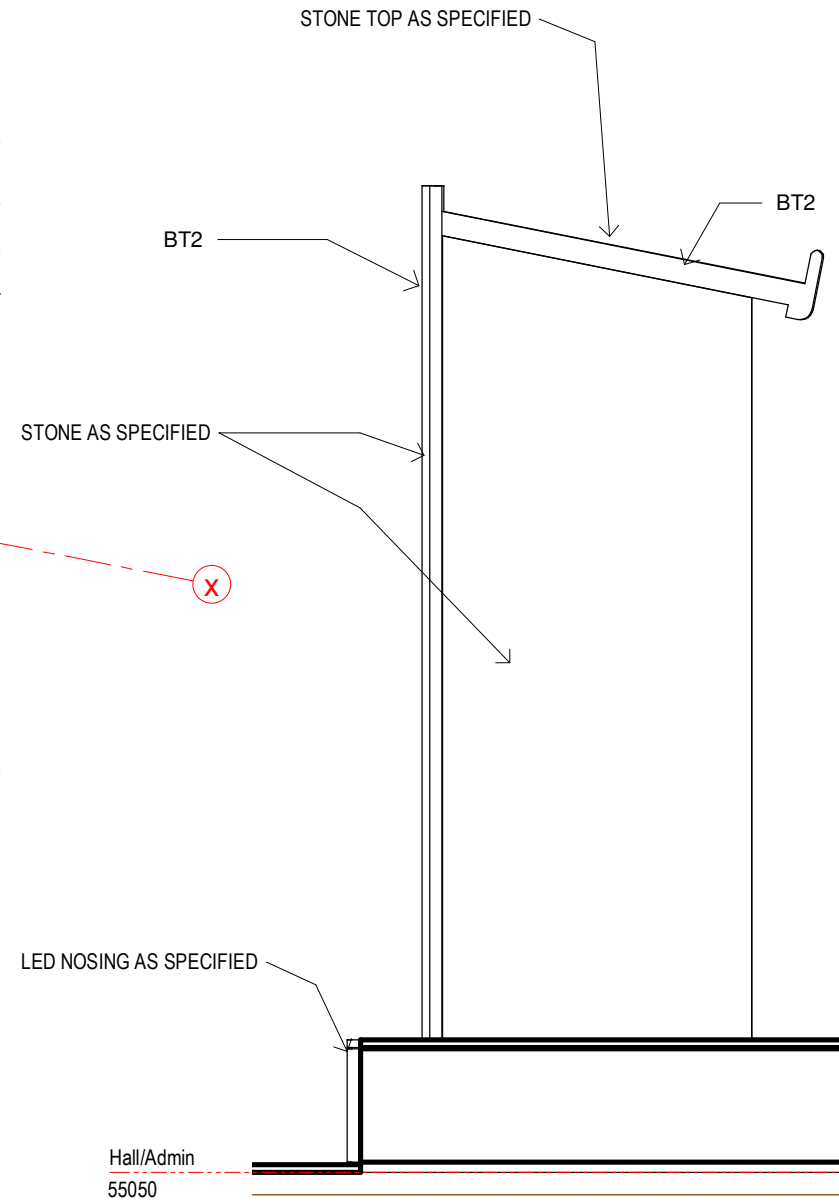
DISPLAY TABLE SECTION + ELEVATION
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

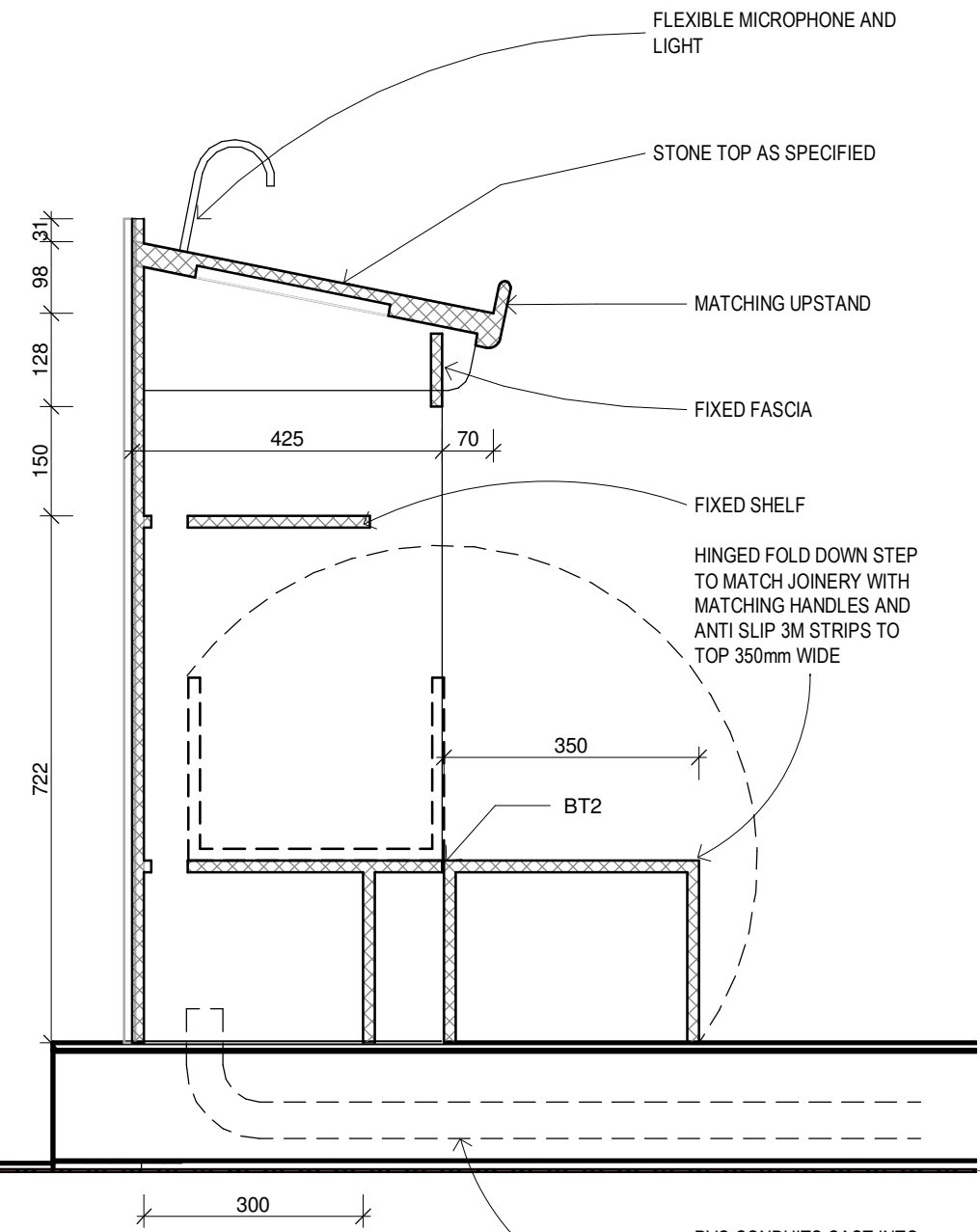
Job No #10122
Dwg No 977JE1
Issue WD32
SHEET 32 OF 36



RP1 Rostrum Plan
510SE1 1:10



RE1 Rostrum Elevation
111FP1 1:10

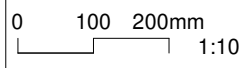


RS1 Rostrum Section 1
978RP1 1:10

PVC CONDUITS CAST INTO SLAB RUN BACK TO WALL - RISE CONDUIT WITH 90 DEGREE BENDS AT UNDERSIDE OF ROSTRUM CONSOLE (REFER OTHER DRAWINGS)

Issue	Date	Issue Description	Rev	Date	Revision Description

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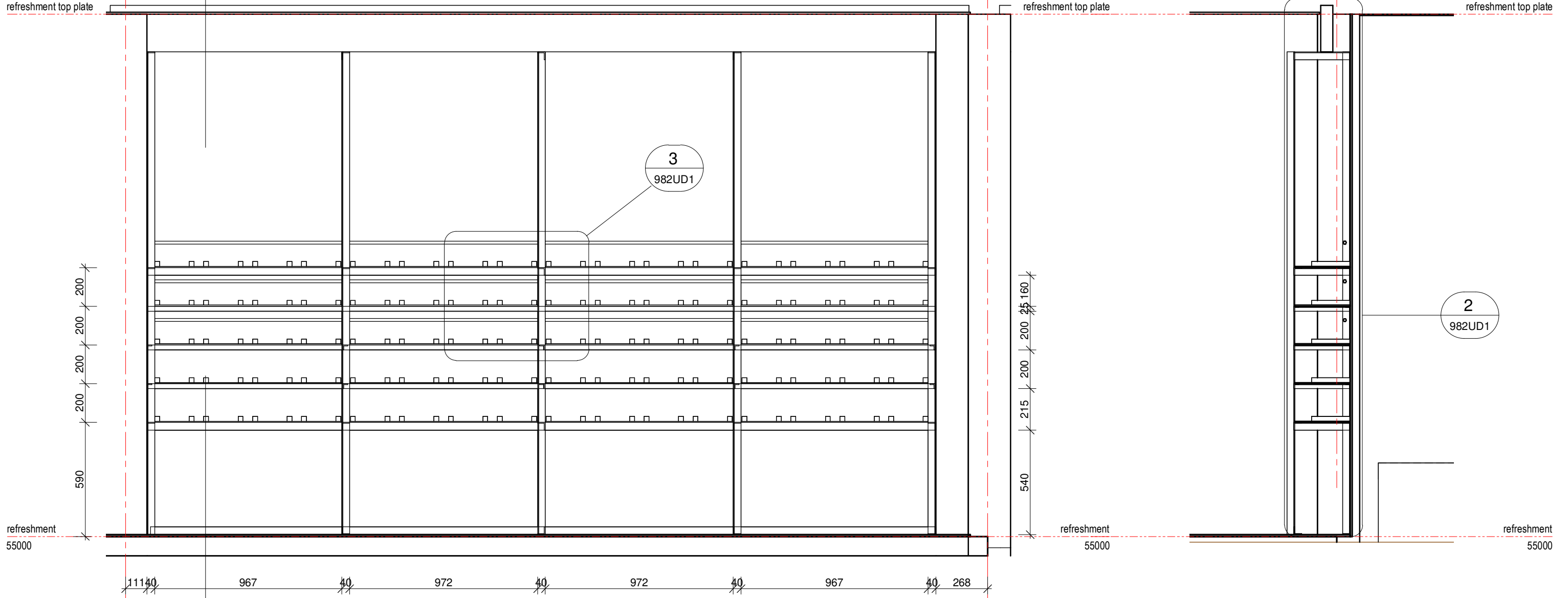
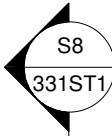
PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

CONSTRUCTION SET

ROSTRUM PLAN + SECTION
WORKING DRAWINGS

Scale at A3
1:10
Designed MDW
Drawn MDW
Checked MDW

Job No #10122
Dwg No 918RP1
Issue WD32
SHEET 33 OF 36



UE1 Urn wall internal Elevation
112FP1 1:20

URN CRADLE FRAME SPECIFICATIONS

- ∅ 15mm FIBRE CEMENT SHEETING SCREW FIXED TO STEEL FRAME WORK IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS WITH LOW PROFILE WAFFER HEAD (GALVANIZED) SCREWS. TRIM ANGLES TO ALL EDGES - SHEETS TO BE FINISHED WITH PAINT COAT. CUT ELLIPTICAL HOLES IN PANLES AS INDICATED - CHECK TO ENSURE HOLES ALIGN CENTRALLY BETWEEN GUIDES. CONTRACTOR IS TO CHECK POSITION WITH SAMPLE URN CONTAINER TO ENSURE EXACT ALIGNMENT.
- ∅ MAIN FRAMEWORK 40x40x5 STEEL ANGLES FULL STRENGTH BUTT AND FILLET WELDED TOGETHER - HOT DIP GALVANIZE COMPLETE FRAME.
- ∅ 25x25x3 SECONDARY ANGLE FRAMES TO SUPPORT CONTAINERS BOLTED TO MAIN FRAME WITH M6 GALV BOLTS - ANGLES TO BE HOT DIPPED GALVANIZED.
- ∅ 6mm "A" GRADE PLYWOOD TO BE SCREW FIXED TO ANGLES - CHAMFER ALL EDGES TO PREVENT SPLINTERING.
- ∅ 25x25 TIMBER RAILS SCREW FIXED TO PLYWOOD AND INTO AT LEAST ONE STEEL ANGLE - BEVEL EDGES.
- ∅ SUPPLY AND INSTALL BRASS NICHE STONECRAFT WALL VASES WITH BOLT FIXING SIMILAR TO PHOENIX FOUNDRY CODE APB:77x30mm

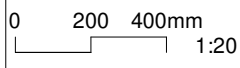
US1 URN wall section
112FP1 1:20

CONSTRUCTION SET

Issue	Date	Issue Description	Rev	Date	Revision Description



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PROPOSED COMMUNITY PROJECT
at 150 OCEANVIEW DRIVE SEASIDE
for COMMUNITY PTY LTD

STORAGE WALL INTERNAL ELEVATION
WORKING DRAWINGS

Scale at A3
1:20
Designed DESIGNER
Drawn AUTHOR
Checked CHECKER

Job No #10122
Dwg No 980UDI
Issue WD32
SHEET 34 OF 36